



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD AGENDA

Historic Resources Board Members Jordan Chroman, Erik Dyar, Esther Goodhue, Katherine Gualtieri, and Bobbie Voris

All meetings are held in the City Council Chambers East Side of Monte Verde Street between Ocean and 7th Avenues

Regular Meeting Monday, November 17, 2025

TOUR - 3:00 PM
MEETING - 4:00 PM

HYBRID MEETING ATTENDANCE OPTIONS

This meeting will be held in person and via teleconference ("hybrid"). The public is welcome to attend the meeting in person or remotely via Zoom, however, the meeting will proceed as normal even if there are technical difficulties accessing Zoom. The City will do its best to resolve any technical issues as quickly as possible. To view or listen to the meeting from home, you may also watch the live stream on the City's YouTube page at: <https://www.youtube.com/@CityofCarmelbytheSea/streams>. To participate in the meeting via Zoom, copy and paste the link below into your browser.

<https://ci-carmel-ca-us.zoom.us/j/88188362744?pwd=9H2DI5GuqQ2eCddEodDJusxbLVYLhX.1>

To attend Zoom webinar via telephone, dial +1 669-444-9171. Webinar ID: 881 8836 2744. Passcode: 001916

HOW TO OFFER PUBLIC COMMENT

The public may give public comment at this meeting in person, or use the Zoom teleconference module, provided that there is access to Zoom during the meeting. Zoom comments will be taken after the in-person comments. The public can also email comments to sgorman@ci.carmel.ca.us. Comments must be received at least 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be made part of the record.

CALL TO ORDER AND ROLL CALL - TOUR

TOUR OF INSPECTION

The Board/Commission will meet and convene the public hearing at the first location listed below on the Tour of Inspection. The public is welcome to join the tour. The tour is intended only to give the Board/Commission an opportunity to view project sites scheduled for a public hearing later that day. No deliberations on the merits of projects will take place during the Tour

of Inspection. Following completion of the tour, the Board/Commission will recess and return to the Council Chambers to reconvene the public hearing at 4:00 p.m., or as soon thereafter as possible.

- A. **DS 25240 (Ramos):** Northeast corner of San Antonio and 12th Avenues
- B. **HE 25065 (Pine Terrace HOA):** Southwest corner of Mission Street and 3rd Avenues

CALL TO ORDER AND ROLL CALL - CHAMBERS

PLEDGE OF ALLEGIANCE

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Persons are not required to provide their names, however, it is helpful for speakers to state their names so they may be identified in the minutes of the meeting. Under the Brown Act, public comment for matters on the agenda must relate to that agenda item and public comments for matters not on the agenda must relate to the subject matter jurisdiction of this legislative body. If a member of the public attending the meeting remotely violates the Brown Act by failing to comply with these requirements of the Brown Act, then that speaker will be muted.

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Board/Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1) Adoption of the 2026 Historic Resources Board Calendar
- 2) October 28, 2025 Special Meeting Minutes

PUBLIC HEARINGS

- 3) **DS 25240 (Ramos):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study application, DS 25240 (Ramos), for after-the-fact revisions to a previous approval (DS 23396) including the removal of horizontal wood siding, wood shingle siding, wood windows, and a Carmel stone chimney, replaced with new, and associated site and landscaping improvements at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) District

and the Beach and Riparian Overlay District. APN 010-279-008-000

- 4) **HE 25065 (Pine Terrace HOA):** Consideration of the removal of the historic "Pine Terrace Apartments" from the Carmel Inventory of Historic Resources located at the southwest corner of Mission Street and 3rd Avenues in the Residential and Limited Commercial (RC) District. APN: 010-391-020-000

DIRECTOR'S REPORT

BOARD MEMBER ANNOUNCEMENTS

FUTURE AGENDA ITEMS

- 5) Next Regular Meeting: December 15, 2025

ADJOURNMENT

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, Harrison Memorial Library, located on the NE corner of Ocean Avenue and Lincoln Street, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage (<http://www.ci.carmel.ca.us>) in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Historic Resources Board regarding any item on this agenda, received after the posting of the agenda will be available at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



CITY OF CARMEL-BY-THE-SEA
Historic Resources Board
Staff Report

November 17, 2025
CONSENT AGENDA

TO: Historic Resources Board Members
SUBMITTED BY: Shelby Gorman, Administrative Coordinator
SUBJECT: Adoption of the 2026 Historic Resources Board Calendar

RECOMMENDATION:

Adopt the 2026 Historic Resources Board Meeting Calendar

BACKGROUND / SUMMARY:

In accordance with the Historic Resources Board Rules of Procedure, the Board holds regular meetings on the third Monday of each month at 4:00 PM. When a regular meeting falls on a public holiday, no regular meeting shall be held on that day. Such meetings may be rescheduled to another business day, or canceled by motion and adopted by the Historic Resources Board.

The purpose for adopting a meeting calendar is to identify any conflicts with public holidays and to preempt the need for last-minute schedule changes, providing the Board, staff and the public adequate notice of scheduled meetings throughout the year for planning purposes.

In preparing the 2026 Historic Resources Board meeting calendar (Attachment 1), staff did identify one conflict with a public holiday for the January meeting and suggested a special meeting date. The Historic Resources Board is being asked to review and adopt the meeting calendar.

FISCAL IMPACT:

None

ATTACHMENTS:

1. 2026 Meeting Calendar - HRB

CITY OF CARMEL-BY-THE-SEA
 HISTORIC RESOURCES BOARD MEETING DATES
 CALENDAR YEAR 2026

MEETING DATES
Monday, January 26, 2026 <i>Rescheduled from Monday, January 19, 2026 – Martin Luther King, Jr. Day</i>
Monday, February 23, 2026 <i>Rescheduled from Monday, February 16, 2026 - President's Day</i>
Monday, March 16, 2026
Monday, April 20, 2026
Monday, May 18, 2026
Monday, June 15, 2026
Monday, July 20, 2026
Monday, August 17, 2026
Monday, September 21, 2026
Monday, October 19, 2026
Monday, November 16, 2026
Monday, December 14, 2026

City-Observed Holidays:

New Year's Day	Thursday, January 1, 2026
Martin Luther King, Jr. Day	Monday, January 19, 2026
Lincoln's Birthday	Thursday, February 12, 2026
President's Day	Monday, February 16, 2026
Memorial Day	Monday, May 25, 2026
Independence Day	Friday, July 3, 2026
Labor Day	Monday, September 7, 2026
Veterans' Day	Wednesday, November 11, 2026
Thanksgiving Day	Thursday, November 26, 2026
Day after Thanksgiving	Friday, November 27, 2026
Christmas Eve	Thursday, December 24, 2026
Christmas Day	Friday, December 25, 2026

**CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

SPECIAL MEETING MINUTES

Tuesday, October 28, 2025

CALL TO ORDER AND ROLL CALL - TOUR

The following Board Members were present for the tour: Erik Dyar, Kathryn Gualtieri, and Bobbie Voris

The following Board Members were absent: Jordan Chroman, Esther Goodhue

TOUR OF INSPECTION

The Board/Commission will meet and convene the public hearing at the first location listed below on the Tour of Inspection. The public is welcome to join the tour. The tour is intended only to give the Board/Commission an opportunity to view project sites scheduled for a public hearing later that day. No deliberations on the merits of projects will take place during the Tour of Inspection. Following completion of the tour, the Board/Commission will recess and return to the Council Chambers to reconvene the public hearing at 4:00 p.m., or as soon thereafter as possible.

- A. **HE 25242 (French):** Torres Street 4 northwest of 8th Avenue
- B. **DS 25103 (Del Mar Carmel, LLC):** Scenic Road 4 southeast of 8th Avenue
- C. **DS 25240 (Ramos):** Northeast corner of San Antonio and 12th Avenues

CALL TO ORDER AND ROLL CALL - CHAMBERS

The following Board Members were present: Erik Dyar, Kathryn Gualtieri, and Bobbie Voris

The following Board Members were absent: Jordan Chroman, Esther Goodhue

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Persons are not required to provide their names, however, it is helpful for speakers to state their names so they may be identified in the minutes of the meeting. Under the Brown Act, public comment for matters on the agenda must relate to that agenda item and public comments for matters not on the agenda must relate to the subject matter jurisdiction of this legislative body. If a member of the public attending the meeting remotely violates the Brown Act by failing to comply with these requirements of the Brown Act, then that speaker will be muted.

None

DIRECTOR'S REPORT

Anna Ginette, Director of Community Planning and Building, gave a report and answered questions of the Board:

- **Staff Update:** Katherine, Associate Planner, had her baby and is doing well. A picture was shared in the newsletter two weeks prior.
- **November City Council Meetings:** On November 3, 2025, the City Council will discuss the Water Allocation Policy and on November 4, 2025, they will discuss the Housing Element, currently in public review period.

ANNOUNCEMENTS

None

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Board or the public may ask that any items be considered individually for purposes of Board discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1) September 15, 2025 Regular Meeting Minutes
- 2) Adoption of the 2026 Historic Resources Board Calendar

Public Comment:

None

It was moved by Board Member Gualieri and seconded by Board Member Voris to approve Item 1: September 15, 2025 Regular Meeting Minutes and continue Item 2: Adoption of the 2026 Historic Resources Board Calendar.

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Gualtieri, Voris
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): Chroman, Goodhue

PUBLIC HEARINGS

Board Member Dyar noted that, due to the lack of a quorum, Item 3: DS 25240 (Ramos) would be addressed at the end of the Public Hearing agenda.

- 4) **DS 25103 (Del Mar Carmel, LLC):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study application, DS 25103 (Del Mar Carmel, LLC), for the construction

of a 408-square-foot Accessory Dwelling Unit, fenestration changes on the main house and the existing detached garage, and associated site improvements on the "George Graft House" located on Scenic Road 4 southeast of 8th Avenue in the Single-Family Residential (R-1) District, Beach and Riparian Overlay District, and Park Overlay District. APN: 010-301-025-000

Jacob Olander, Associate Planner, presented the project and reported that the historic consultant contracted by the City determined the project is consistent with Secretary of Interior's Standards. Staff highlighted that the accessory dwelling unit is located at the rear of the property, is not highly visible, is within the property's scale, and uses similar materials. Staff recommended that the Board adopt the resolution as presented.

Eric Miller, Architect, concurred with staff's analysis.

Public Comment:

Ken Seavy
Ellyn

It was moved by Board Member Dyar and seconded by Board Member Gualtieri to approve a resolution issuing a Determination of Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties Design Study application, DS 25103 (Del Mar Carmel, LLC), for the construction of a 408-square-foot accessory dwelling unit, fenestration changes on the main house and the existing detached garage, and associated site improvements at the historic "George Graft House" located at Scenic Road 4 southeast of 8th Avenue in the Single-family Residential (R-1) District, Beach/Riparian Overlay District (BR), and Park Overlay District (PO). APN: 010-301-025-000.

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Gualtieri, Voris
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): Chroman, Goodhue

- 5) HE 25242 (French):** Consideration of the removal of the historic "Unit House" from the Carmel Inventory of Historic Resources located at Torres Street 4 northwest of 8th Avenue in the Single-Family Residential (R-1) District. APN: 010-084-009-000

Jacob Olander, Associate Planner, presented the project, noting that based on the applicant's consultant, Heritage Services Consulting, and the City's consultant, Meg Clovis, substantial integrity has been lost, primarily due to additions in 1959 and 1994. Staff noted that the structure can no longer convey the reason for its significance. Staff recommended adopting a resolution finding the historic evaluation not a project under CEQA and approving the request for removal from the inventory.

Anthony Lombardo, Applicant, agreed with the consultant's conclusion regarding the loss of integrity. He disputed the date the front porch enclosure occurred, believing it was done in the 1950s based on the age of the divided light window present. He confirmed the house was a small rectangular unit built by Comstock that had been moved onto the site.

Public Comment:

Kent Seavy
Barbara French
Cindy Lloyd

It was moved by Board Member Gualtieri and seconded by Board Member Voris to approve a resolution finding, pursuant to CEQA regulations, the application is “not a project” under CEQA as defined in Public Resources Code Section 21065 and Section 15378 of the CEQA guidelines and approving the request for the removal of the “Unit House” from the Carmel Historic Inventory. The “Unit House” is located on Torres Street 4 northwest of 8th Avenue in the Single-family Residential (R-1) District. APN: 010-084-009-000

The motion passed by the following roll call vote:

AYES:	Board Member(s): Dyar, Gualtieri, Voris
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None
ABSENT:	Board Member(s): Chroman, Goodhue

Board Member Dyar recused and left the dais.

Due to the recusal, the Historic Resources Board did not have a quorum available to address the issue and so adjourned the meeting. Item 3: DS 25240 (Ramos) will be reopened at a later Historic Resources Board meeting.

- 3) DS 25240 (Ramos):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study application, DS 25240 (Ramos), for after-the-fact revisions to a previous approval (DS 23396) including the removal of horizontal wood siding, wood shingle siding, wood windows, and a Carmel stone chimney, replaced with new at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) District and the Beach and Riparian Overlay District. APN 010-279-008-000

FUTURE AGENDA ITEMS

- 6) Next Regular Meeting: November 17, 2025**

ADJOURNMENT

4:42 PM

APPROVED:

ATTEST:

Jordan Chroman, Chair

Shelby Gorman, Board Clerk



CITY OF CARMEL-BY-THE-SEA Historic Resources Board Staff Report

**November 17, 2025
PUBLIC HEARINGS**

TO: Historic Resources Board Members
SUBMITTED Jacob Olander, Assistant Planner
BY:
SUBJECT: **DS 25240 (Ramos):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study application, DS 25240 (Ramos), for after-the-fact revisions to a previous approval (DS 23396) including the removal of horizontal wood siding, wood shingle siding, wood windows, and a Carmel stone chimney, replaced with new, and associated site and landscaping improvements at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) District and the Beach and Riparian Overlay District. APN 010-279-008-000

RECOMMENDATION:

Staff recommends the Historic Resource Board adopt a resolution (Attachment 1):

1. Finding that the issuance of a determination of consistency is not a project under CEQA as defined in Public Resources Code Section 21065 and CEQA Guidelines Section 15378; and
2. Issuing a determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for DS 25240 (Ramos) for after-the-fact revisions to a previous approval (DS 23396) that include the removal of roof shingles, horizontal wood siding, wood shingle siding, wood windows and French doors, and a Carmel stone chimney, replaced with new, and landscape improvements at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) Zoning District, the Beach and Riparian (BR) Overlay District, and Coastal Commission Appeal Jurisdiction. APN 010-279-008-000.

BACKGROUND / SUMMARY:

EXECUTIVE SUMMARY

The applicant is requesting the issuance of a determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for after-the-fact revisions to a previous approval (DS 23396), including the removal of roof shingles, horizontal wood siding, wood shingle siding, wood windows and French doors, and a Carmel stone chimney, replaced with new, and landscape improvements at the historic "Rockwell House".

BACKGROUND & PROJECT DESCRIPTION

The Craftsman style "Rockwell House" at the northeast corner of 12th and San Antonio Avenues was designed and constructed by Michael J. Murphy in 1923. The property was evaluated for historical significance by Margaret Clovis, a City-contracted qualified professional, in June 2022 and added to the Carmel Inventory of Historic Resources. The architectural style and designer/builder are listed as significant in the Historic Context Statement. The character-defining features of the residence identified in the DPR 523 Form (Attachment 2) include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed windows
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
 - Masonry chimney
 - Hipped roof system
 - Decorative notched exposed rafters
 - Dutch door

The 8,000 square-foot project site is currently under construction. The Historic Resources Board reviewed the project in 2023 (DS 23396, Ramos) (Attachment 3 and 4) and issued a Determination of Consistency (Attachment 5) for construction of a 231 square-foot detached garage and additions to the 2,135 square-foot house. The approved additions included an additional 138 square-feet at the upper level (a new gabled primary entry at the south elevation, a new shed-roofed addition at the north elevation, and a rear addition at the east elevation of the north wing) as well as a 398 square-foot basement expansion. A Building Permit (BP 230414, Ramos) was subsequently issued by the Building Division.

On July 20, 2025, Planning staff conducted an inspection of the site and identified project elements that had exceeded the approved scope of work. The following after-the-fact project elements have triggered a required Phase II Historic Evaluation

Addendum and additional review by the Historic Resources Board:

- Removal and replacement of synthetic shingle roof shingles (indicated on original plans as a wood roof to remain) with a new synthetic shingles.
- Removal and replacement of wood windows and French doors (indicated on original plans to remain) with new in-kind windows and French doors.
- Removal and replacement of wood shingle siding (a mix of original redwood shingles and replacement cedar shingles, indicated on original plans to remain) with new cedar shingle siding.
- Removal of horizontal wood siding (indicated on original plans to remain) with new in-kind horizontal wood siding.
- Installation of non-differentiated wood shingle siding on additions (conditioned under the original approval to be differentiated).
- Removal and replacement of the exterior Carmel rubble-stone chimney (indicated on original plans to remain) with a new chimney featuring a contemporary stone veneer and different design/dimensions.

Carmel-by-the-Sea Municipal Code (CMC) Section 17.32.190 (Enforcement and Penalties) states that it shall be unlawful for any person to permit or maintain violations of any of the provisions of this title by undertaking the alteration, grading, removal, demolition or partial demolition of an historic resource without first obtaining the written approval of the City. Subdivision “C” of this section states that any person who alters, relocates, or demolishes an historic resource in violation of this title shall be subject to an administrative penalty of up to \$250,000 for each violation. As part of any enforcement proceeding, violators may be required to reasonably restore the historic resource to its appearance, condition or setting prior to the violation, or the use of the property shall be subject to one of the limitations specified in subsections “1” or “2”. In this case, CMC Section 17.32.190.C is applicable to as-built construction. At this time, staff does not recommend the application of an administrative penalty as the owner/applicant is requesting an after-the-fact approval from the City and, as discussed below, staff recommends modifications to the as-built to ensure consistency with Title 17 and the Secretary of the Interior's Standards for the Treatment of Historic Properties.

On September 15th, 2025, DS 25240 (Ramos) was continued to a date certain due to the absences of members of the Historic Resource Board causing the board not to have a quorum.

On October 28, 2025, DS 25240 (Ramos) was continued to a date certain due to the absences of members of the Historic Resource Board causing the board not to have a quorum.

STAFF ANALYSIS

In accordance with the Historic Preservation Ordinance, CMC Section 17.32.160 (Historic Evaluation Process for Major Alterations), major alterations require a Phase II

historic evaluation prepared by a qualified professional and require a determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Standards") to be adopted by the Historic Resources Board. The unpermitted work constitutes major modifications. As such, a qualified professional, Margaret Clovis, has reviewed updated project plans (Attachment 6) and completed a Phase II Historic Evaluation Addendum (Attachment 7) finding:

1. The after-the-fact replacement of the roof shingles, wood windows and French doors, wood shingle siding, and horizontal wood siding **consistent** with the Standards due to documented deterioration and/or installation after the period of significance (1923);
2. The non-differentiated wood shingle siding on new additions **inconsistent** with the Standards; and
3. The new design/dimensions and contemporary stone veneer on the exterior chimney **inconsistent** with the Standards.

Recommendations have been provided to the applicant (see analysis to follow) to ensure consistency with the applicable Standards 2, 6, and 9. *Staff concurs with Ms. Clovis' analysis and recommendations to ensure full consistency with the applicable standards, as summarized below.*

Additionally, the applicant is proposing landscaping and site coverage improvements that were previously under Design Study, DS 25161 (Ramos), and have been added to the scope of DS 25240 (Ramos). As such, a qualified professional, Margaret Clovis, has reviewed updated project landscape plans (Attachment 8) and completed a Phase II Historic Evaluation Addendum (Attachment 9) finding:

The proposed landscape plan will meet Standards Nine, Two and Ten if:

1. Carmel stone veneer is used on all the retaining walls; and
2. If the rear patio is designed with a less formal footprint, like the original; and
3. No retaining walls should abut the house.

The Secretary of the Interior's Standards: *The Secretary of the Interior's Standards for the Treatment of Historic Properties identify four primary treatment approaches to historic resources: preservation, rehabilitation, restoration, and reconstruction. Rehabilitation is the recommended standard of treatment for this project. Rehabilitation is defined as, the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.*

Standard 2

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that

characterize a property will be avoided.

Standard 6

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 9

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Standard Ten

New additions and adjacent new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Windows/Doors

Most of the windows in the Rockwell House were slated to be retained and repaired, however, most of the windows were replaced like for like due to deterioration. According to the National Park Service, “like for like” refers to replacing or repairing deteriorated features of a historic property with materials or elements that closely match the original characteristics. Standard 2 and Standard 6 provide guidance for determining the appropriateness or repair vs. replacement.

Documentation of the deterioration is required prior to replacing windows to ascertain whether the windows can be repaired, which is the preferred rehabilitation treatment. The National Park Service recommends, “Determination as to when deterioration is sufficiently severe to justify replacement must be based on documentation of the condition of the windows. What constitutes effective documentation may vary with the circumstances of the project, but at a minimum must include enough good quality photos to clearly depict the full range of conditions.” The project architect submitted photographs to staff that document the deterioration of the original windows. Although these photos should have been submitted prior to any window replacements, it appears that the replaced windows were rotted to the point where repair was not feasible. Additionally, French doors opening to the patio (flanking the chimney) were slated to be retained but were replaced in kind. The existing French doors were found to have post-dated the period of significance (1923) as they were installed in 1950. The completed after-the-fact work on the doors and windows are consistent with applicable Standards.

Chimney

The exterior chimney located on the east elevation was slated to be retained, however, it was demolished and reconstructed as the structural engineer on the project

determined that the unreinforced masonry chimney did not have east-west lateral stability. The original Carmel rubble stone chimney was taken down and a new core concrete structure integrated with new concrete footing was constructed. The old Carmel stone veneer was salvaged but new veneer stone was installed instead. The new chimney is larger than the original chimney (due to the new concrete core structure) and does not intersect the roof as the original once did (see Figures 4, 5 and 6 in the Phase II addendum, Attachment 7).

The new square-cut Carmel stone veneer was laid in an irregular course. However, it does not capture the same rustic aesthetic that the original rough-cut Carmel rubble stone achieved, and it has a much more modern look. The new chimney is not consistent with Standards Two and Six because distinctive materials were removed, features were altered, and the new chimney does not replicate the design of the original chimney. Since documentary evidence is available and the original stone was salvaged, it is recommended that: 1) the new stone be replaced with the original stone, and 2) the design and dimensions of the new chimney replicate the original, i.e., the chimney should intersect the eaves. Note: the applicant asserts “the fire box was reconstructed in accordance with current codes, making it slightly larger than the original” (Attachment 8). Planning Staff consulted with the Building Official and Building Inspector to confirm that current building codes do not preclude a smaller firebox which would allow for the original chimney dimensions to be restored.

Siding

Standards Two and Six recommend the retention and repair of character-defining features, however both the shingles and horizontal siding were replaced rather than repaired. The architect explained that two different types of shingles were found on the house and submitted photos to staff of the older redwood shingles that were cracked and brittle and cedar shingles that were in better shape. Preservation Brief 47 (*Maintaining the Exteriors of Small and Medium Sized Historic Buildings*. National Park Service, June 2007) states that, “One of the advantages of wood shingles as a wall covering is that individual shingles that are damaged can easily be replaced.” According to Standard Six, documented deteriorated features can be replaced in-kind. As such, the replacement of the redwood shingles is consistent with the Standards due to the documented deteriorated condition. The cedar shingles were replaced as well; however, because they were not original and were installed outside the period of significance (1923) the completed work is consistent with Standards Two and Six.

In addition to the wood shingle siding, the wood horizontal siding on the lower level of the west elevation was also removed and replaced. This siding was originally indicated on the plans to remain. However, it is likely that the siding did not date to 1923, as the basement area where the siding was located was previously disturbed in 1984 when new window openings were installed. Since the horizontal siding was likely outside the period of significance, its replacement does not affect the integrity of the house. The completed work is consistent with Standards Two and Six.

Lastly, the original project authorization was conditioned to require differentiated

shingle siding on the new additions. To be consistent with Standard Nine, any new siding used in the additions should be differentiated from the existing siding, so the additions are clearly discernable from the historic house (replacement siding on the original house should match in kind, but siding on any additions should be differentiated). However, the shingles installed on the additions match the original “ribbon course” shingle pattern of the historic house (see Figure 6 in the Phase II Addendum). To differentiate the shingles on the additions, the architect and contractor have suggested removing 5/8” from selected shingles along the shingle course to create a staggered pattern (see Plan Sheet A3.1, Attachment 6). This solution will differentiate the new additions and meet the requirements of Standard Nine.

Roof

The original project reviewed by the Historic Resources Board in 2023 called for retention of a wood shake roof. However, the roof had been misidentified on the plans and in fact was a non-original synthetic shake roof installed in 1994 under BP #94-130. The 1994 synthetic shake roof has been removed and replaced with a new synthetic shake roof. Staff finds that the new roof is compatible with the historic resource.

Landscaping and Site Improvements

The applicant is proposing landscaping and site coverage changes at the subject site summarized below per the Phase II addendum:

- 1. A 12-foot fireplace will be added to the rear brick patio area, along the east lot line. The fireplace will be faced with Carmel stone veneer and covered with a wood trellis. Planting beds will be added around the entire perimeter of the former, character-defining patio. The patio will be rebuilt using sand set brick paving. A brick soldier course will enclose the patio, which will change the former free form shape of the patio to a more formal rectangular shape.*
- 2. Two seating areas will be added to the west (front) elevation of the property. One will be directly adjacent to the house and will replace the former window well paved area. This enlarged seating area will include a moveable gas fire pit. Down the hill and south of this seating area another small seating area will be constructed. This mulched area will be partially bordered by a dry stacked stone and boulder wall and will include a moveable gas fire pit.*
- 3. The current pathways will be removed and reconfigured. The non-historic pathway materials that date to 2018 will be replaced with mulch.*
- 4. Several retaining walls will be added to the property. Some will be faced with a Carmel stone veneer while others will be finished with stucco painted with an integral color.*
- 5. A pergola will be added to the new gate on the south elevation. The gate is included in the 2023 plans and the pergola is a new feature.*

Margaret Clovis has reviewed the proposed landscape plans and provide an analysis of the compatibility with the applicable Secretary of the Interior’s Standards.

Standard 2:

Phase II Addendum. The non-historic patio brick was removed and will be replaced by permeable brick pavers. The original patio was a free-form space edged by a few planters, as depicted in the topographical survey dated September 2022. The current plans proposed a rectangular space bordered by a brick soldier course. It is recommended that a less formal configuration be designed for the rear back patio and omit the soldier course. This will be more consistent with the more informal aesthetic of the Craftsman style.

The new onsite features such as the walkways, west elevation seating areas, Carmel stone retaining walls, rear patio Carmel stone fireplace, driveway, new 12th Avenue gate and gate pillars, the San Antonio Street driveway pillars, and pergolas are compatible with the historic character of the property.

The new onsite stucco retaining walls are not compatible with the Craftsman style aesthetic. It is recommended that the Carmel stone veneer is used for these retaining walls.

Staff Analysis: Staff concurs with Ms. Clovis's assessment of the project. The applicant has removed the soldier course around the rear patio but has not made the rear patio a less formal configuration. Staff has included a note in the Determination of Consistency recommendation below that the determination will not be made without the contingency that the applicant update the plans prior to staff approval of the project such that the rear patio is less formal. Similarly, a contingency has been noted below that the applicant adds a Carmel stone veneer on all retaining walls proposed on site.

Standard 9:

Phase II Addendum. The new rear patio fireplace will not destroy historic materials, features, and spatial relationships that characterize the property. The Carmel stone veneer, size, scale, and proportion of the fireplace appear compatible with the historic site.

The two west elevation seating areas will not destroy historic materials, features, and spatial relationships that characterize the property. Most of the materials used to construct these seating areas, which include mulch and the dry stacked stone boulder wall, are compatible and differentiated. The proposed stucco covered retaining wall which encloses the seating area adjacent to the west elevation of the house is not a compatible feature. A Carmel stone veneer is recommended for this retaining wall (see Standard Two).

Staff Analysis. Staff concurs with Ms. Clovis's assessment of the project. As stated in the previous staff analysis, a contingency has been noted below that the applicant adds a Carmel stone veneer on all retaining walls proposed on site.

Standard 10:

Phase II Addendum. New additions such as the rear patio fireplace, the two west elevation seating areas, the 12th Avenue gate, and driveway pillars can be removed

without affecting the essential form and integrity of the property. It is recommended that no retaining walls, as shown in Plan Sheet L-1.0, should abut the walls of the historic house. One retaining wall abuts the house next to the new entry and the other extends west from the west elevation as part of the seating area enclosure. A small gap (1"-6") should separate the retaining walls from the house to ensure its integrity.

Staff Analysis. Staff concurs with Ms. Clovis's assessment of the project. Staff has included a note in the Determination of Consistency recommendation below that the determination will not be made without updated plans prior to staff approval of the project such that no retaining walls will abut the residence.

DETERMINATION OF CONSISTENCY

Based on the recommendations of the qualified professional, Margaret Clovis, the after-the-fact project components are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, except for the new chimney and the non-differentiated wood shingles on the additions. As such, staff recommends the Board incorporate condition of approvals as part of the determination. The conditions shall require that prior to approval of the Design Study (DS 25240), the owner/applicant shall submit modified plans to staff that demonstrate:

- 1. The project shall be implemented consistent with the representations described in the Phase II Historic Evaluation Addendum for the "Rockwell House" prepared by Meg Clovis on September 9, 2025.*
- 2. The wood shingle siding on the additions shall be differentiated from the shingles on the original house, as described in the Phase II Historic Evaluation Addendum.*
- 3. The chimney shall be restored to its original design and materials. The intersect with the roof eave shall be restored, the original dimensions shall be restored, and the original Carmel rubble stone shall be laid in an irregular pattern matching the original lay pattern as closely as possible.*
4. A Carmel stone veneer is used on all the proposed retaining walls.
5. The rear patio is designed with a less formal footprint, like the original.

6. No retaining walls about the house.

Incorporation and implementation of these conditions of approval shall ensure the project is constructed in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

However, if the Board finds the after-the-fact construction of the chimney consistent with *the* Secretary of the Interior's Standards for the Treatment of Historic Properties, staff recommends the Board modify the draft resolution (Attachment 1) to include a finding, supported by evidence, demonstrating consistency.

ENVIRONMENTAL REVIEW:

Staff recommends, pursuant to CEQA regulations, that the Application be found “not a project” pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency with the Standards does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment. A CEQA analysis and determination will be conducted as part of the Design Study review.

FISCAL IMPACT:

ATTACHMENTS:

1. Attachment 1 - Resolution
2. Attachment 2 - DPR 523 Form - Rockwell House
3. Attachment 3 - 2023 Project Plans DS 22396 (Ramos)
4. Attachment 4 - 2023 Phase 2 Evaluation DS 22396 (Ramos)
5. Attachment 5 - Resolution 2023-007-HRB_06-19-2023_DS 22396 (Ramos)
6. Attachment 6 - 2025 Phase II Evaluation Project Plans DS 25240
7. Attachment 7 - 2025 Phase 2 Evaluation Addendum DS 25240 (Ramos)
8. Attachment 8 - 2025 Phase II Evaluation Landscape Plans
9. Attachment 9 - 2025 Phase 2 Evaluation Addendum Landscape Plans
10. Attachment 10 - Applicant Letter
11. Attachment 11 - Secretary's Standards - Rehabilitation rev2017

CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD

HISTORIC RESOURCES BOARD RESOLUTION NO. 2025-XXX-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA FOR A DESIGN STUDY APPLICATION (DS 25240, RAMOS) ISSUING A DETERMINATION OF CONSISTENCY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES (STANDARDS) FOR AFTER-THE-FACT REVISIONS TO A PREVIOUS APPROVAL (DS 23396, RAMOS) THAT INCLUDE THE REMOVAL OF ROOF SHINGLES, HORIZONTAL WOOD SIDING, WOOD SHINGLE SIDING, WOOD WINDOWS AND FRENCH DOORS, ROOF, AND CARMEL STONE CHIMNEY, REPLACED WITH NEW, AND LANDSCAPE IMPROVEMENTS AT THE HISTORIC "ROCKWELL HOUSE" LOCATED AT THE NORTHEAST CORNER OF 12TH AND SAN ANTONIO AVENUES, IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT, BEACH AND RIPARIAN (BR) OVERLAY DISTRICT, AND COASTAL COMMISSION APPEAL JURISDICTION, APN 010-279-008-000.

WHEREAS, on August 8, 2025, Holdren-Lietzke Architecture ("Applicant") submitted an application on behalf of Tim and Catherine Ramos ("Owner") requesting the approval of a Design Study DS 25240 described herein ("Application"); and

WHEREAS, the Application has been submitted for the 8,000 square-foot property located on the northeast corner of 12th and San Antonio Avenues in the Single-Family Residential (R-1) District, Beach & Riparian (BR) Overlay District, and Coastal Commission Appeal Jurisdiction (Block X, Lot 18 & 20); and

WHEREAS, the subject property, known as the "Rockwell House," is listed on the Carmel Inventory of Historic Resources, and is significant under California Register Criteria #3 as a Craftsman style residence by designer/builder Michael J. Murphy; and

WHEREAS, the applicant is requesting approval for after-the-fact revisions to a previous approval (DS 23396, Ramos) that include the removal of roof shingles, horizontal wood siding, wood shingle siding, wood windows and French doors, roof, and a Carmel stone chimney, replaced with new; and

WHEREAS, in accordance with Carmel by-the-Sea Municipal Code (CMC) Section 17.32.040.A (Residential District Track One Design Review), exterior alterations and additions that do not increase the existing floor area by more than 10 percent are eligible for track one design review; and

WHEREAS, in accordance with CMC Section 17.32.140 (Determination of Consistency with the Secretary's Standards), all major and minor alterations to historic resources shall require a determination of consistency with the Secretary's Standards; and

WHEREAS, in accordance with CMC Section 17.32.160 (Historic Evaluation Process for Major Alterations), a major alteration includes a substantial alteration as defined in CMC Section 17.70.030 and additions exceeding two percent of the existing floor area or volume; and

WHEREAS, in accordance with CMC Section 17.32.160.B, a determination of consistency for major alterations shall be prepared by a qualified professional; and

WHEREAS, Margaret Clovis, a qualified professional, prepared a Phase II Historic Assessment Addendum and found the project consistent with the Secretary's Standards provided specific recommendations were implemented; and

WHEREAS, the alterations, with recommendations incorporated, would not compromise the integrity of the historic resource or result in a substantial modification that would render the resource ineligible for continued listing on the Carmel Inventory of Historic Resources;

WHEREAS, on September 5, 2025, a notice of public hearing was published in the Carmel Pine Cone for the September 15, 2025, Historic Resources Board meeting in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on September 15, 2025, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the project, including without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, On September 15, 2025, the project was continued to a date certain due to a lack of quorum; and

WHEREAS, on or before October 18, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before October 25, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on October 28, 2025, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the project, including without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, On October 28, 2025, the project was continued to a date certain due to a lack of quorum; and

WHEREAS, on or before November 7, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before November 14, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on November 17, 2025, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the project, including without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Board at the hearing including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations, and testimony hereinabove set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is "not be a project" pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

BE IT FURTHER RESOLVED that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **ADOPT** a Determination of Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for after-the-fact revisions to a previous approval (DS 23396) that include the removal of horizontal wood siding, wood shingle siding, wood windows and French doors, roof, and a Carmel stone chimney, replaced with new, and landscape improvements at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) Zoning District, the Beach and Riparian

(BR) Overlay District, and Coastal Commission Appeal Jurisdiction. APN 010-279-008-000, subject to the following conditions:

1. The project shall be implemented consistent with the representations described in the Phase II Historic Evaluation Addendum for the “Rockwell House” prepared by Meg Clovis on September 9, 2025.
2. The wood shingle siding on the additions shall be differentiated from the shingles on the original house, as described in the Phase II Historic Evaluation Addendum.
3. The chimney shall be restored to its original design and materials. The intersect with the roof eave shall be restored, the original dimensions shall be restored, and the original Carmel rubble stone shall be laid in an irregular pattern matching the original lay pattern as closely as possible.
4. A Carmel stone veneer is used on all the proposed retaining walls.
5. The rear patio is designed with a less formal footprint, like the original.
6. No retaining walls abut the house.

PASSED, APPROVED, AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 17th day of November 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Jordan Chroman
Chair

Shelby Gorman
Historic Resources Board Secretary

State of California -- The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD	Primary # _____ HRI # _____ Trinomial _____ NRHP Status Code _____ Other Listings _____ Review Code _____ Reviewer _____ Date _____
--	--

Page 1 of 9 *Resource Name or #: (Assigned by recorder) Rockwell House

P1. Other Identifier: Rockwell House

*P2. Location: Not for Publication Unrestricted *a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary)

*b. USGS 7.5' Quad Monterey Date 2012 T ; R ; 1/4 of 1/4 of Sec ; Mount Diablo B.M.

c. Address NE Corner San Antonio & 12th Ave. City Carmel by the Sea Zip 93921

d. UTM: (Give more than one for large and/or linear resources) Zone ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN 010-279-008, Block X; Lots 18, 20

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Constructed in 1923, the Craftsman style Rockwell House has a rear-facing U-shaped plan and is set back on a large lot that slopes down towards San Antonio Avenue. The cross-hipped roof system is covered with composite shingles and has wide over-hanging eaves with decorative notched rafters. The exterior walls of the first story are covered with staggered wood shingles while the finished basement (partially exposed at the west, north, and south elevations) is faced with horizontal shiplap siding. This was a common design treatment used by the home's designer/builder Michael J. Murphy to visually separate the foundation framing from the main living areas. Fenestration varies and includes square bays with multipaned fixed windows; single-light casement windows; French doors on the front (west) and rear elevations; sash windows; and one canted bay window on the south elevation (added in 1989). All of the windows are wood, and most have extended lintels and sills, a Craftsman design trait. A tripartite window, composed of a central multipaned fixed window flanked (continued p. 3)

*P3b. Resource Attributes: (List attributes and codes) HP2, Single family residence

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Front Elevation, 06/2022

*P6. Date Constructed/Age and Sources: 1923 Historic Prehistoric Both Building Permit

*P7. Owner and Address: Frances McKeon 14230 Warnerville Rd. Oakdale, CA. 95361

*P8. Recorded by: (Name, affiliation, and address) Meg Clovis 14024 Reservation Rd. Salinas, CA 93908

*P9. Date Recorded: 06/2022

*P10. Survey Type: (Describe) Intensive

*P11. Report Citation: (cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code **HP2**

*Resource Name or # (Assigned by recorder) **Rockwell House**

- B1. Historic Name: Rockwell House
- B2. Common Name: Rockwell House
- B3. Original Use: Residence
- B4. Present Use: Residence

*B5. **Architectural Style:** Craftsman

*B6. **Construction History:** (Construction date, alteration, and date of alterations) Constructed in 1923, Enlarge kitchen (1950); Alter bathroom, construct new deck & steps, replace garage doors (1960); Add bay window (1989); Reroof (1994); Replace front deck (2002)

*B7. **Moved?** No Yes Unknown **Date:** _____ **Original Location:** _____

*B8. **Related Features:** None

B9a. Architect: M.J. Murphy (Designer)

b. Builder: M.J. Murphy

*B10. **Significance: Theme** Architectural Development **Area** Carmel by the Sea

Period of Significance 1923 **Property Type** Building **Applicable Criteria** CR 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Address integrity.)

In 1923 an article in the April 28th edition of the *Carmel Pine Cone* announced that contractor M.J. Murphy was constructing a residence for the Rockwells on the corner of 12th and San Antonio Avenues. This was a second home for the family as their principal home was in Pasadena. Frederick Clark Rockwell (1855-1928) had made his fortune as a pioneer wooden box manufacturer in Hartford, CN. He was also involved with real estate development in Hartford and served in the State legislature. Frederick and his wife Jennie retired to Pasadena in 1908 and are first recorded as visitors to Carmel in 1920. The following year Jennie purchased lots 17-20 in Block X from the Carmel Development Company, but they did not start construction of their new home until 1923. They split their time between Pasadena and Carmel until Frederick's death. Then Jennie made Carmel her permanent home, living in the house with her daughter and two grandchildren. She passed away in 1931.

The Rockwell's house was designed and constructed by Michael J. Murphy (1885-1959). Murphy first (continued on pg. 4)

B11. Additional Resource Attributes (List attributes and codes): HP2

*B12. **References:**

Carmel Context Statement & Historic Preservation Ordinance

Carmel Pine Cone: 2/5/1920, 1/27/1921, 4/28/1923

Building File, Carmel Planning Dept.

National Register Bulletin 15

Polk's City Directories, Harrison Memorial Library

U.S. Census & Voter Registration Records

F.C. Rockwell Obit., *Hartford Courant*, 12/13/1928, pg. 9

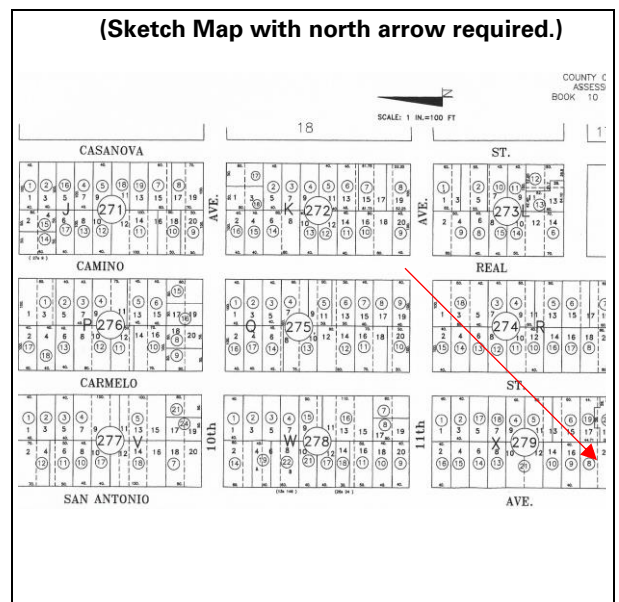
Seavey, Kent. Carmel: A History in Architecture

B13. Remarks

*B14. **Evaluator:** Meg Clovis

***Date of Evaluation:** 06/2022

(This space reserved for official comments.)



CONTINUATION SHEET

Primary # _____

HRI# _____

Trinomial _____

Page 3 of 9

*Resource Name or # Rockwell House

*Recorded by Meg Clovis

*Date 06/2022

Continuation Update

P3a. Description:

by two narrow casement windows, is located on the front elevation. The windows in the finished basement area, (located on the west and south elevations) are four-paned casement windows. The French doors on the front elevation open out to a TimberTech deck and railing with vertical balusters. The deck railing transitions to a decorative metal railing that borders the curved stairway to the driveway. The deck is located over the garage which has a non-historic overhead door. A single-leaf wood door that leads into the finished basement is located south of the garage door.

A brick patio is located between the two rear wings of the U plan. A large chimney at the east elevation, constructed of rough-cut rubble masonry, is a dominant feature of the patio. Two French doors accessed via single brick steps flank the chimney. Another French door which was installed as part of the kitchen remodel in 1950 opens to the north rear wing. A brick step leads to a single-leaf wood door which is located at an angle within the junction of the main block and the south rear wing. This acts as a main entrance into the house.

The house is located on a large, sloping lot on the northeast corner of San Antonio and 12th Avenues. A wood stake fence surrounds the perimeter of the property. The front yard appears recently landscaped but some mature bushes and abundant ferns are present. A brick path along the 12th Avenue elevation leads to the rear patio. In 2018 damaged stone and brick pathways were removed and replaced with sand-set brick pathways. Low rough cut rubble masonry retaining walls flank a brick-paved driveway that leads from San Antonio Avenue; the driveway was paved with brick at an unknown date.

No original plans are in the building file. Following is a description of the permitted changes to the property:

- **BP# 2058 (9/18/1950):** Comstock Associates enlarged the kitchen wing towards the rear lot line. A new window was installed in the rear wall and the original Dutch doors were reinstalled in the new wall. French doors were installed that opened out to the patio.
- **BP# 3488 (2/15/1960):** The bathroom was remodeled which included closing the original bathroom window and creating a new louvered window with obscure glass (since removed). Plans indicate that the original 3' wide porch (termed "lookout") on the front elevation was removed and replaced with a wider deck. Steps were constructed which connected the deck and the driveway.
- **BP# 89-205 (10/3/1989):** In 1989 two rotten windows on the south elevation were removed. One was replaced with a similar sash window (the bathroom window) and the other with a canted bay window atop a masonry foundation.
- **BP# 94-130 (7/11/1994):** Reroof with composite shingles.
- **BP# 18020 (1/17/2018):** Remove and replace walkways with brick.
- **BP# 02-150 (9/6/2002):** The 1960s deck was replaced with a TimberTech deck and railing. The stone wall and steps (added in 1960) to the driveway were retained.

The owners of the property applied for a rooming house permit in 1984 and the basement was one of the rented spaces. There is no record of when the basement was converted into livable space. The small windows that light the basement were presumably installed when the basement was remodeled. The front porch French doors are replacements.

Character Defining Features

Character refers to all the visual aspects and physical features that comprise the appearance of a historic building. Character-defining features include the overall shape of the building, its materials, craftsmanship, decorative details, and the various aspects of its site and environment. The Rockwell House exhibits many of the design traits that characterize Carmel's Craftsman style homes, as described in Carmel's Historic Context Statement. Character-defining features include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed windows
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
- Masonry chimney
- Hipped roof system
- Decorative notched exposed rafters
- Dutch door

Integrity

Integrity is defined as the ability of a property to convey its significance. There are seven aspects of integrity and to retain integrity, a property must retain several, if not most aspects. Despite some changes over time, the Rockwell House still retains integrity:

- Location: the Rockwell House is still in its original location.
- Design: the Rockwell House has retained its U-shaped plan and original roof configuration.
- Setting: the Rockwell House is still located in a residential setting.
- Materials: the Rockwell House retains the majority of its materials, including wood shingle and shiplap siding, wood windows, French Doors, Dutch door, and masonry chimney.
- Workmanship: the Rockwell House still displays Murphy's workmanship, such as the decorative notched rafters.
- Feeling: the Rockwell House retains the physical features that convey its historic character, i.e., an early Craftsman house in Carmel.
- Association: association is only applicable for properties eligible under Criteria 1 and 2.

Since the Rockwell House possesses the defined characteristics required to strongly represent its context, it is not necessary to compare it against other examples of Murphy-designed Craftsman homes.

B10. Significance:

came to Carmel in 1902. Two years later Frank Devendorf hired him to do the building for the Carmel Development Company. Murphy went on to become the most prolific builder in the history of Carmel, with the Pine Inn, Highlands Inn, La Playa Hotel, Sundial Court, Tor House, Harrison Memorial Library, and numerous houses to his credit. In 1914 Murphy established his own contracting company and in 1924 he opened the M.J. Murphy Company which sold building supplies, did rock crushing and concrete work, and operated a lumber mill and cabinet shop located between San Carlos and Mission.

CONTINUATION SHEET

Primary # _____

HRI# _____

Trinomial _____

Page 5 of 9

*Resource Name or # Rockwell House

*Recorded by Meg Clovis

*Date 06/2022

Continuation Update

Evaluation for Significance

Historians use National Register Bulletin 15¹ as a guide when evaluating a property's significance whether on a local, state, or national level. As a first step, to determine whether or not a property is significant, it must be evaluated within its historic context and the City of Carmel's Historic Context Statement² provides this context. The City of Carmel's Historic Preservation Ordinance (Section 17.32.040) reiterates the role of *National Register Bulletin 15* in the evaluation of historic resources. Adopted eligibility criteria is modeled on the California Register's four criteria with the addition of specific qualifications for criterion 3 (Section 17.32.040.D).

The Rockwell House is not eligible under **Criterion One (Event)** as no specific event led to the construction of this building and no important event took place in the building.

The Rockwell House is not eligible under **Criterion Two (Person)** as Mr. and Mrs. Rockwell are not individually significant within Carmel's historic context. Mr. Rockwell was a successful business man, real estate developer and member of the Connecticut legislature, however these accomplishments during his productive life would be best represented by his former home or factory in Hartford.

The Rockwell House is eligible for listing in the Carmel Inventory under **Criterion Three (Architecture)** because it was designed and built by Michael J. Murphy, a builder-designer who is recognized as significant in Carmel's Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(1)). In addition, it is a good example of the Craftsman style which characterizes Carmel's architectural legacy during the town's formative years. Murphy himself is credited with laying the foundation of Carmel's early Arts and Crafts aesthetic with his Craftsman houses. The Craftsman style is recognized as significant in the Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(3)).

To be eligible for the Carmel Inventory a resource must represent a theme in the Context Statement, retain substantial integrity, be at least 50 years old, and meet at least one of the four criteria for listing in the California Register. The Rockwell House represents the theme of Architectural Development, it retains substantial integrity, and it is over 50 years old. It meets Criterion Three of the California Register on the local level because it is representative of Carmel's architectural chronology, specifically the Craftsman style, as described on page 46 of the Context Statement. The Rockwell House reflects the aesthetic characteristics of the Craftsman style through its horizontal proportions; wood shingle siding; windows framed by extended lintels and sills; stone chimney; exposed rafters; and U-shaped plan around a patio.

In summary, the Carmel Context Statement, the Carmel Historic Preservation Ordinance, and the historical record support the eligibility of the Rockwell House for the Carmel Historic Inventory.

¹ National Register Bulletin 15. *How to Apply the National Register Criteria for Evaluation*. National Park Service. 1998.

² *Historic Context Statement: Carmel-by-the-Sea (updated)*. Adopted by the City Council September 9, 2008.



Figure 1: View of back patio, looking SW



Figure 2: View NE of south elevation with added bay window, indicated with red arrow

CONTINUATION SHEET



Figure 3: View NE from corner of San Antonio and 12th



Figure 4: Basement windows on south elevation

CONTINUATION SHEET



Figure 5: View of extended lintels and sills and decorative notched rafters



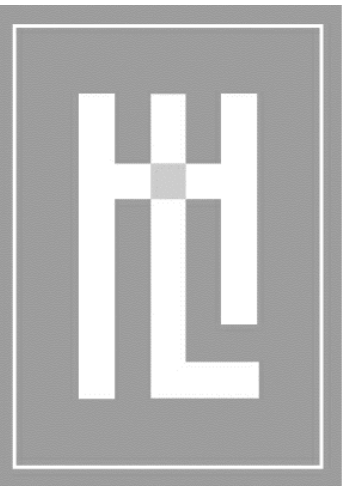
Figure 6: View NW of patio and French doors added in 1950, indicated with red arrow

CONTINUATION SHEET



Figure 7: View of rock stairs added in 1960 and decorative railing added in 2002.

RAMOS Residence



HOLDREN+LIETZKE
ARCHITECTURE

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Fax: 831.649.6003
www.hl-arc.com

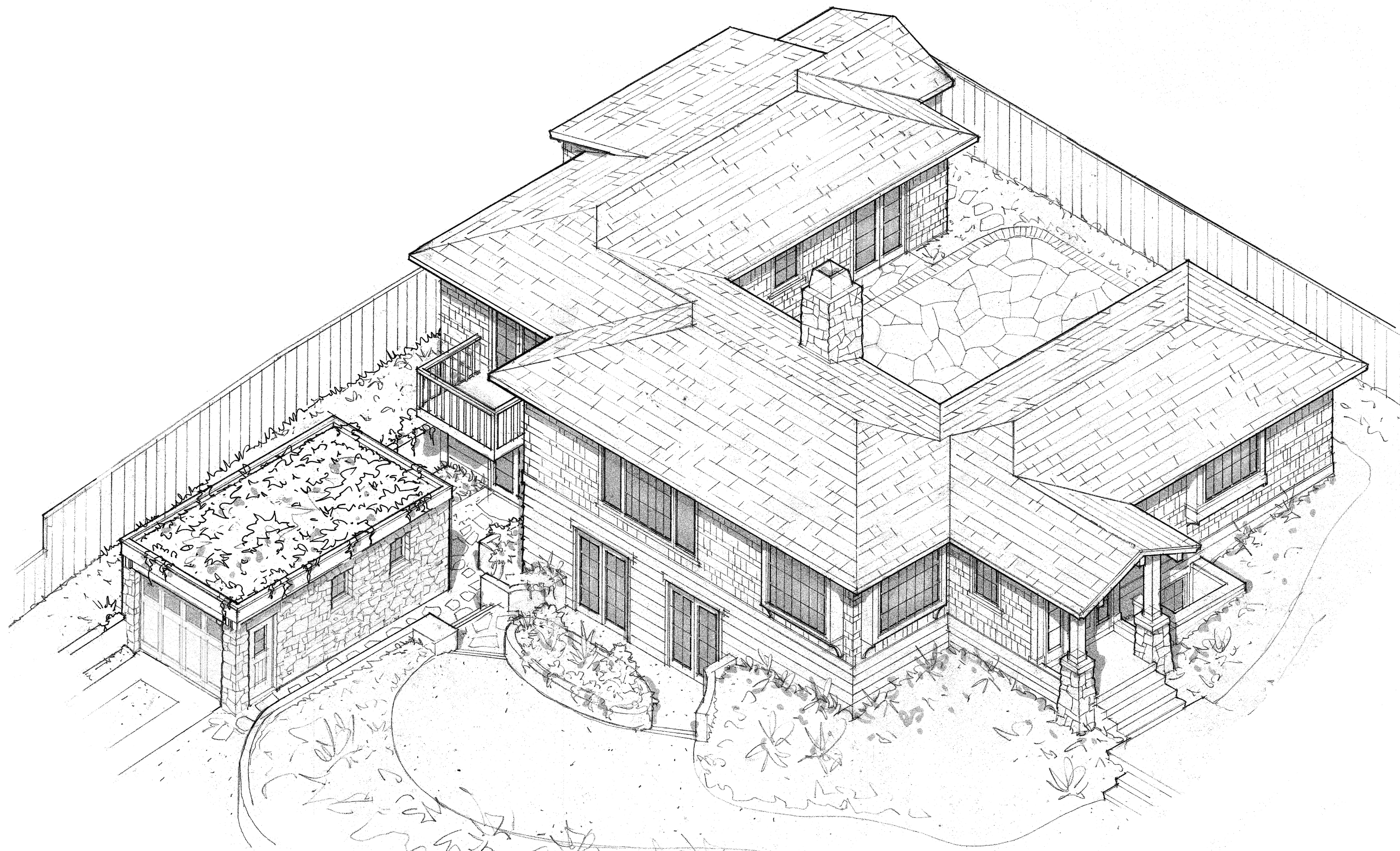
DATE: MAY 23, 2023

SCALE: N.T.S.

DRAWN: JM

JOB NUMBER:

REVISION



3D ELEVATION
FOR ILLUSTRATION PURPOSES ONLY



STREET PROFILE

PROJECT DATA

FLOOR AREA CALCULATIONS:

MAIN FLOOR AREA	
(E) FLOOR AREA	1441
(N) FLOOR AREA ADDITION	138
TOTAL	1579

LOWER FLOOR AREA	
(E) LOWER FLOOR	694
(N) ADDITION	398
(N) GARAGE	253
TOTAL	1345

TOTAL FLOOR AREA :	
MAIN FLOOR	= 1579 S.F.
LOWER FLOOR / GARAGE	= 1345 S.F.
TOTAL	= 2,924 S.F.
MAX. ALLOWED	= 2,960 S.F.

SITE COVERAGE CALCULATIONS:

EXISTING SITE COVERAGE	
WALKWAYS	1125
DRIVEWAY	756
TOTAL	1881

PROPOSED SITE COVERAGE	IMPERMEABLE	SEMI-PERMEABLE
WINDOW WELL #1		20
FRONT PATHWAY AND STEPS	106	107
(E) REAR PATHWAY TO BE REPLACED WITH PAVERS		87
BACK PATIO	364	
WINDOW WELL #2		80
DRIVEWAY		108
WOOD DECK		82
STEPPING STONES	14	
DRIVEWAY (MULCH)		
PATHWAY (MULCH)		
TOTAL IMPERMEABLE	484	484
TOTAL (IMPERMEABLE + SEMI-PERMEABLE)		968
MAX. ALLOWED W/ BONUS :		= 971 S.F.

WALL ANALYSIS:

	EXISTING WALLS	EXISTING WALLS TO BE REMOVED	NEW WALLS TO BE ADDED
MAIN FLOOR	486 L.F.	132 L.F.	157 L.F.
LOWER FLOOR	297 L.F.	74 L.F.	193 L.F.
TOTAL	783 L.F.	206 L.F.	350 L.F.

PERCENTAGE OF WALLS TO BE REMOVED AND ADDED, TO EXISTING WALLS = (206 + 350) / 783 = 71 %

HEIGHT ANALYSIS:

	1ST (LOWER) FLOOR		2ND (MAIN) FLOOR	
	PLATE HEIGHT	RIDGE HEIGHT	PLATE HEIGHT	RIDGE HEIGHT
EXISTING	7'-5"		15'-8"	19'-3"
PROPOSED	7'-5"		15'-8"	19'-3"
MAXIMUM	12'-0"	18'-0"	18'-0"	24'-0"

SHEET INDEX

- A0.1 COVER SHEET
- 1 OF 2 TOPOGRAPHIC SITE SURVEY
- 2 OF 2 TOPOGRAPHIC SITE SURVEY
- A1.0 EXISTING SITE / DEMOLITION PLAN
- A1.1 PROPOSED SITEPLAN / EXTERIOR LIGHTING PLAN
- A2.0 EXISTING / DEMOLITION FLOOR PLANS
- A2.2 PROPOSED FLOOR PLANS
- A2.3 PROPOSED ROOF PLAN / WINDOW AND DOOR SCHEDULE
- A2.4 REFLECTED CEILING PLANS
- A3.0 EXISTING ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A3.3 PROPOSED ELEVATIONS
- A3.4 BUILDING SECTIONS
- A3.5 BUILDING SECTIONS

SCOPE OF WORK:

- CONSTRUCTION OF 231 S.F. DETACHED GARAGE
- ADDITION OF 138 S.F. FLOOR AREA TO MAIN FLOOR, IN-KIND REPLACEMENT OF WOOD SHAKE ROOFING, NEW ENTRY ADDITION WITH WOOD COLUMN AND STONE BASE.
- RELOCATE EXISTING WINDOWS AND NEW WINDOWS AND DOORS TO MATCH EXISTING
- NEW LOWER FINISH FLOOR AND 398 S.F. EXPANSION
- ALL NEW EXTERIOR MATERIALS AND FINISH TO MATCH EXISTING.

TREES TO BE REMOVED: NONE

PROJECT ADDRESS: NE CORNER OF 12TH ST. AND SAN ANTONIO AVE.
CARMEL-BY-THE-SEA, CA

A.P.N.: 010-279-008

ZONING: R-1

LOT SIZE: 8,000 S.F.

CURRENT USE: RESIDENTIAL

OCCUPANCY GROUP: R-3/U

CONSTRUCTION TYPE: V-B

SPRINKLER: YES

PROJECT TEAM

OWNER:
CATHERINE & TIM RAMOS
16 DARLENE CT
ALAMO, CA 94507
PH: (925) 963-4100

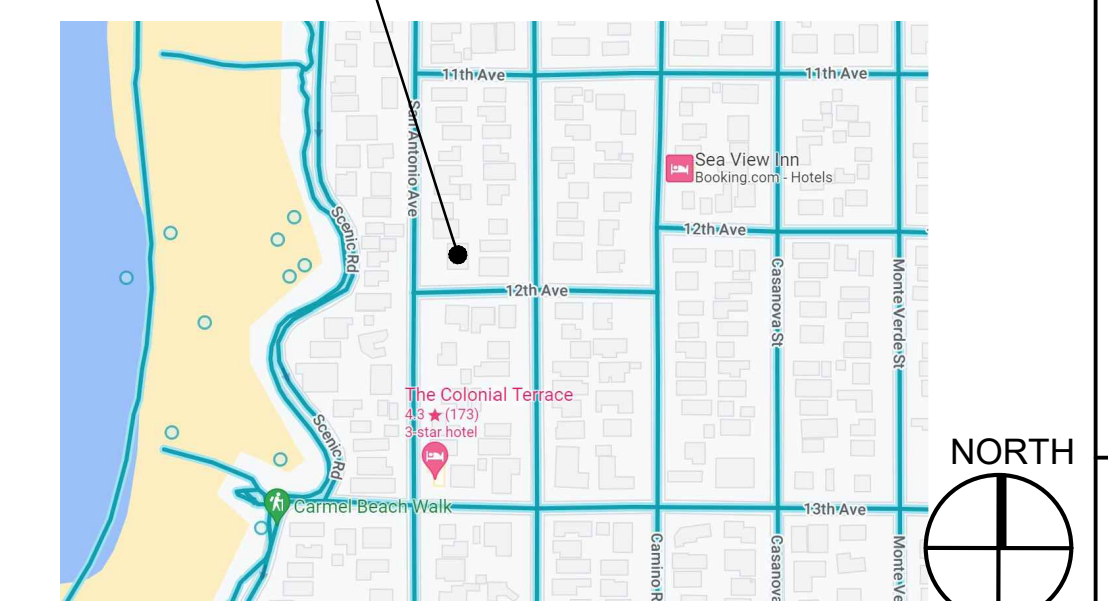
PROJECT ADDRESS:
NE CORNER OF 12TH STREET AND SAN ANTONIO AVE.
CARMEL-BY-THE-SEA, CALIFORNIA

ARCHITECT:
HOLDREN + LIETZKE ARCHITECTURE
225 CANNERY ROW - A
MONTEREY, CA 93940
PH: (831) 649-6001
CONTACT: CRAIG HOLDREN

SURVEYOR:
LUCIDO SURVEYORS
2 SAUCITO AVENUE
DEL REY OAKS, CA 93940
PH: 831-620-5032

VICINITY MAP

PROJECT LOCATION



COVER SHEET

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A0.1



SCALE: N.T.S.

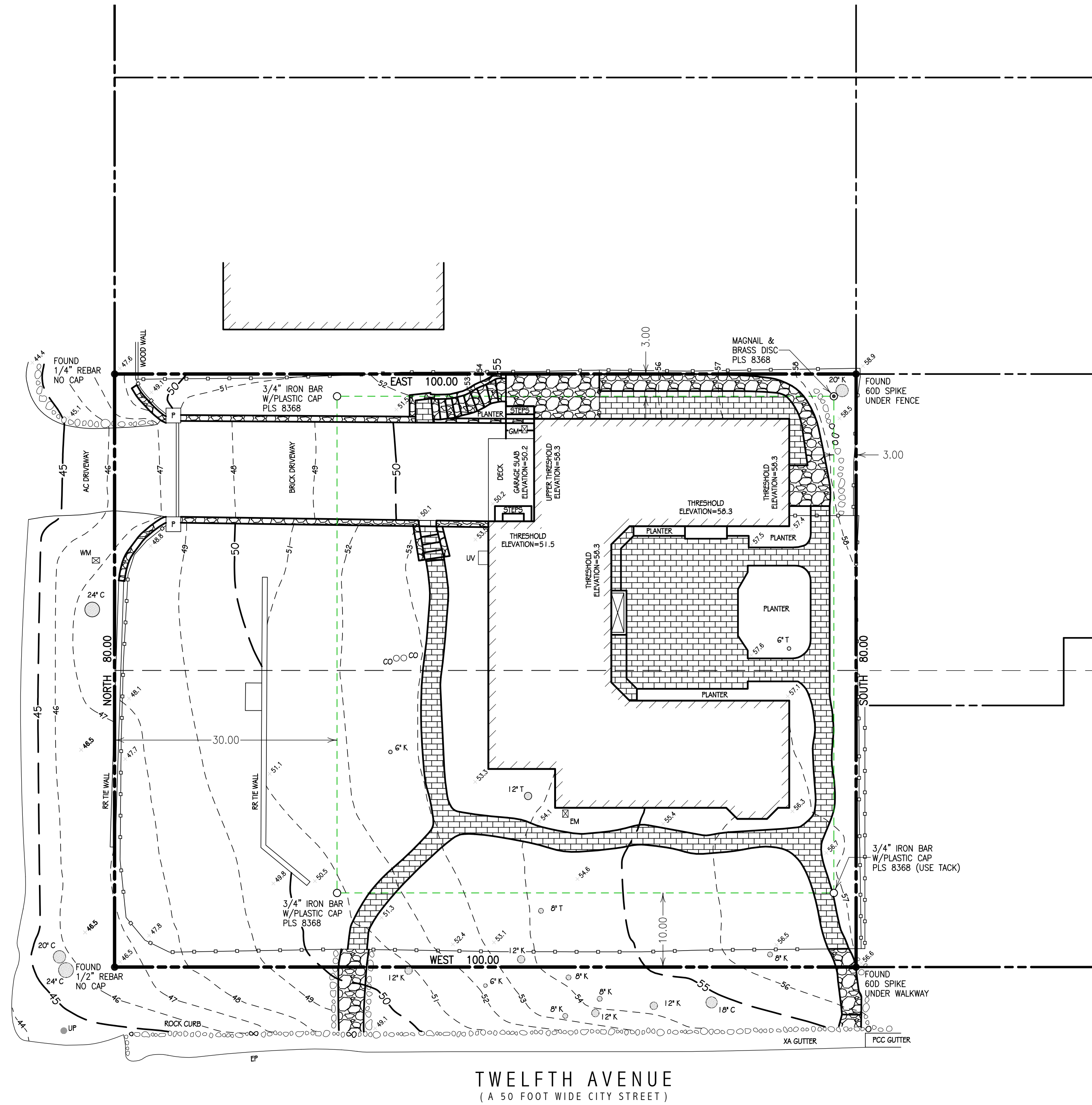
LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- REFERENCE LINE
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- 50--- CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EP EDGE OF PAVEMENT
- LIP OF GUTTER
- FACE OF CURB
- BACK OF CURB
- BACK OF SIDEWALK
- EDGE OF DRIVEWAY
- BUILDING OUTLINE
- CHIMNEY
- THRESHOLD ELEVATION APPROXIMATE FLOOR ELEVATION
- DECK
- CONC PAD CONCRETE PAD
- STEP
- PLANTER
- WV WATER VALVE
- WM WATER METER
- FH FIRE HYDRANT
- MH SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEAN-OUT
- MH STORM DRAIN MANHOLE
- AD AREA DRAIN
- CB STORM DRAIN CATCH BASIN
- UP UTILITY POLE
- GW GUY WIRE
- EV ELECTRIC VAULT
- UV UTILITY VAULT
- EM ELECTRIC METER
- SL STREET LIGHT
- LP LAMP POST
- GM GAS METER
- TS TELEPHONE STANDARD
- CTVB CABLE TELEVISION BOX
- WOOD FENCE
- WF WIRE FENCE
- SSS STREET SIGN
- SP SIGN POST
- MB MAIL BOX
- P PILLAR
- BW BLOCK WALL
- ROCK WALL
- ROCK RETAINING WALL
- STACKED BLOCK WALL
- STONE WALKWAY AND/OR WALL
- EDGE OF FOLIAGE
- 12" T TREE WITH SIZE AND TYPE
- E EUCALYPTUS
- C CYPRESS
- K OAK
- M PALM
- P PINE
- R REDWOOD
- T TREE
- SP SPOT ELEVATION

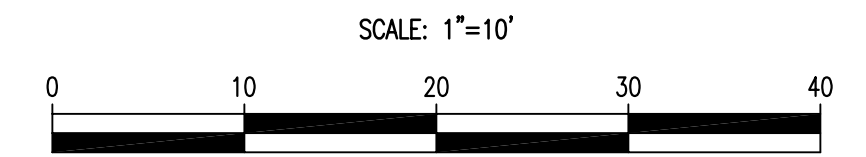
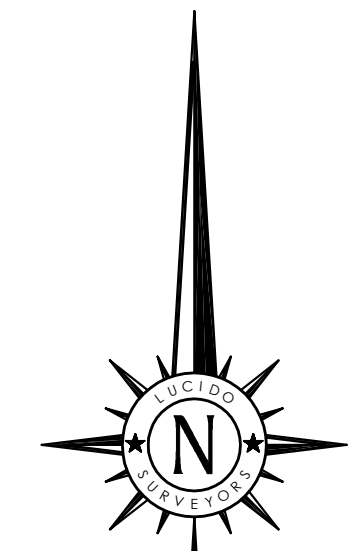
ABBREVIATIONS:

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- CS CRAWL SPACE
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- CP CONCRETE PAD
- DG DECOMPOSED GRANITE
- XA EXPOSED AGGREGATE
- HDPE HIGH DENSITY POLY ETHYLENE
- PCC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- PVC POLY VINYL CHLORIDE
- RCF REINFORCED CONCRETE PIPE
- TE TRASH ENCLOSURE

SAN ANTONIO AVENUE
(A 50 FOOT WIDE CITY STREET)



PROJECT BENCHMARK
SURVEY MARK & ALUMINUM DISC
ELEV=50.0



BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A SURVEY MARK & ALUMINUM DISC SET IN THE PAVEMENT NEAR THE SOUTHERLY BOUNDARY LINE OF THE SUBJECT PROPERTY AS SHOWN HEREON.

NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
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TOPOGRAPHIC SITE SURVEY

OF
LOTS 18 & 20, BLOCK "X"

IN
VOLUME 1, C&T PAGE 45 1/2

Records of Monterey County

PREPARED FOR

William W. Moritz

BY

LUCIDO SURVEYORS

Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940



info@lucidosurveyors.com
(831) 620-5032



SCALE: 1"=10'

PROJECT No. 3041

SEPTEMBER 2022

CITY OF CARMEL

COUNTY OF MONTEREY

STATE OF CALIFORNIA

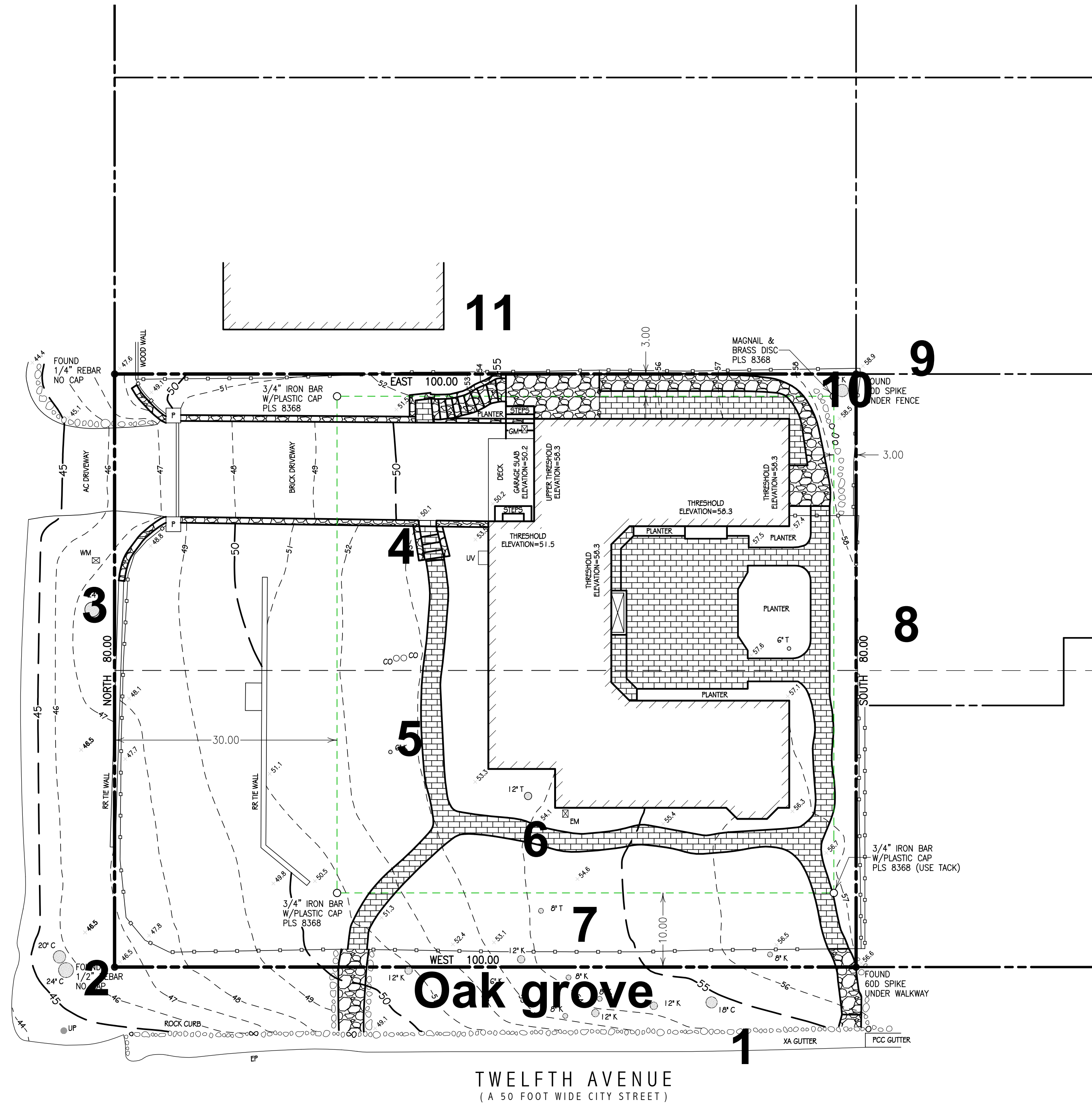
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- EDGE OF FOLIAGE
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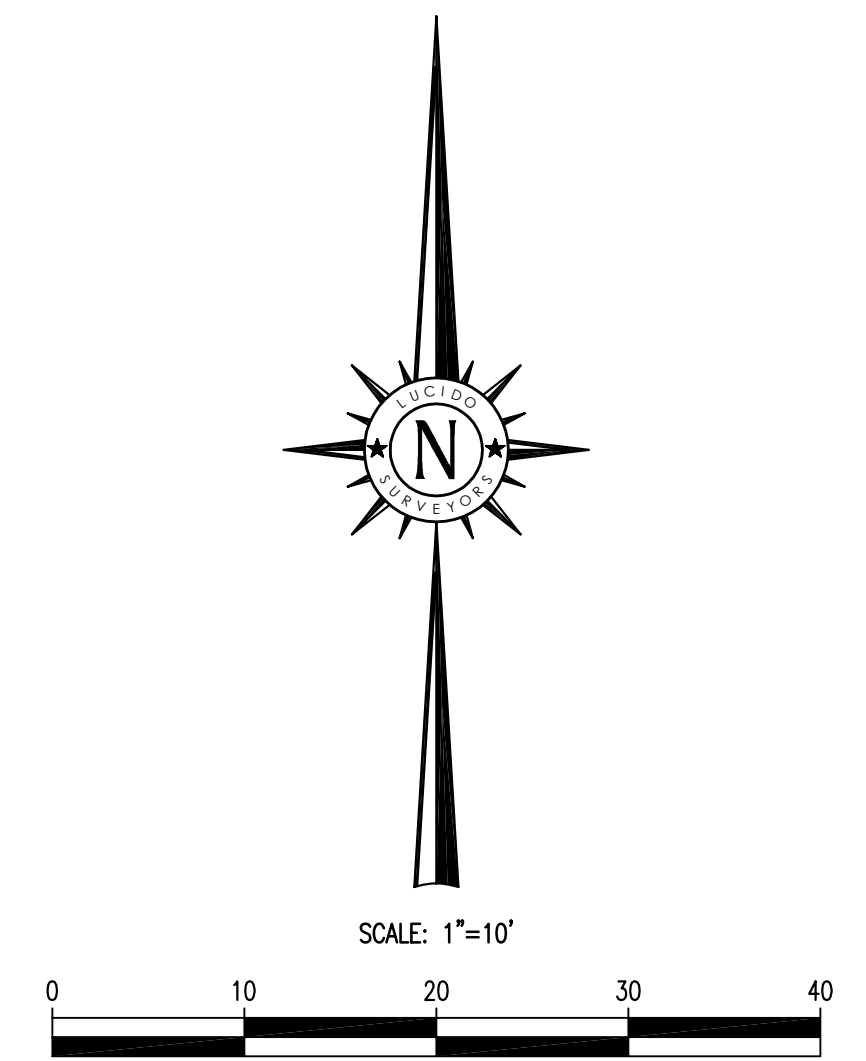
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TOPOGRAPHIC SITE SURVEY

OF
LOTS 18 & 20, BLOCK "X"
IN

VOLUME 1, C&T PAGE 45 1/2

Records of Monterey County

PREPARED FOR

William W. Moritz

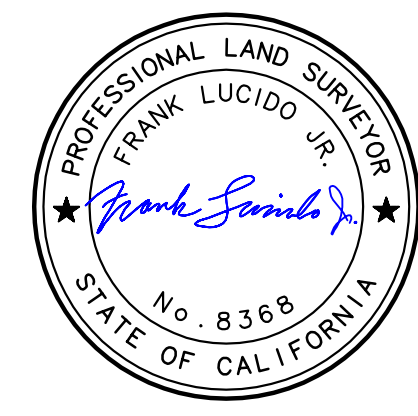
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SCALE: 1"=10'

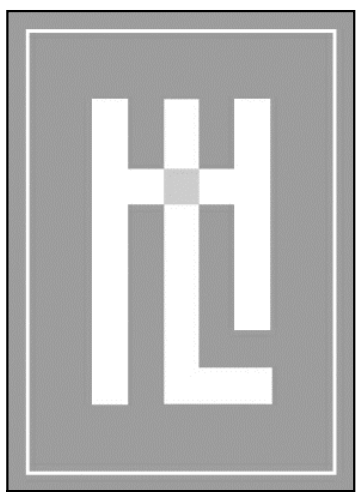
PROJECT No. 3041

SEPTEMBER 2022

CITY OF CARMEL

COUNTY OF MONTEREY

STATE OF CALIFORNIA



HOLDREN+LIETZKE
ARCHITECTURE

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www.hl-arc.com

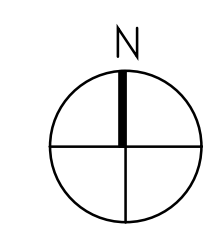
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SCALE: 1/4" = 1'-0"

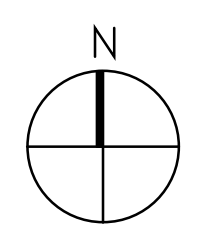
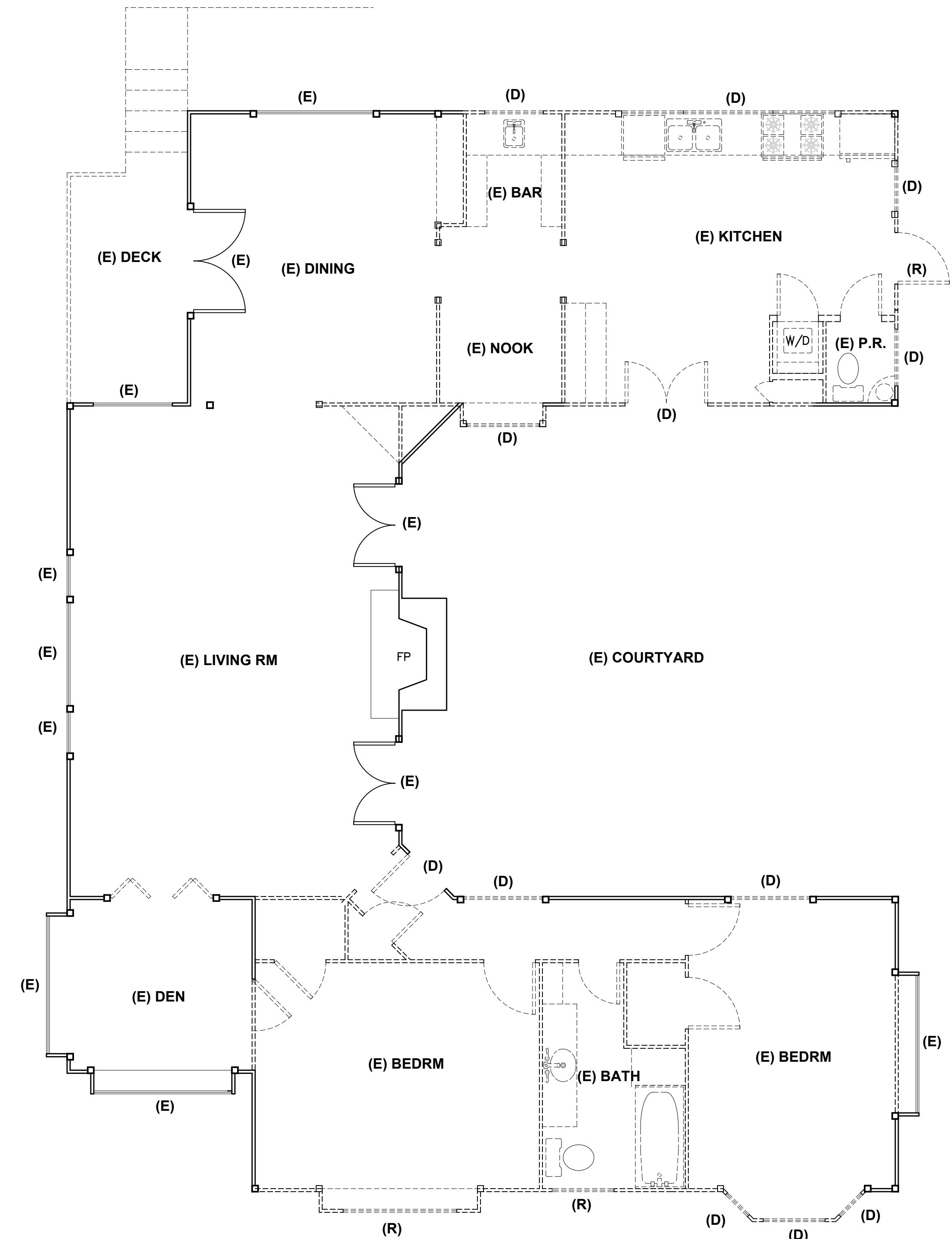
DRAWN: JM

JOB NUMBER:

REVISION



EXISTING / DEMOLITION LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING / DEMOLITION MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

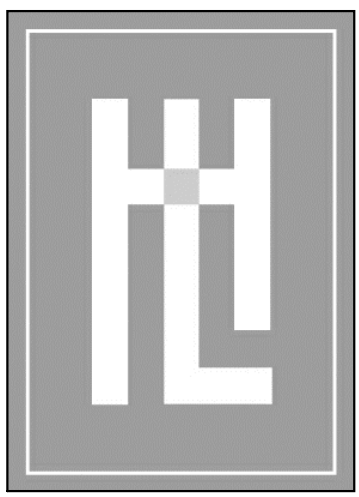
WALL LEGEND:

- (E) SINGLE WALL TO REMAIN
- (E) SINGLE WALL TO BE REMOVED
- (E) (E) EXTERIOR DOORS, WINDOW TO REMAIN
- (D) (E) EXTERIOR DOORS, WINDOW TO BE REMOVED
- (R) (E) EXTERIOR DOORS, WINDOW TO BE RELOCATED
- (E) PLUMBING FIXTURES, APPLIANCES, CASEWORKS & OTHER ITEMS TO BE REMOVED
- (E) RETAINING WALL TO BE REMOVED
- (E) CONCRETE SLAB TO BE REMOVED

EXISTING / DEMOLITION PLAN

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

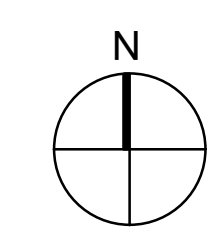
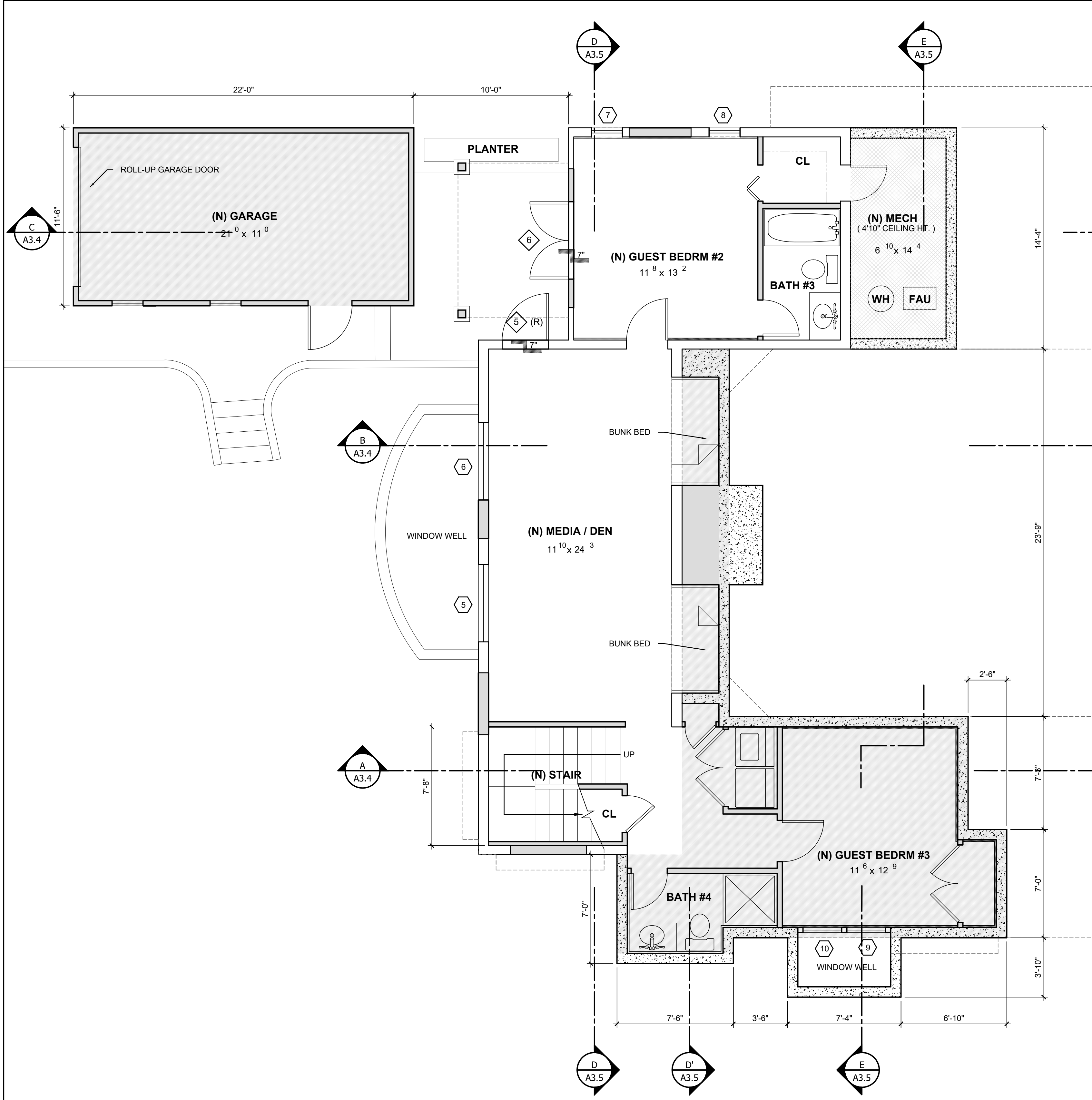
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**HOLDREN+LIETZKE
ARCHITECTURE**

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DRAWN: JM
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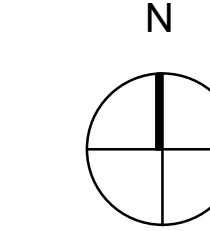
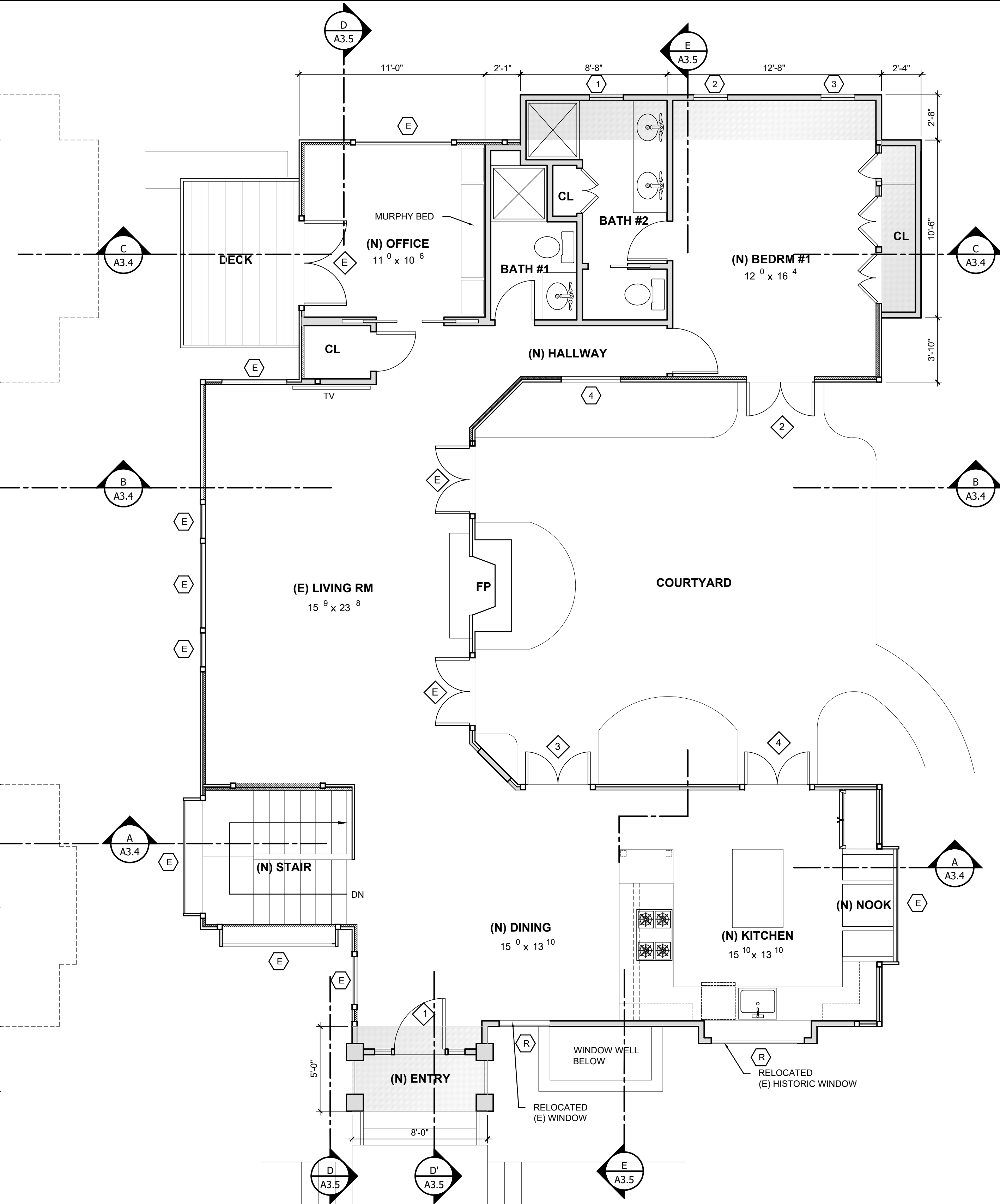


PROPOSED LOWER FLOOR / GARAGE PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA:

- (E) BASEMENT = 694 S.F.
- (N) ADDITION = 398 S.F.
- (N) GARAGE = 231 S.F.
- TOTAL = 1,323 S.F.**



PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA:

- (E) = 1,441 S.F.
- (N) = 138 S.F.
- TOTAL = 1,579 S.F.**

LEGEND:

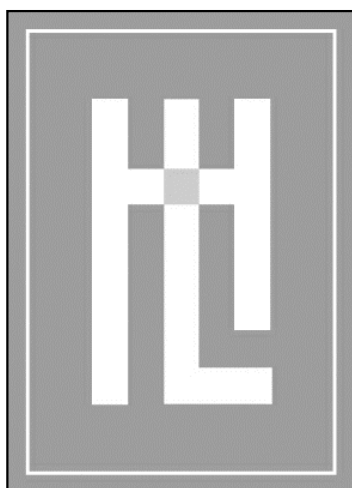
- (E) WALL TO REMAIN
- (N) INTERIOR STUD WALL
- (N) AREA OF ADDITION

NOTE:
SEE DEMOLITION PLAN
FOR WALLS TO BE REMOVED

PROPOSED FLOOR PLAN

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.2



**HOLDREN+LIETZKE
ARCHITECTURE**

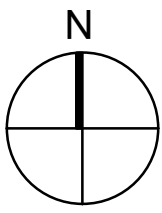
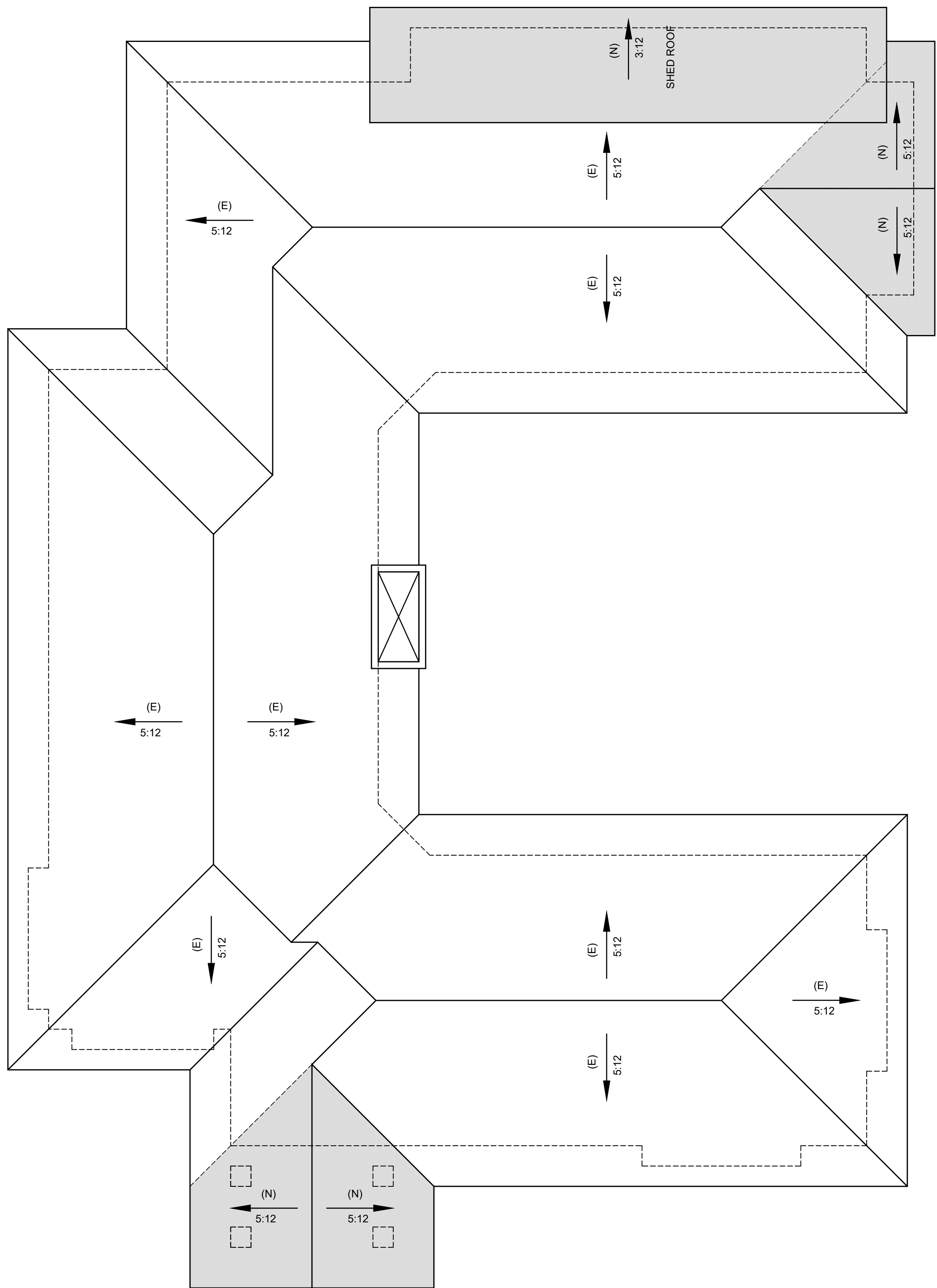
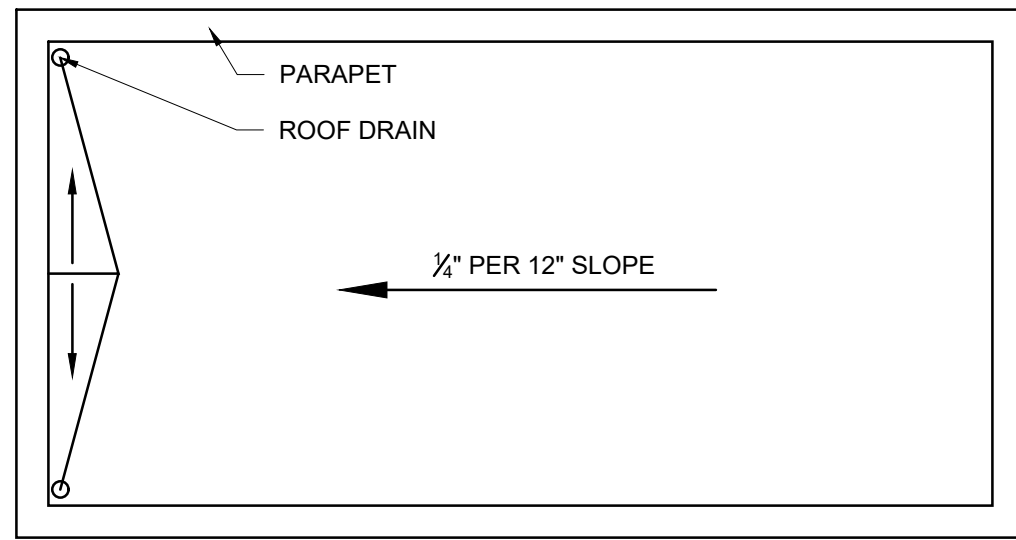
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DATE: MAY 16, 2023
SCALE: 1/4"=1'-0"
DRAWN: JM
JOB NUMBER:
REVISION

PROPOSED ROOF PLAN / WINDOW , DOOR SCHEDULE

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.3



PROPOSED ROOF PLAN

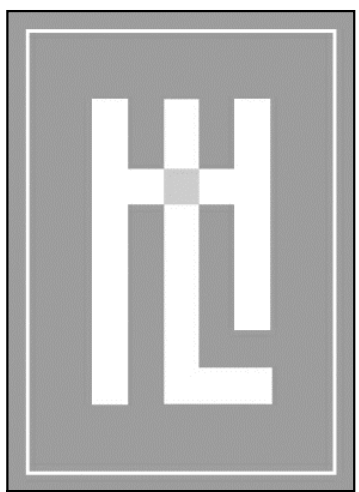
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE NOTE: ALL NEW WINDOWS ARE TO MATCH EXISTING WINDOW WITH TRUE-DIVIDED LIGHTS.

MARK	TYPE	NOMINAL DIMENSIONS		HEAD HEIGHT (ABOVE FIN. FLR.)	FRAME	REMARKS
		WIDTH	HEIGHT			
(E)						EXISTING WOOD WINDOWS TO REMAIN WITH TRUE DIVIDED LIGHTS
(R)						EXISTING WOOD WINDOWS TO BE RELOCATED WITH TRUE DIVIDED LIGHTS
1	CASEMENT	2'-0"	3'-6"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
2	CASEMENT	2'-0"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
3	CASEMENT	2'-0"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
4	FIXED	4'-0"	4'-6"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
5	DBL. CASEMENT	5'-0"	6'-8"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
6	DBL. CASEMENT	5'-0"	6'-8"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
7	FIXED	2'-0"	2'-0"	6'-8"	WOOD	
8	FIXED	2'-0"	2'-0"	6'-8"	WOOD	
9	CASEMENT	2'-6"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
10	CASEMENT	2'-6"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT

EXTERIOR DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	CORE	REMARKS
1	EXTERIOR	3'-0"	6'-8"	SOLID WOOD CORE	MAIN ENTRY WOOD DOOR WITH TRUE-DIVIDED SIDELIGHTS
2	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS
3	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS
4	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS
5	EXTERIOR	3'-0"	6'-8"	SOLID WOOD CORE	DUTCH DOOR - RELOCATED FROM (E) KITCHEN
6	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS



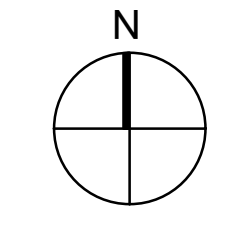
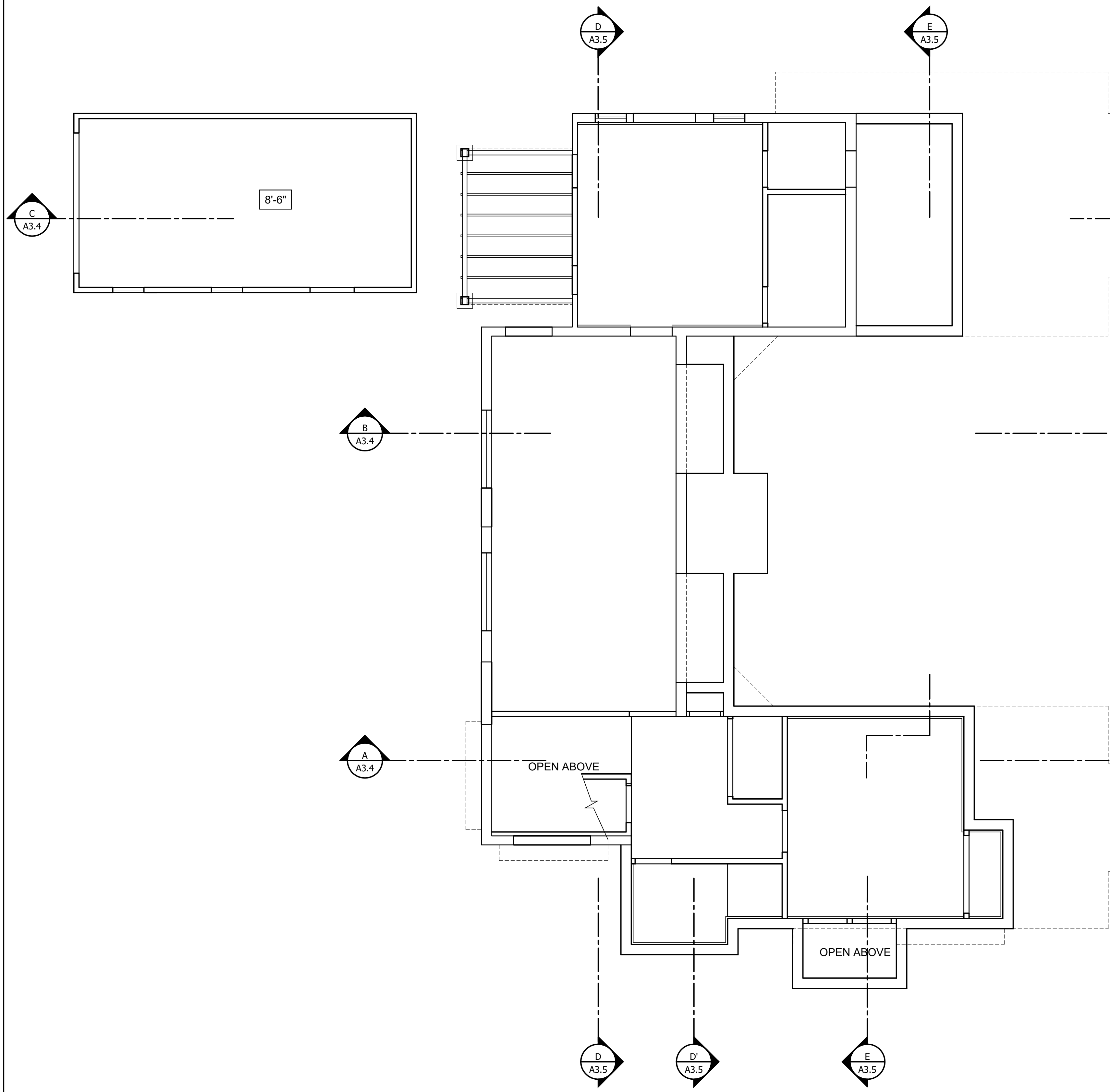
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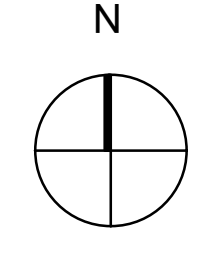
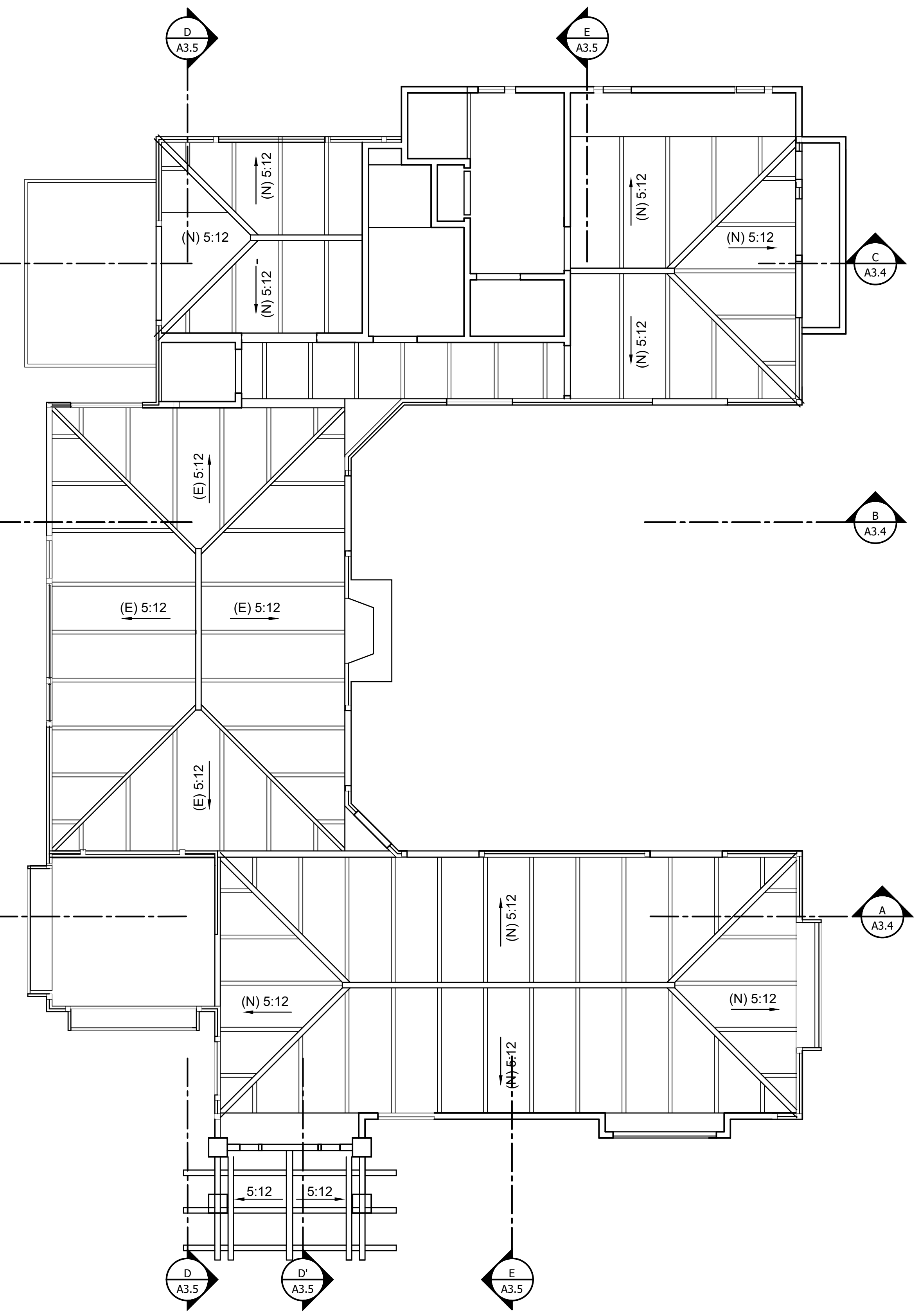
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DRAWN: JM
JOB NUMBER:
REVISION:

PROPOSED REFLECTED CEILING PLAN
RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

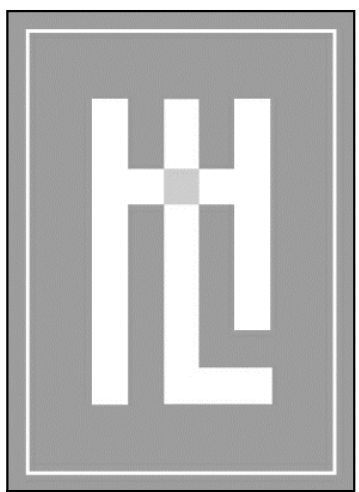
A2.4



LOWER FLOOR / GARAGE REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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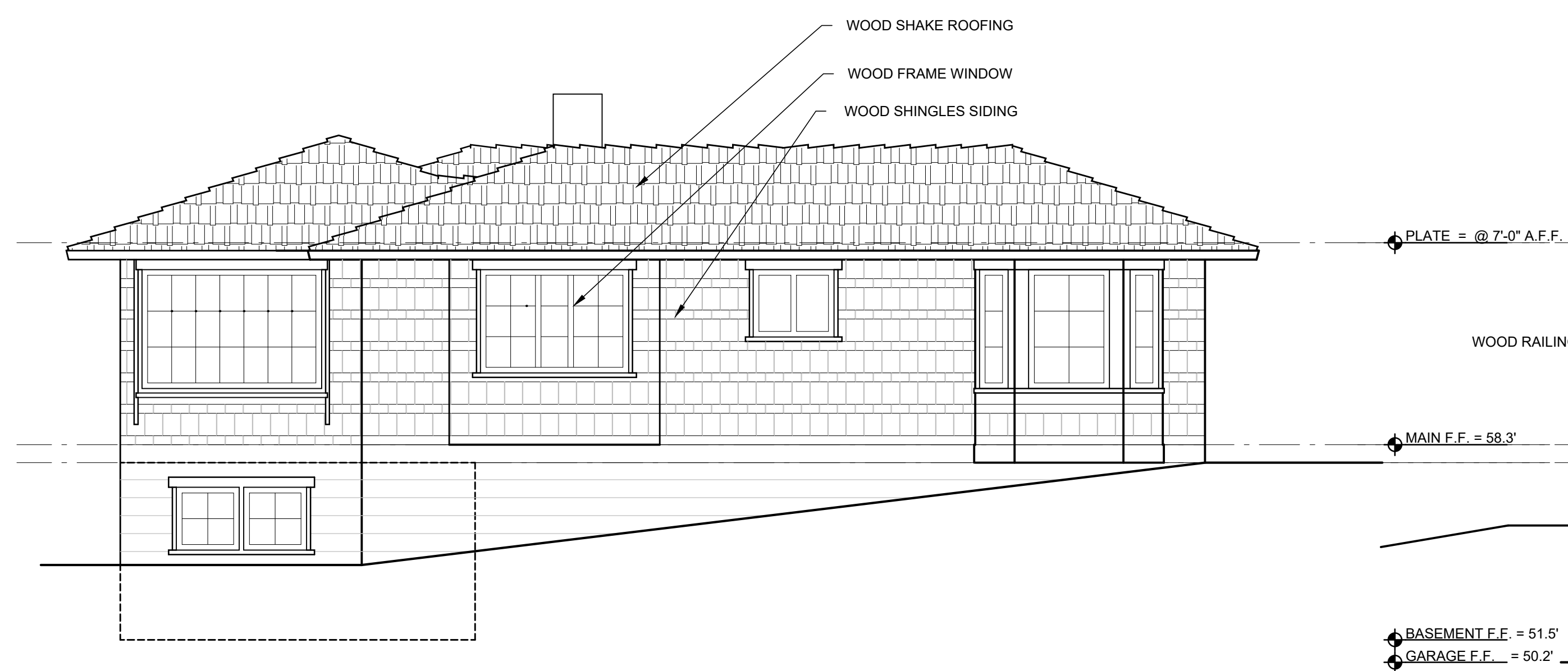
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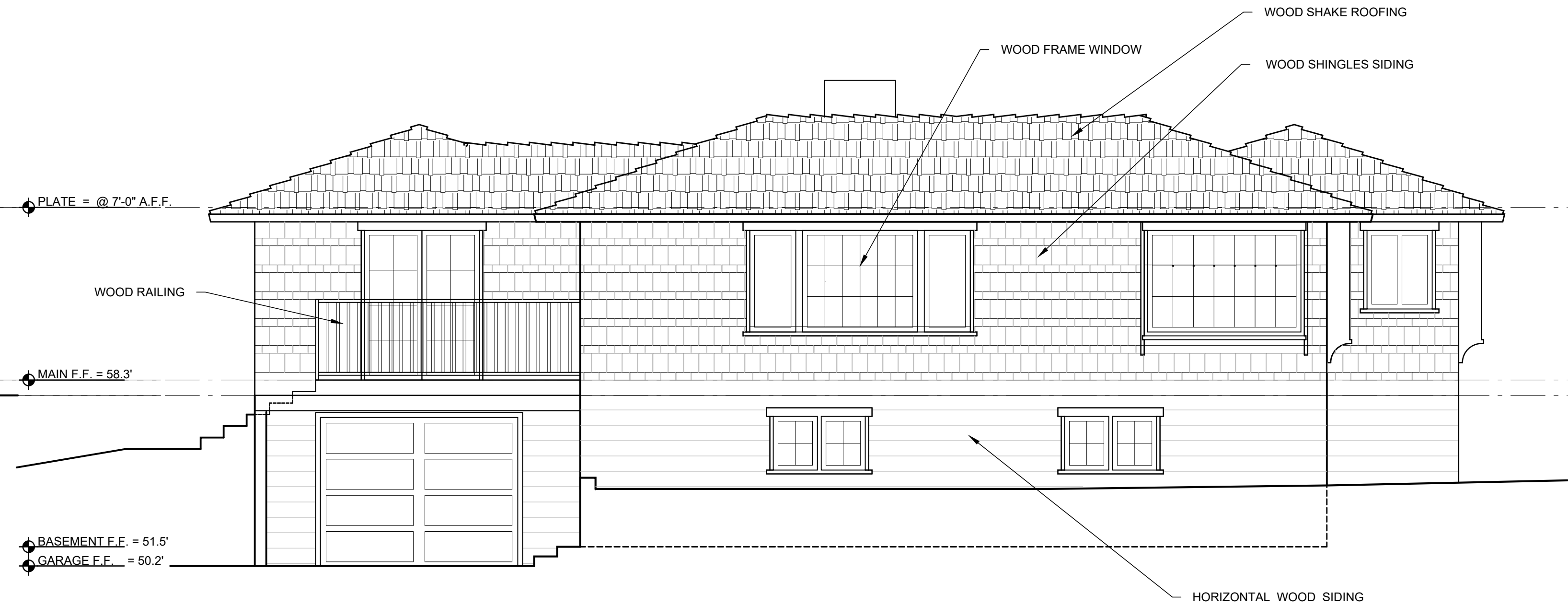
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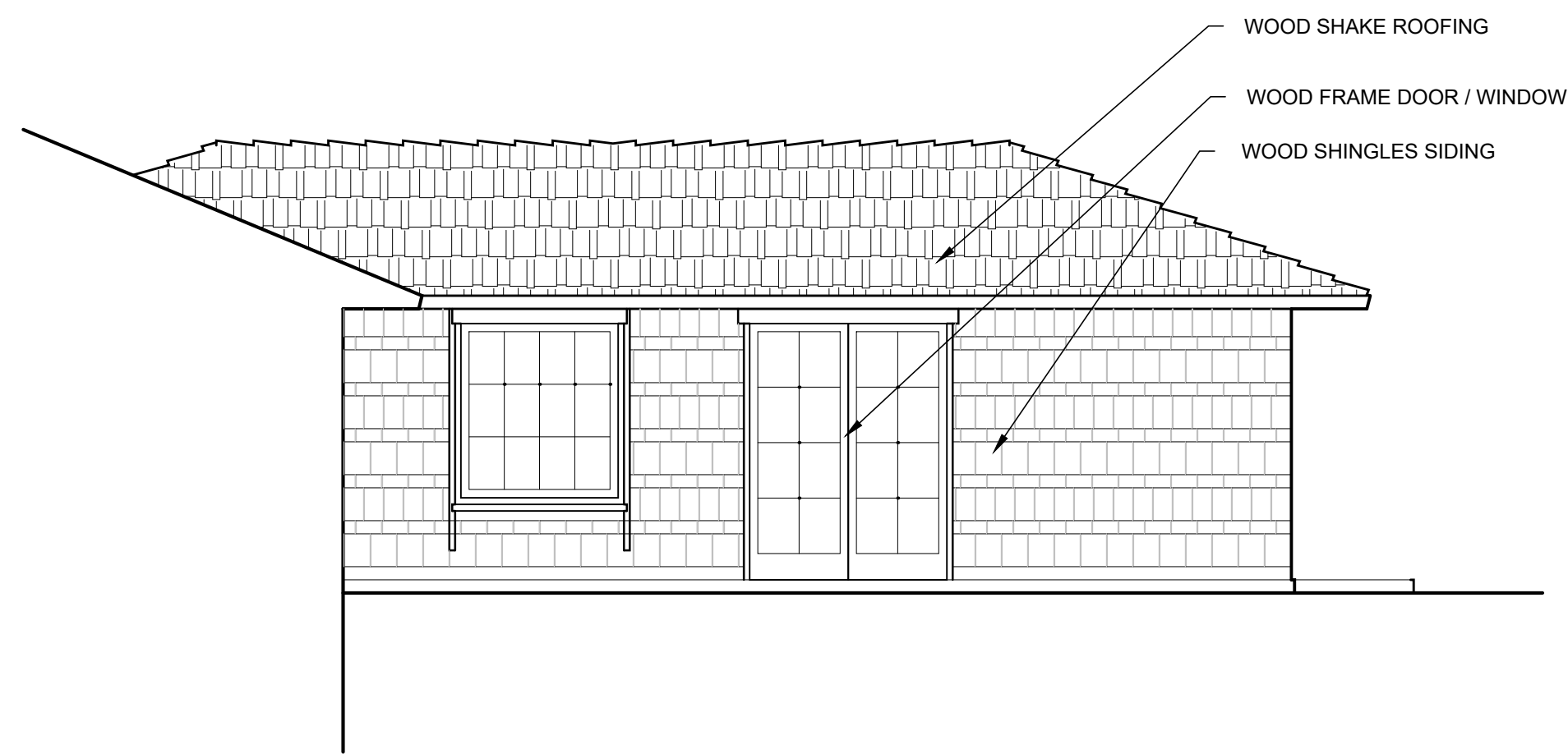
REVISION



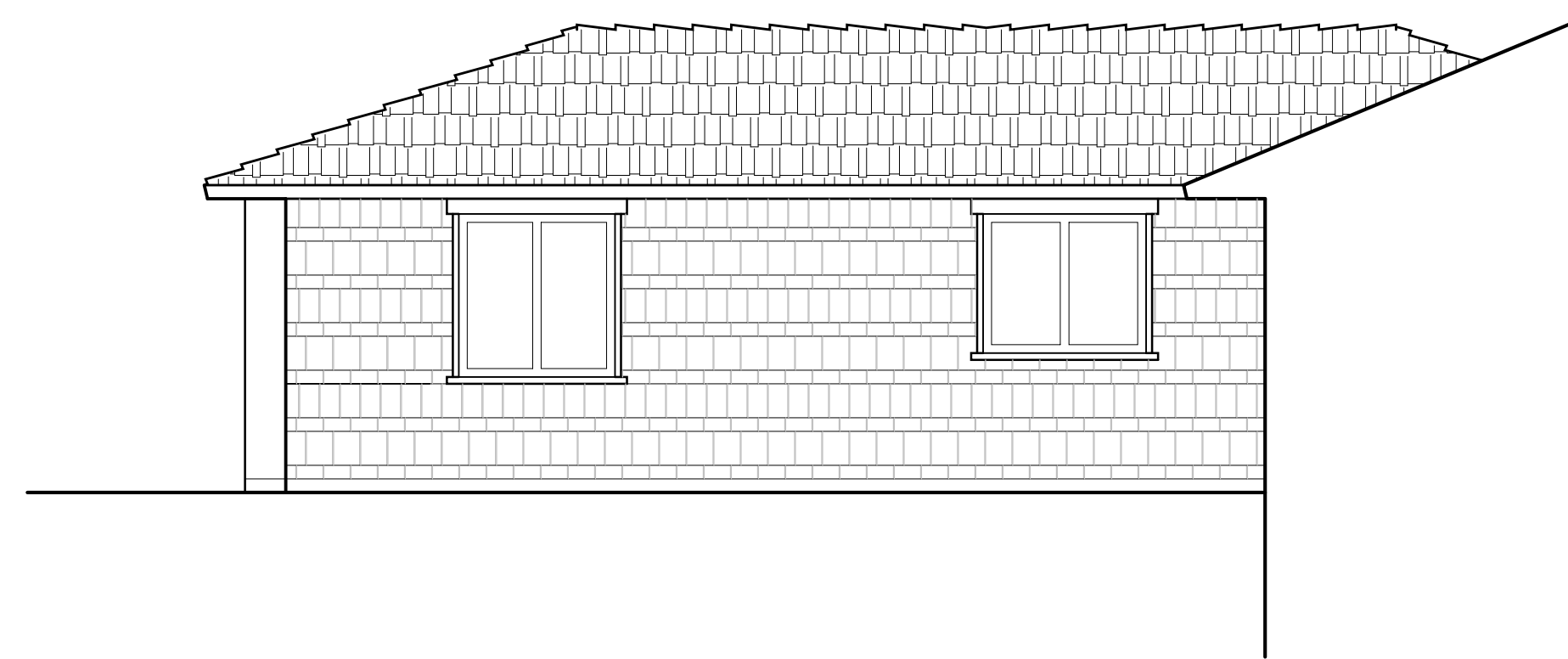
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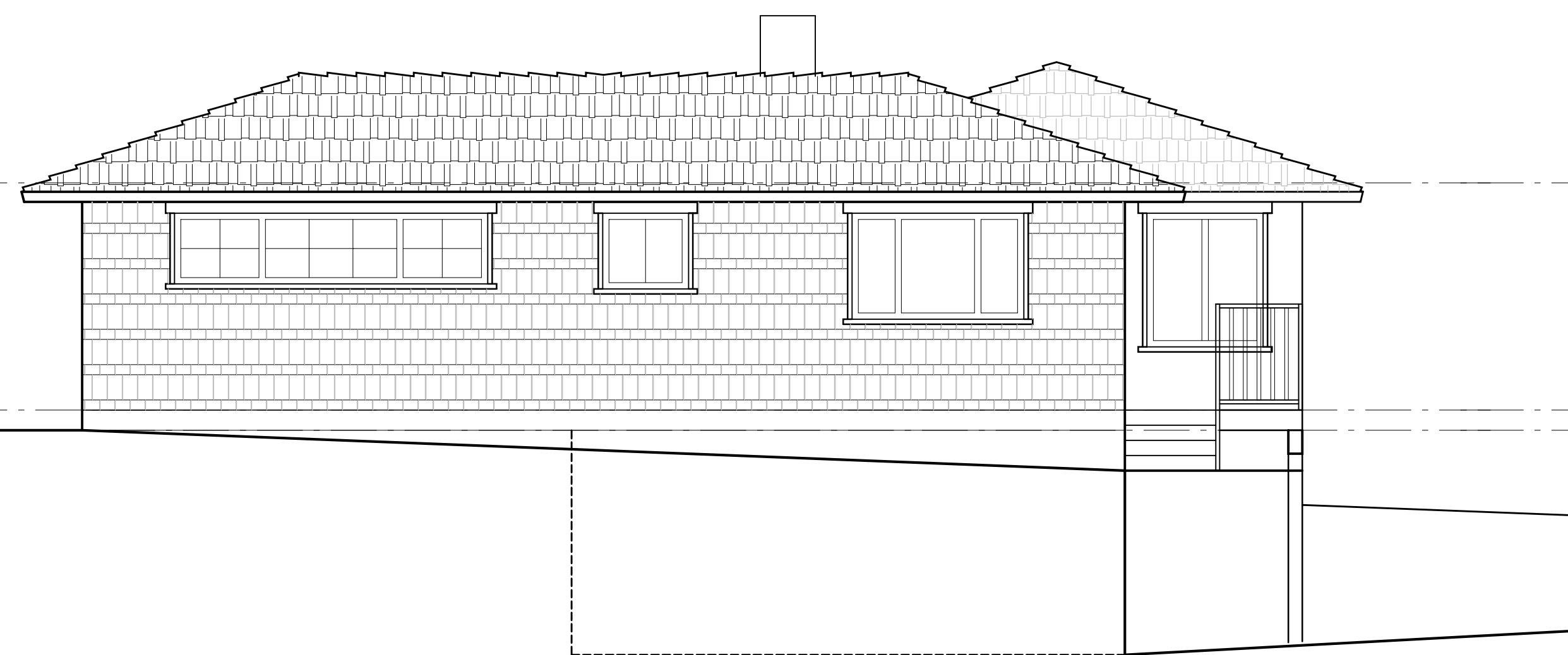
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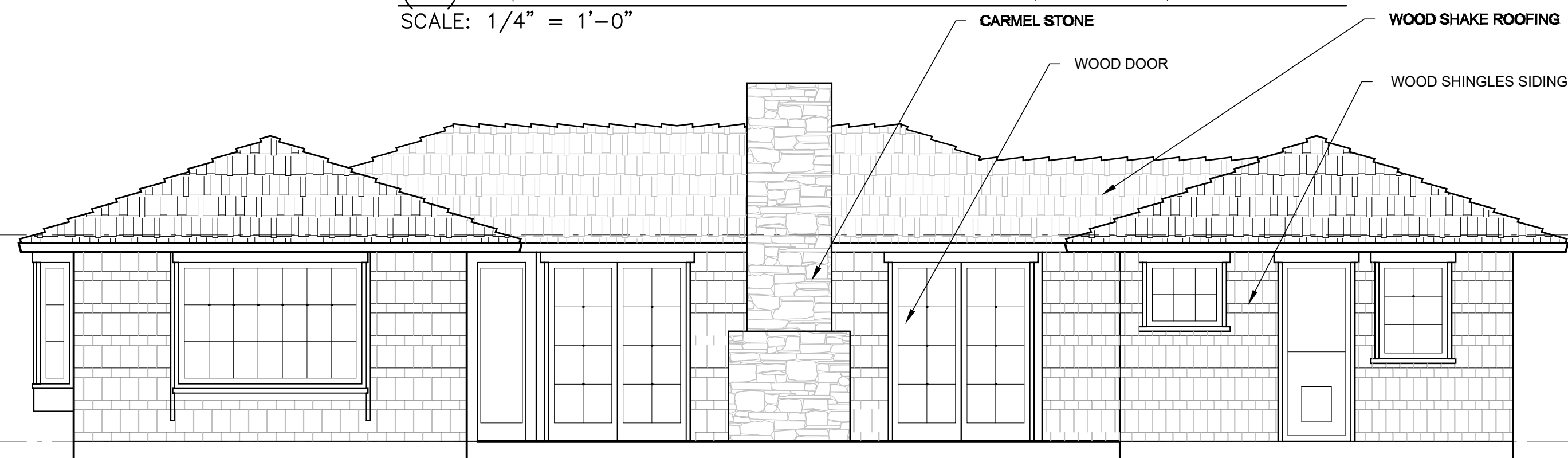
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(E) NORTH COURTYARD ELEVATION
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(E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

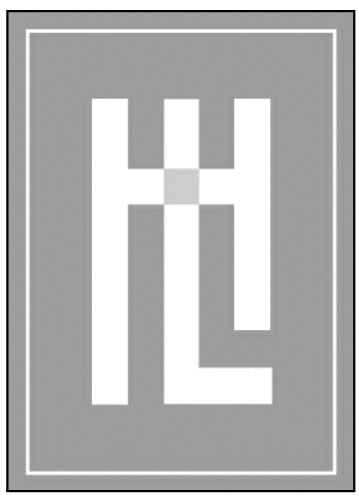


(E) EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
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A3.0



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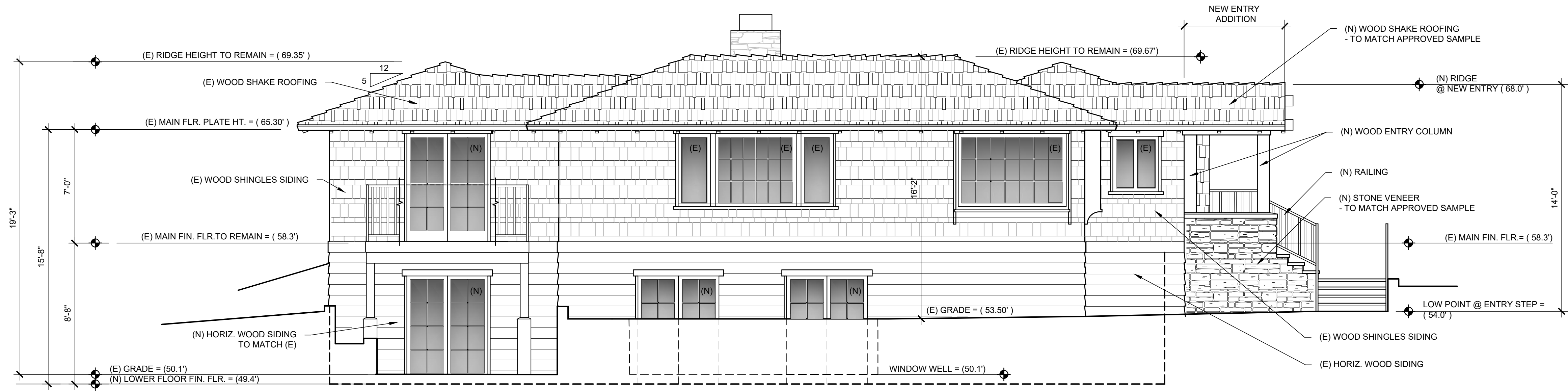
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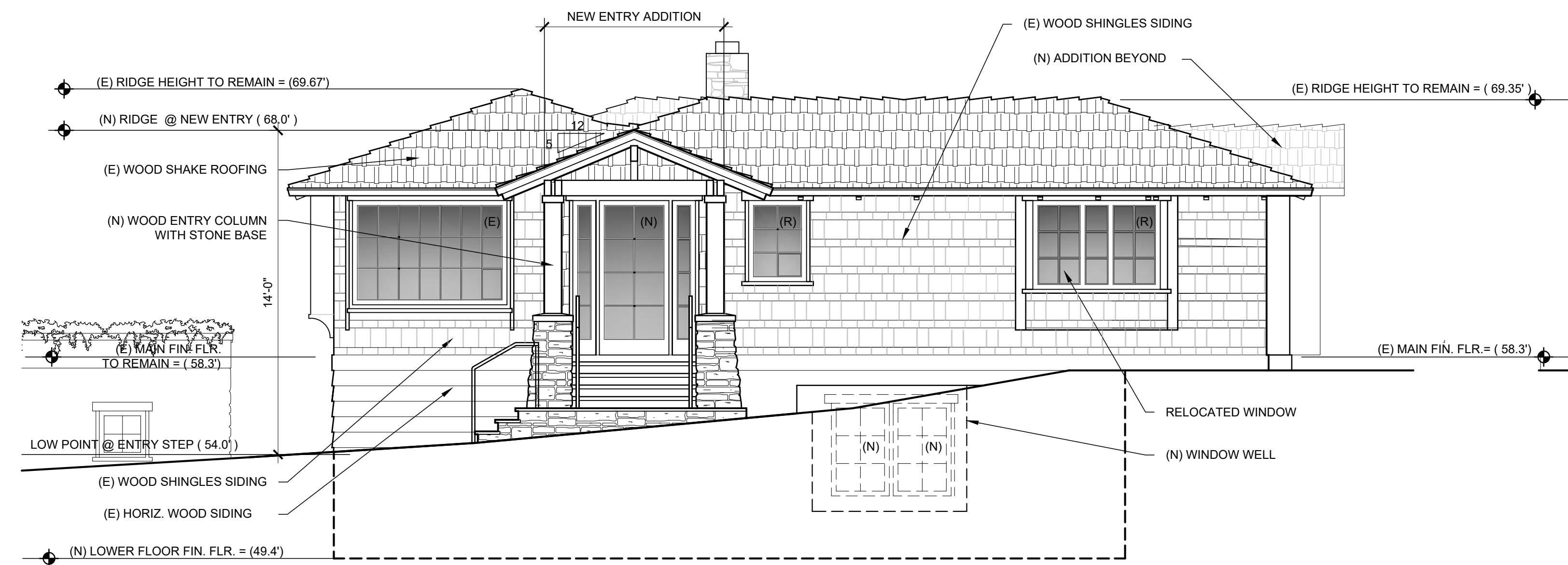
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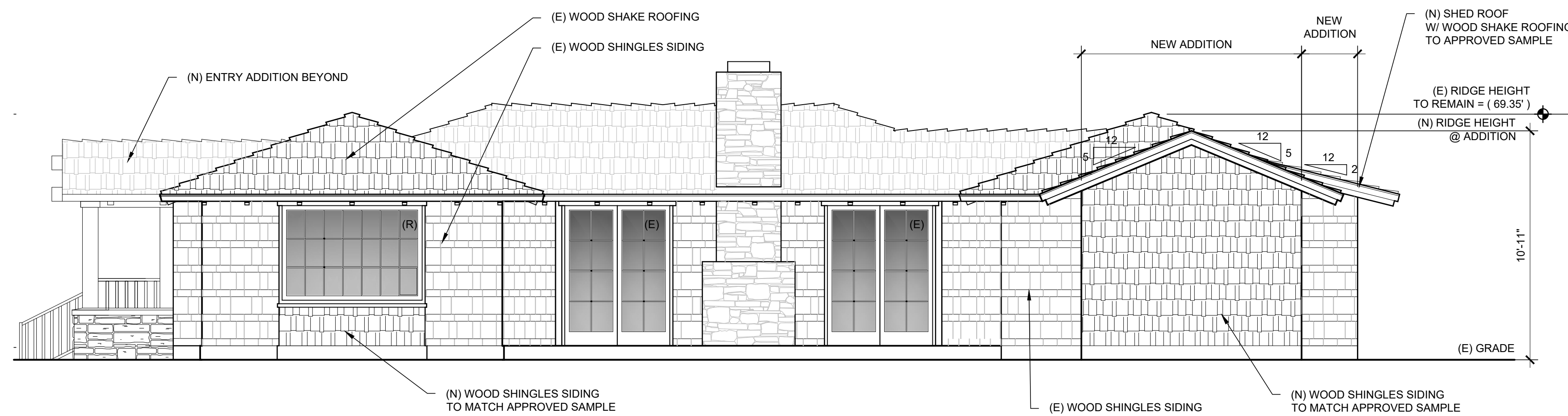
REVISION



WEST ELEVATION
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SOUTH ELEVATION
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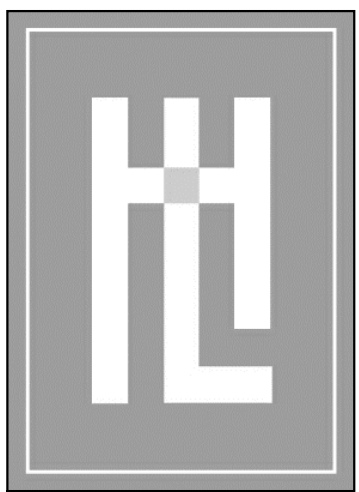


EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED ELEVATION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A3.1



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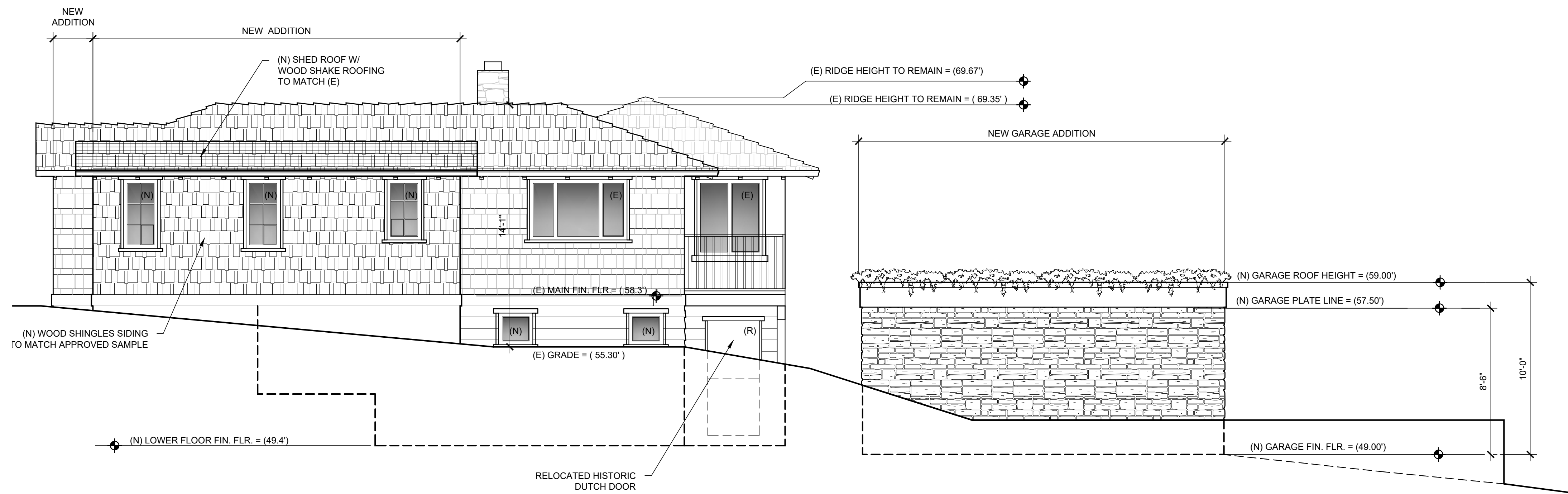
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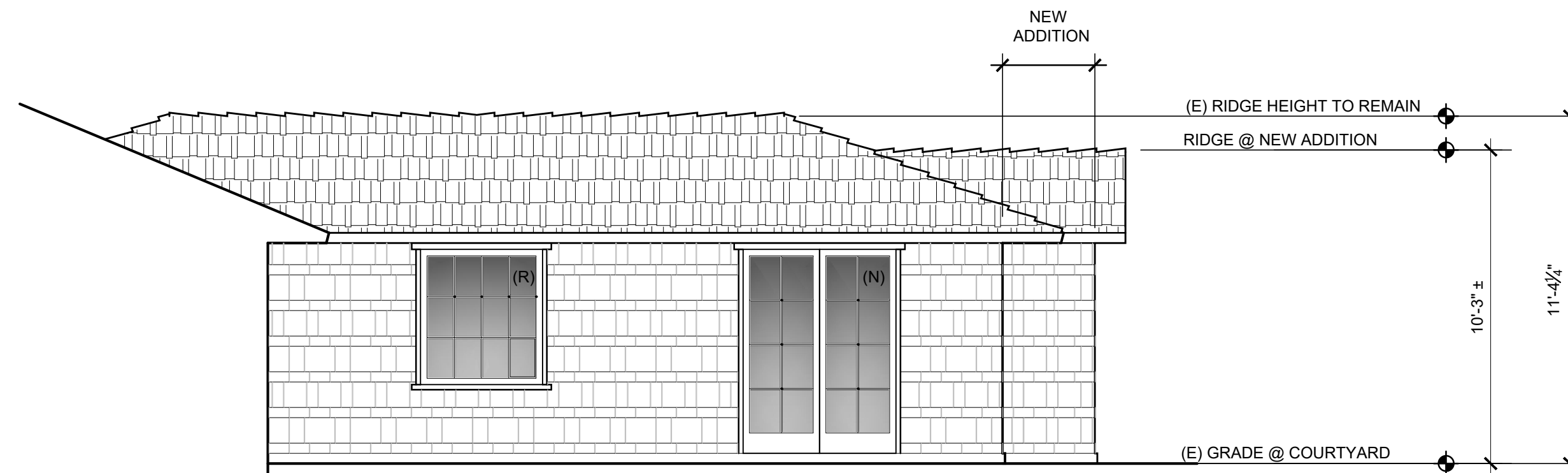
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REVISION



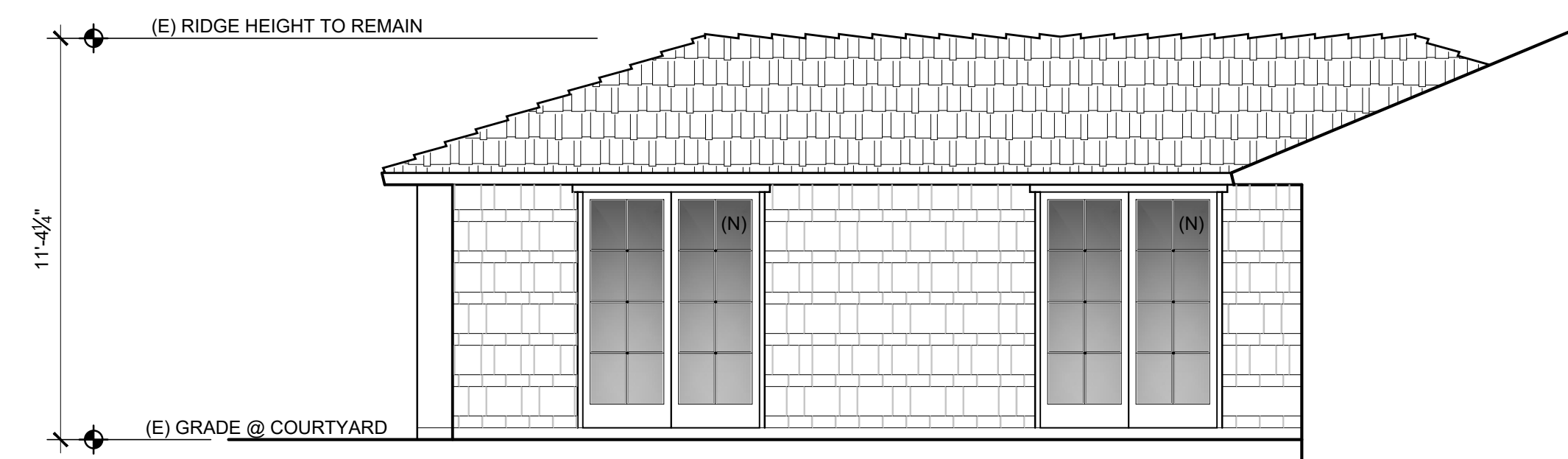
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



COURTYARD NORTH ELEVATION

SCALE: 1/4" = 1'-0"



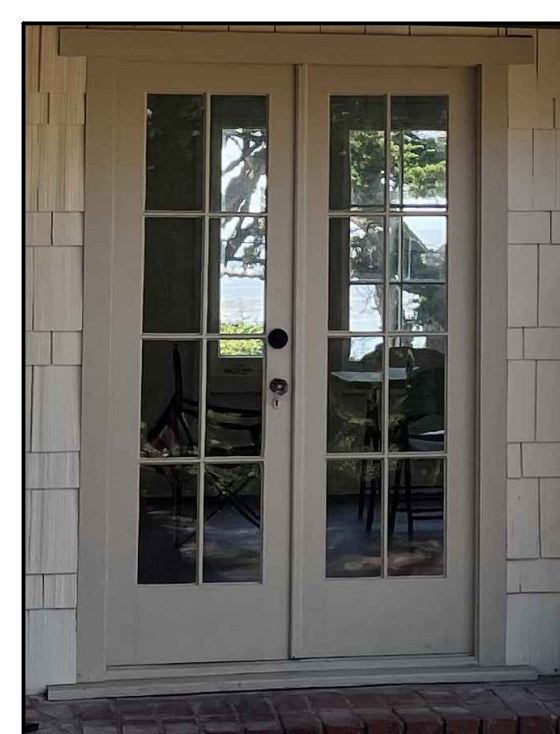
COURTYARD SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



STONE

EXISTING CARMEL STONE
AT RETAINING WALL DRIVEWAY



WOOD DOORS

MATCH EXISTING
WITH TRUE-DIVIDED LIGHTS



WOOD WINDOWS

MATCH EXISTING
WITH TRUE-DIVIDED LIGHTS



WOOD WINDOWS

MATCH EXISTING



HORIZONTAL WOOD SIDING

EXISTING



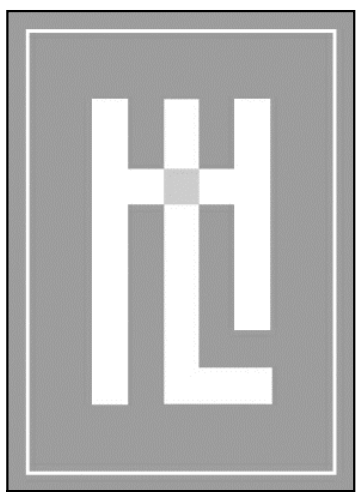
WOOD SHINGLES SIDING

EXISTING

PROPOSED ELEVATION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A3.2



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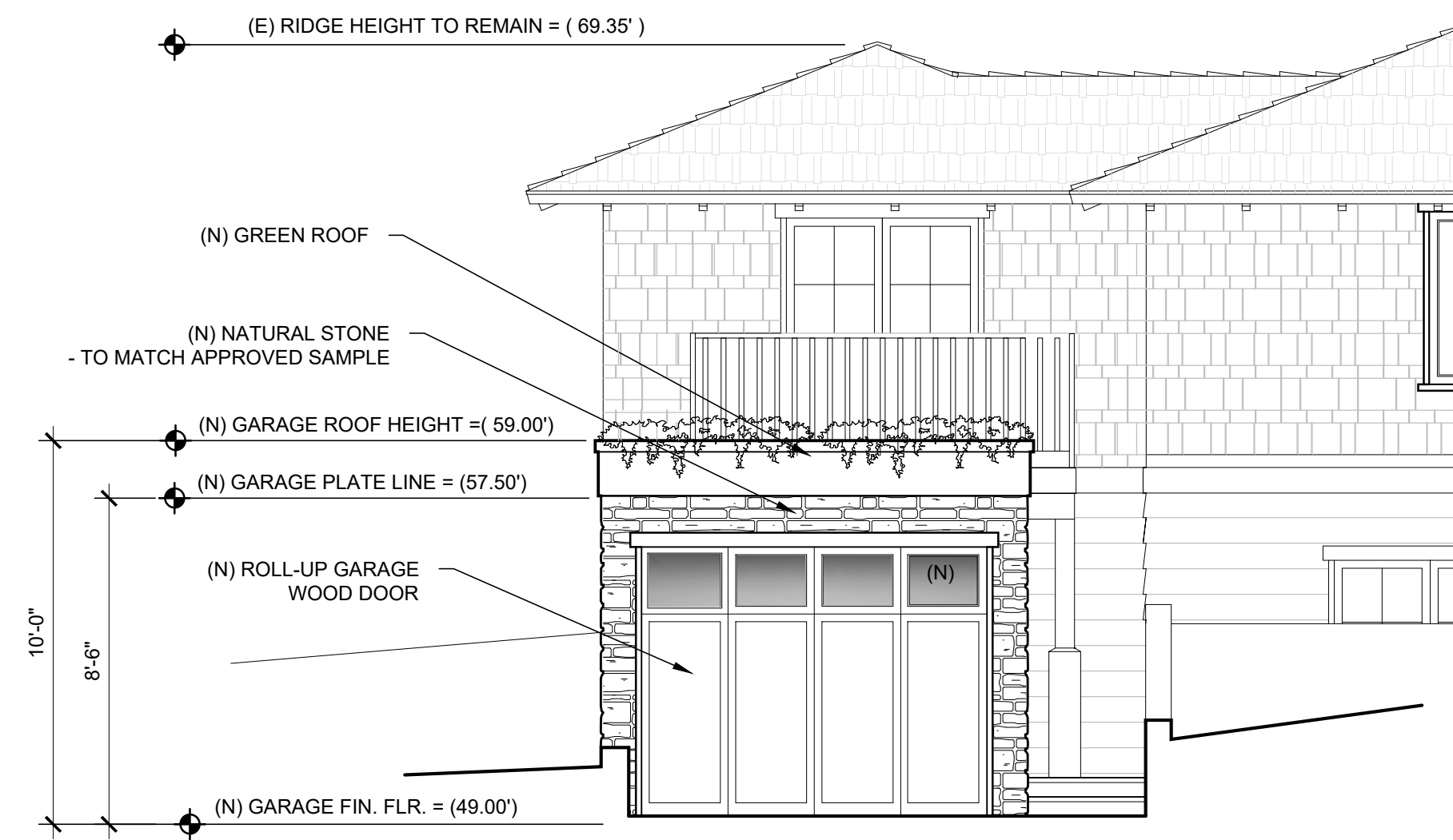
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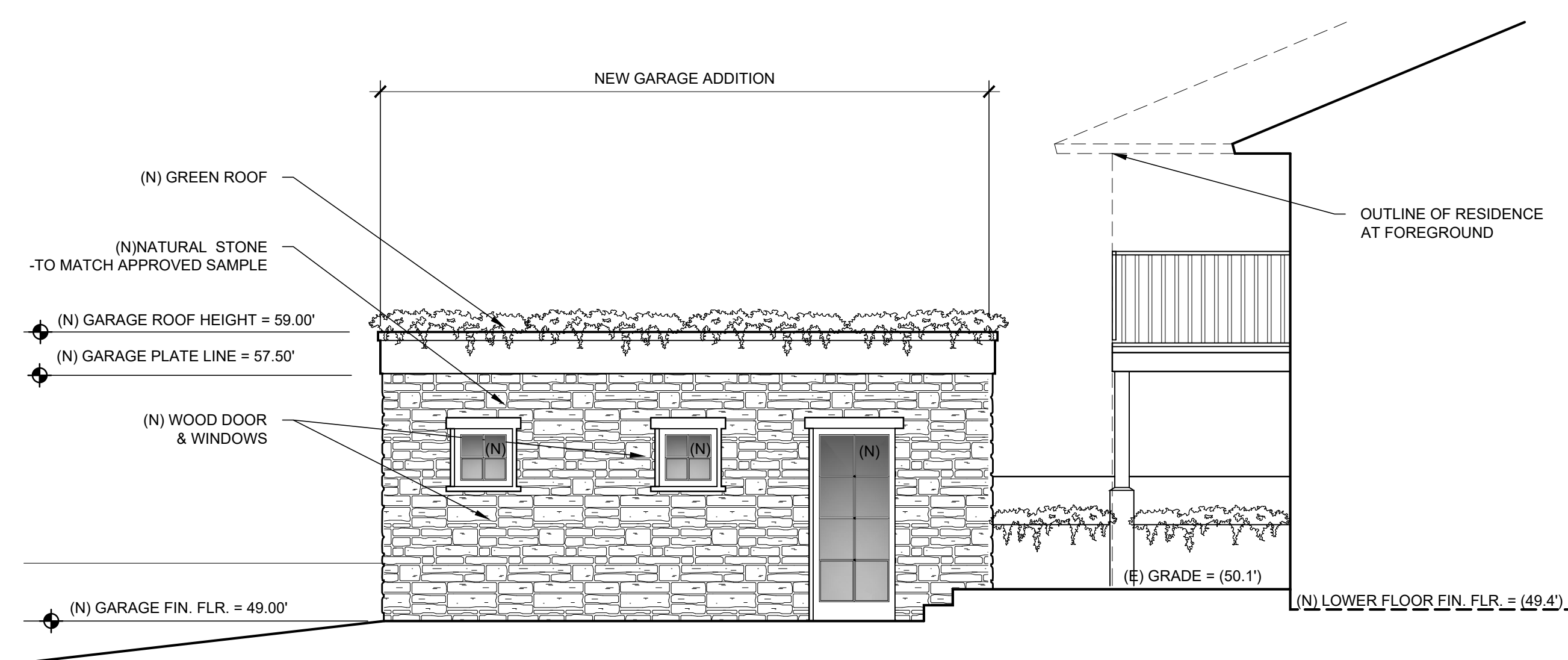
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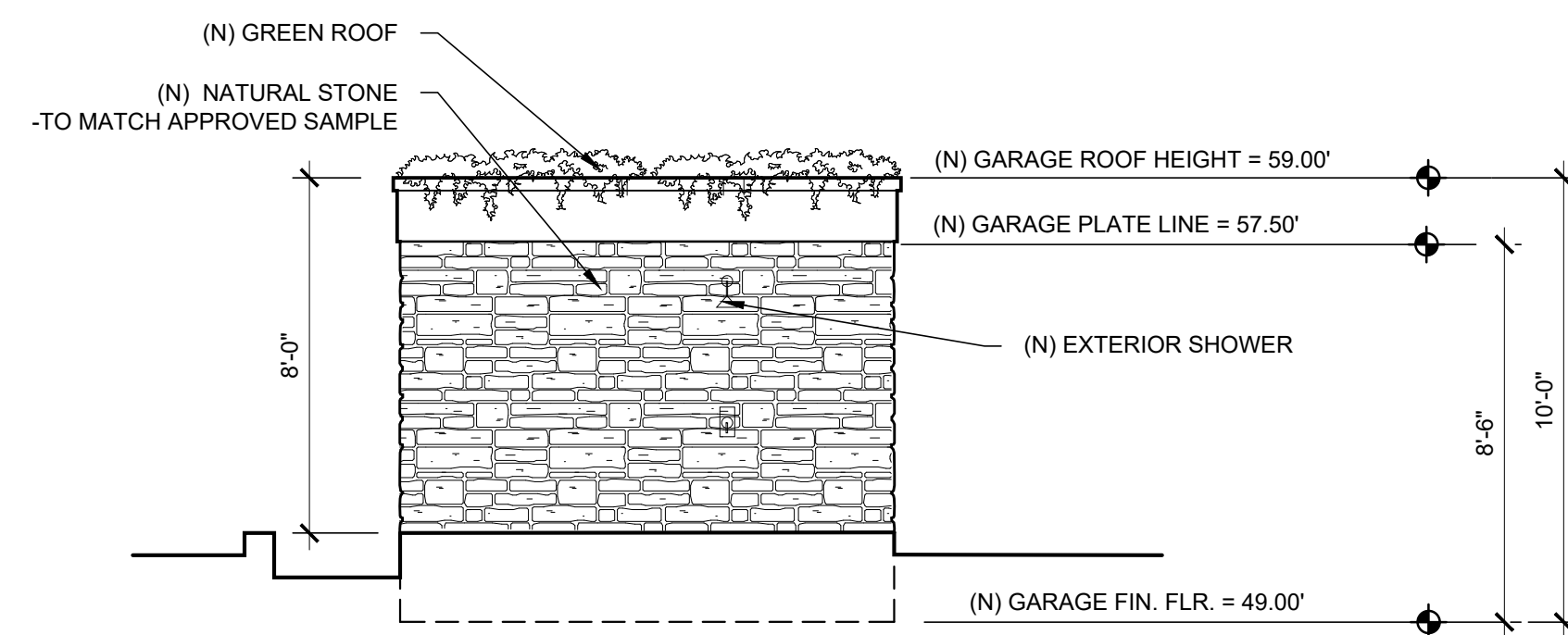
REVISION



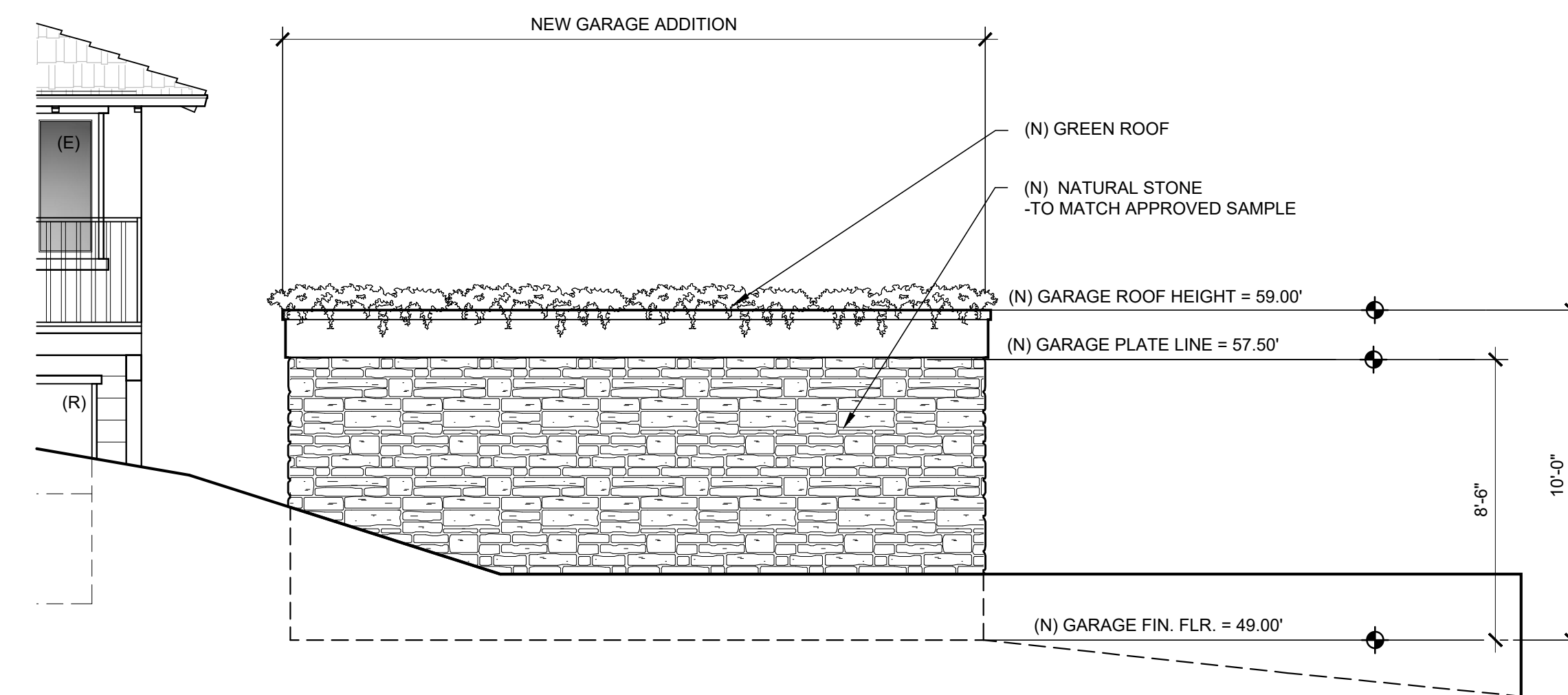
PARTIAL WEST ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"



PARTIAL SOUTH ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"



PARTIAL EAST ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"

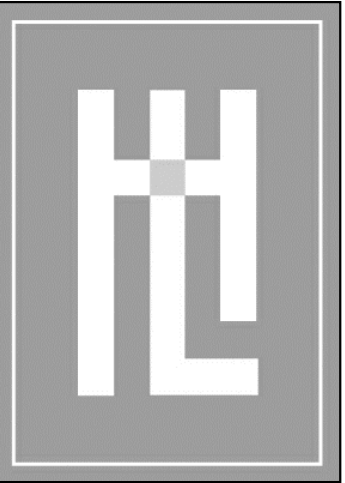


PARTIAL NORTH ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"

PROPOSED GARAGE ELEVATIONS

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

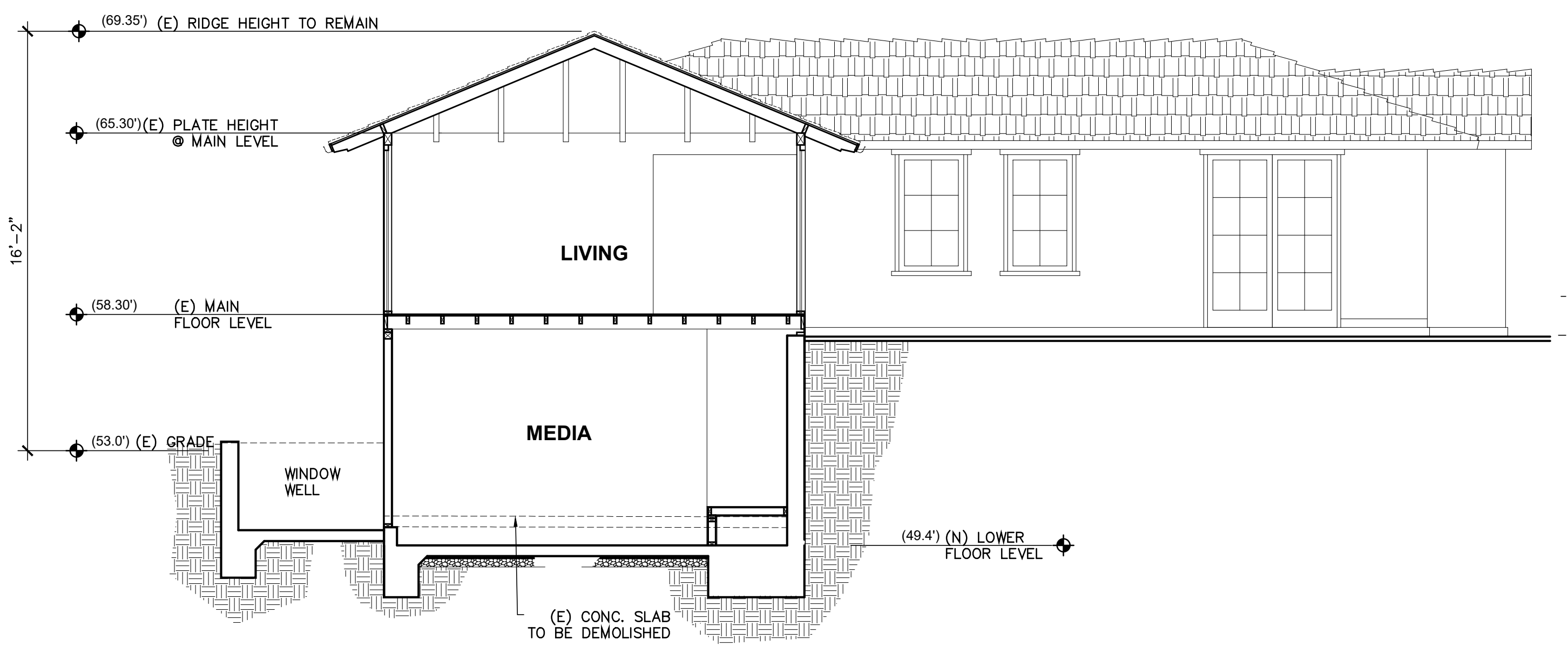
A3.3



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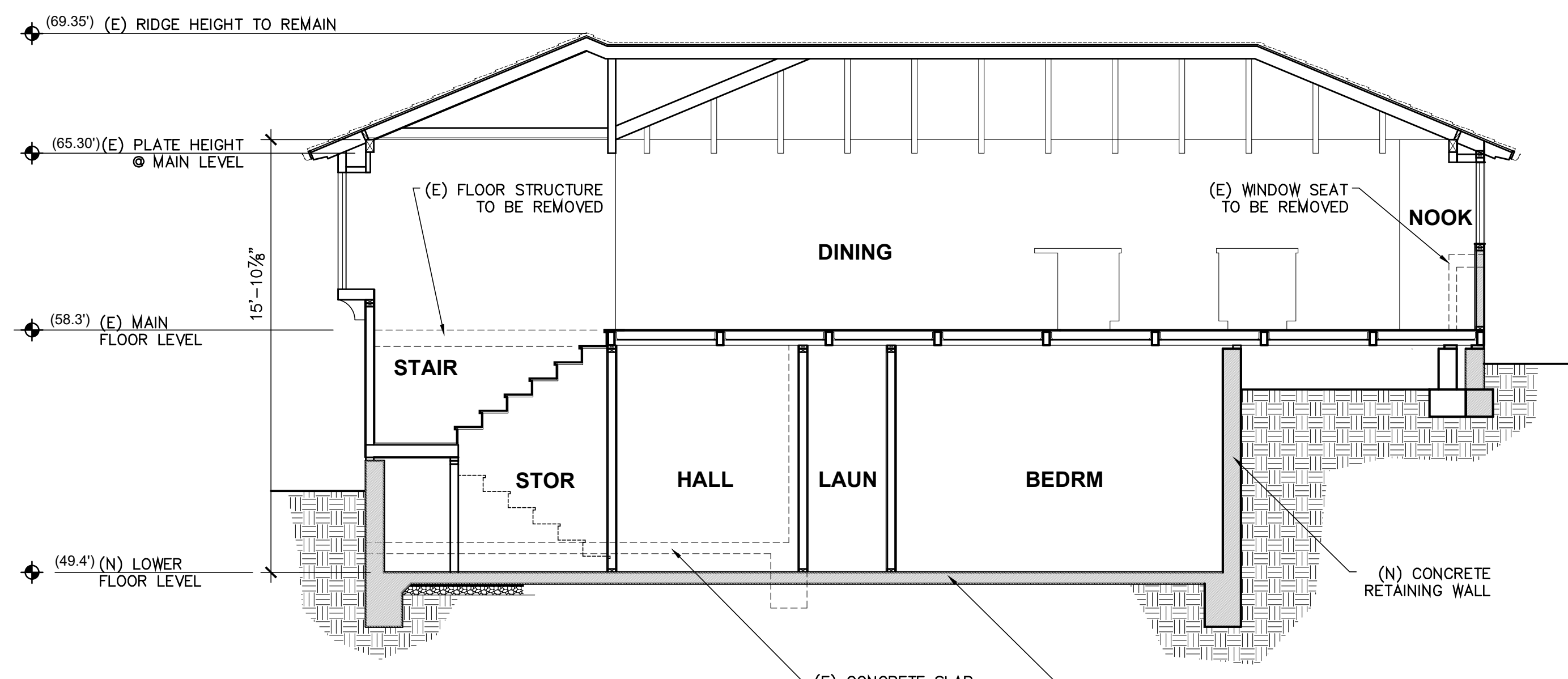
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DATE: MAY 16, 2023
SCALE: 1/4"=1'-0"
DRAWN: JM
JOB NUMBER:
REVISION



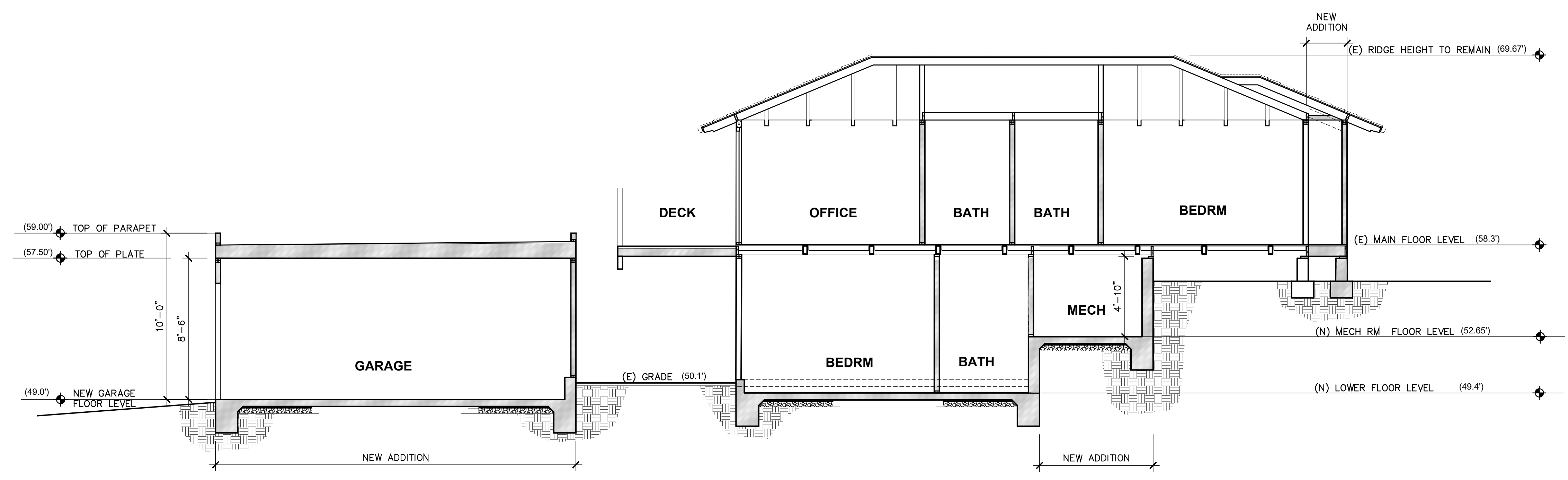
SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION A-A

SCALE: 1/4" = 1'-0"



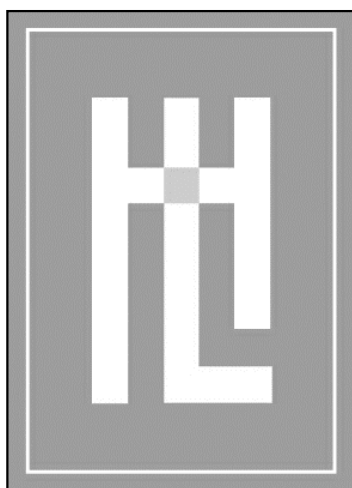
SECTION C-C

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A3.4



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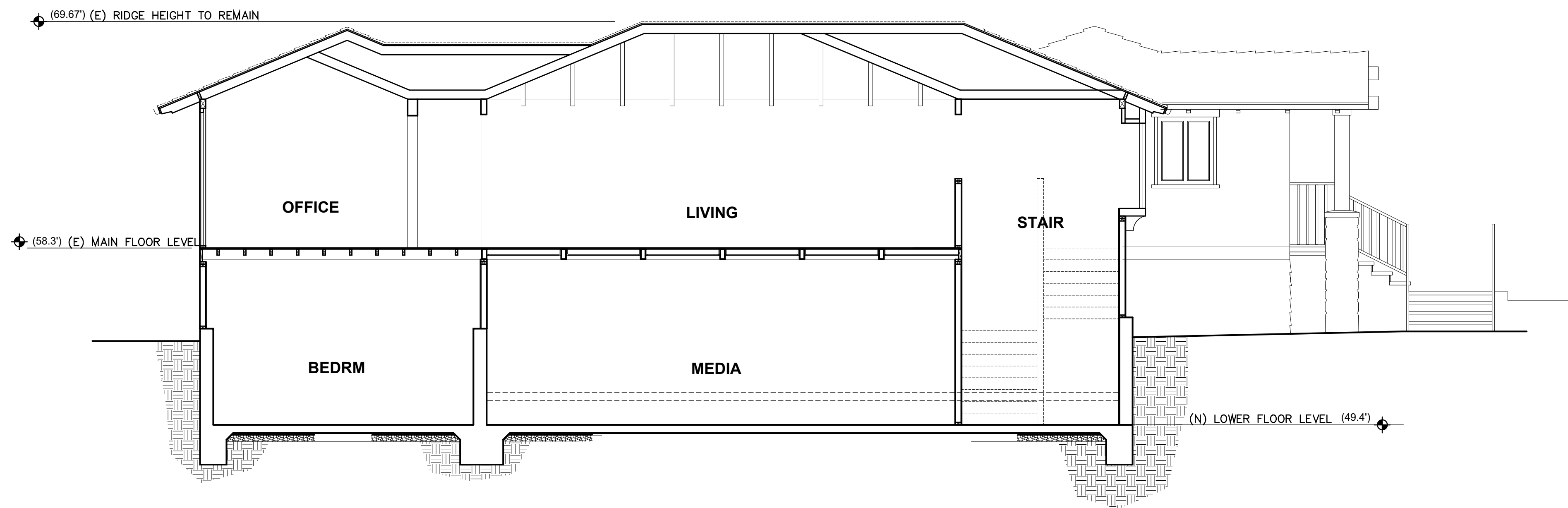
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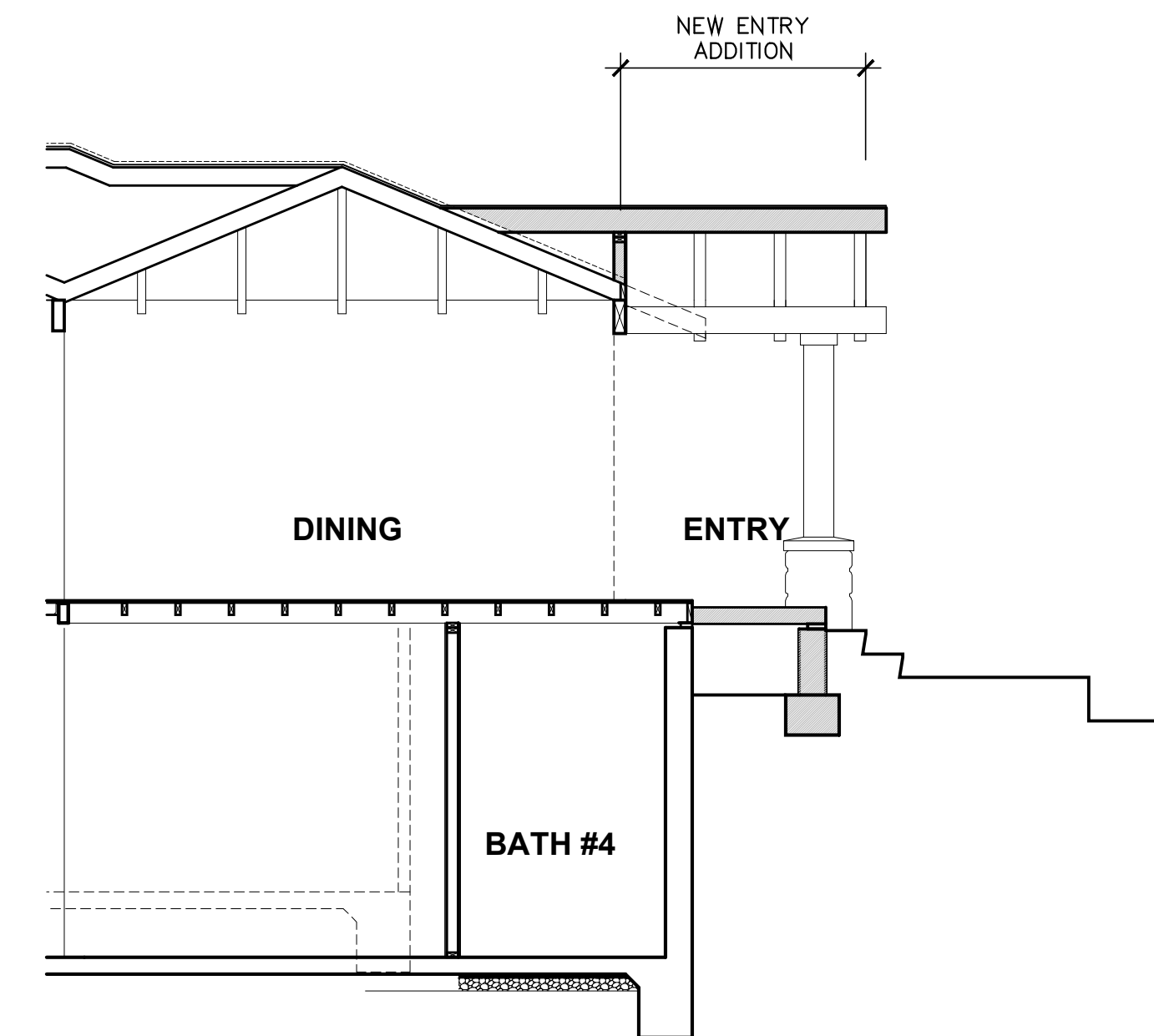
JOB NUMBER:

REVISION



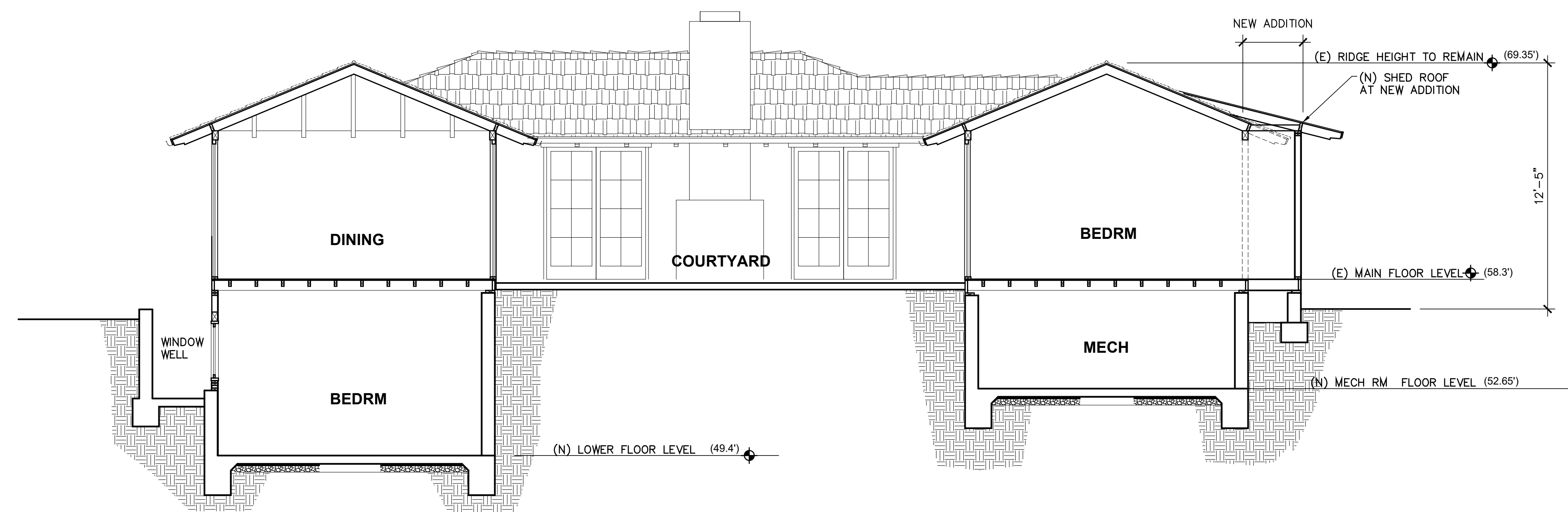
SECTION D-D

SCALE: 1/4" = 1'-0"



SECTION D'

SCALE: 1/4" = 1'-0"



SECTION E-E

SCALE: 1/4" = 1'-0"

BUILDING SECTION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A3.5

May 5, 2023

Phase Two Report for the Rockwell House (APN 010-279-008), Carmel-by-the-Sea, CA.

Executive Summary

The Rockwell House is located at the northeast corner of San Antonio and 12th Avenue. In 2022 the property was evaluated for historical significance using the California Register for Historic Resources criteria and found eligible for listing under Criterion Three (Architecture) within the historic context theme of Architectural Development. The property was listed on the Carmel Inventory of Historic Resources on June 20, 2022.

The house was built in 1923 as the vacation home of Frederick and Jennie Rockwell. Mr. Rockwell had made his fortune as a pioneer wooden box manufacturer in Hartford, Connecticut. The historical evaluation (recorded on DPR523 A & B survey forms) states that, “The Rockwell House is eligible for listing in the Carmel Inventory under Criterion Three (Architecture) because it was designed and built by Michael J. Murphy, a builder-designer who is recognized as significant in Carmel’s Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(1)). In addition, it is a good example of the Craftsman style which characterizes Carmel’s architectural legacy during the town’s formative years. Murphy himself is credited with laying the foundation of Carmel’s early Arts and Crafts aesthetic with his Craftsman houses. The Craftsman style is recognized as significant in the Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(3)). The survey form notes the following additions and alterations to the house:

- **BP# 2058 (9/18/1950):** Comstock Associates enlarged the kitchen wing towards the rear lot line. A new window was installed in the rear wall and the original Dutch doors were reinstalled in the new wall. French doors were installed that opened out to the patio.
- **BP# 3488 (2/15/1960):** The bathroom was remodeled which included closing the original bathroom window and creating a new louvred window with obscure glass (since removed). Plans indicate that the original 3’ wide porch (termed “lookout”) on the front elevation was removed and replaced with a wider deck. Steps were constructed which connected the deck and the driveway.
- **BP# 89-205 (10/3/1989):** In 1989 two rotten windows on the south elevation were removed. One was replaced with a similar sash window (the bathroom window) and the other with a canted bay window atop a masonry foundation.
- **BP# 94-130 (7/11/1994):** Garden walkways, the driveway and rear patio were replaced with brick.
- **BP# 02-150 (9/6/2002):** The 1960s deck was replaced with a TimberTech deck and railing. The stone wall and steps (added in 1960) to the driveway were retained.

Character-Defining Features

A character-defining feature is an aspect of a building’s design, construction, or detail that is representative of the building’s function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing,

materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Rockwell House is 1923.

In order for an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. The Rockwell House is a good example of the Craftsman style. Its character-defining features include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed window
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
- Masonry chimney
- Hipped roof system
- Decorative notched exposed rafters
- Dutch door



Figure 1: Arrows indicate the deck, steps and garage that will be removed/remodeled.

Proposed Project Description

Following is the project description included in the proposed plans (Sheet A0.1):

1. Construct a 231 sq. ft. garage (the garage will be constructed in front of the current garage)
2. Add 138 sq. ft. to the main floor (the new area will be added to the north elevation and at the rear of each wing)
3. In-kind replacement of wood shake roofing
4. New entry addition on the south elevation with two wood columns with stone bases
5. Relocate existing windows; add new windows; demolish existing windows; add new doors (these changes will be described in detail below)
6. New lower finish floor and 398 square foot expansion
7. All additions will have new exterior materials and finish to match existing

Following are further changes to the property as shown in the plans:

Hardscape

1. Remove the stone posts at the driveway entrance and replace them with new stone pillars at the driveway entrance.
2. Remove the brick driveway and replace it with a semi-permeable driveway.
3. Remove the stone and brick pavers with permeable paver pathways and a mulch pathway on the front elevation.
4. Remove the stone steps and planters on the front elevation and the planters around the courtyard.
5. Remove the brick courtyard pavers and replace them with impermeable stone pavers.
6. Add window wells on the front and south elevations.
7. Add a wood gate in the grape stake fence on the south elevation and a pathway to the new front entrance on the south elevation.

West (Front) Elevation

1. The lower level including the garage will be remodeled into two bedrooms, two bathrooms, a mechanical room and den. This will include a 398 sq. ft. expansion. Exterior changes will include new French doors in the former location of the garage door and the removal of the current basement level windows. The latter will be replaced with double casement windows. A window well will be built in front of these windows so they will not be fully visible from the street.
2. New, horizontal wood siding, to match the existing siding, will be added to the former garage area.
3. A new, wood deck will replace the current deck on the main level.

South Elevation

1. A new front entry porch with wood columns on stone bases will be constructed where a square bay window is currently located.
2. The canted bay window and bathroom window will be removed and replaced with relocated windows in new window openings.
3. A window well will be constructed which will conceal a new window on the lower level.

North Elevation

1. A new addition with a shed roof will be built on the north elevation. A strip of windows in the kitchen and a smaller window will be removed. There will be three new windows in the addition. The addition will be covered with wood shingle siding to match the existing shingles.
2. Two new windows will be added to the lower level.

East (Rear) Elevation

1. A new addition with a gable roof will be added to the rear of the north wing. This addition will remove the Dutch door and two windows.

Courtyard Interior

1. Two new French doors will replace the current French door and window on the south courtyard elevation.
2. A relocated window and new French doors will replace two windows on the north courtyard elevation.
3. The current front door, located at an angle between the south wing and main block, will be removed and filled in.



Figure 2: Arrows indicate window and French doors that will be removed on the north side of the courtyard.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Rockwell House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the proposed work on the Rockwell House is reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Rehabilitation is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." (36 CFR 67.2(b)).

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The Rockwell House has been a single-family residence since it was constructed in 1923. The proposed project does not change the historic use of the house. The proposed work is consistent with Standard One.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The majority of the character-defining features listed on page 2 will be retained. Some of the window openings will be filled in. Some windows will be relocated, and some will be replaced. Since the house is located on a corner lot, both the west and south elevations are visible from the street. On the west (front) elevation the majority of windows on the main level will be retained. The garage door (a non-character-defining feature) and two small lower-level windows will be removed. The new lower-level windows will be screened by a window well and will only be partially visible from the street. A new French door will replace the garage door, but it will not be visible from the street due to the new garage which will be located in front of it.

A new entrance will be constructed on the south elevation which will remove one of the square bay windows. Although not ideal, the loss of a single window will not affect the building's integrity as a whole. The non-original canted bay window will be removed and replaced with a relocated window. The bathroom window opening will be filled in. A new window opening will be created next to the entry porch. The removal of the canted bay window and bathroom window does not affect the integrity of the house since they are not original. The proposed work is consistent with Standard Two.



Figure 3: Arrow indicates location of new entrance.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history are planned for the project. This Standard is not applicable.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Changes were made to the property in 1950, 1960, 1989, 1994, 2002, and 2018, however none of the changes have acquired historical significance in their own right. This Standard is not applicable.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The distinctive materials, such as the staggered wood shingles, and examples of craftsmanship, such as the notched rafters and extended lintels and sills, will be preserved. The proposed work is consistent with Standard Five.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The deteriorated wood shake roof will be replaced with new wood shakes that match. The proposed work is consistent with Standard Six.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for this project. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place.

No archeological resources have been located on the site. This Standard is not applicable.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

New construction includes additions to the north elevation, the rear of the north wing, and the new entry on the south elevation. The new construction will remove existing window openings in the north wing and the Dutch Door. A kitchen addition expanded the north wing in 1950, and so these windows are outside the period of significance (1923). The Dutch door was relocated to its current position in 1950 however it is considered a character-defining feature. It is suggested that it be reused in another section of the house.

The entrance addition was discussed in Standard Two with respect to the removal of distinctive materials. Its design does reference the Craftsman style and these references should be kept to a minimum. One consideration is to remove the battered profile from the stone bases. In addition, the stone should not match the chimney's rough-cut masonry.

A new deck will be constructed in the same location as the current TimberTech deck. The current deck is the third deck in this location, and it is not considered a character-defining feature. Its removal will not destroy historic materials.

A new garage will be constructed in front of the current garage. It will have a flat, green roof and the exterior walls will be covered with a Carmel stone veneer. Due to the sloping site, the garage will not block the view of the residence's main level from the street (see the street profile on Sheet A0.1). The garage is compatible with the historic building.

Any new siding used in the additions should be differentiated from the existing siding, so the additions are clearly discernable from any historic fabric. Coursed shingles could be used rather than staggered wood shingles.



The original front door, set at an angle between the south wing and main block, will be removed. This door was not listed as a character-defining feature; therefore, its removal will not impair the building's integrity.

Project plans should indicate that any shingle siding or stone masonry used in new construction should not match the original. Rather, in order to meet Standard Nine, all materials used in new construction should be differentiated.

Figure 4: Corner door will be removed.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new construction planned for the north wing will be located on a section of the building that was added in 1950. The loss of the windows in the north wing will not affect the integrity of the building.

The new entrance addition on the south elevation will remove a historic window, however the building's integrity is not dependent on that window and the building will still be able to convey its significance.

The new garage, if removed in the future, will not affect the essential form and integrity of the historic house and its environment will not be impaired.

New hardscape is proposed for the lot (see site plan details on Sheet A1.1). The stairs that currently lead from the driveway to the deck were built in 1960. The present brick driveway and pathways were installed in 2018. Both the stairs and brick hardscape are outside the period of significance and their removal will not affect the site's integrity. If removed in the future, the new permeable and impermeable pavers will not affect the integrity of the site.

The proposed work is consistent with Standard Ten.



Figure 5: The existing grape stake fence will be retained.

Conclusion

The proposed project meets Standards One, Two, Five, Six, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation. Standards Three, Four, Seven, and Eight are not applicable. To be consistent with Standard Nine plans should indicate that new materials used in any additions will be differentiated.

Respectfully Submitted,

Margaret Clovis

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

HISTORIC RESOURCES BOARD RESOLUTION NO. 2023-007-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA ADOPT A FINDING OF COMPLIANCE WITH THE SECRETARY OF THE INTERIOR’S STANDARDS FOR SITE ADDITIONS, ALTERATIONS, AND SITE MODIFICATIONS, INCLUDING A 138-SQUARE-FOOT ADDITION TO THE REAR AND A NEW ENTRY AT THE NORTH ELEVATION, A 398-SQUARE-FOOT LOWER LEVEL/BASEMENT EXPANSION, CREATION OF A WINDOW WELL AT THE FRONT ELEVATION, WINDOW RELOCATION, AND MODIFICATIONS, AND NEW 231-SQUARE-FOOT DETACHED GARAGE LOCATED IN THE FRONT TO THE HISTORIC "ROCKWELL HOUSE" LOCATED AT THE NORTHEAST CORNER OF 12TH AND SAN ANTONIO AVENUES (APN: 010-279-008)

WHEREAS, on February 24, 2023, Craig Holdren (“Applicant”) submitted an application on behalf of Tim and Catherine Ramos (“Owners”) requesting the approval of a Design Study “DS 22-396” described herein (“Application”); and

WHEREAS, the Application has been submitted for the 8,000 –square-foot property located on the northeast corner of 12th and San Antonio Avenue in the Single-Family Residential (R-1) District, Beach & Riparian (BR) Overlay District, and Coastal Commission Appeal Jurisdiction (Block X, Lot 18 & 20); and

WHEREAS, the subject residence, known as the Rockwell House, is listed on the Carmel Inventory of Historic, and is significant under California Register Criteria #3 as a home constructed in the Craftsman style by designer/builder Michael J. Murphy; and

WHEREAS, the applicant is proposing a 138-square-foot addition to the rear and a new entry at the north elevation, a 398-square-foot lower level/basement expansion, creation of a window well at the front elevation, window relocation, and modifications, and new 231-square-foot detached garage, and new landscaping and site improvements; and

WHEREAS, in accordance with CMC Section 17.32.160.A.3, additions exceeding two percent of existing floor area are considered major alterations; and

WHEREAS, in accordance with CMC Section 17.32.160.B, determinations of consistency for major alterations shall be prepared by a qualified professional;

WHEREAS, Margaret Clovis, a qualified professional, prepared a Phase II Historic Assessment and found the project consistent with the Secretary’s Standards if certain recommendations were implemented and additional information provided to the Historic Resources Board; and

WHEREAS, the alterations would not compromise the integrity of the historic resource or result in a substantial modification that would render the resource ineligible for continued listing on the Carmel Inventory of Historic Resources;

WHEREAS, on June 9, 2023, a notice of public hearing was published in the Carmel Pine Cone for the June 19, 2023, Historic Resources Board meeting in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before June 9, 2023, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before June 16, 2023, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on June 19, 2023, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the project, including without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Board at the hearing including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations, and testimony hereinabove set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the project is categorically exempt pursuant to Section 15331 (Historical Resource Restoration/Rehabilitation) and Section 15301 (Existing Facilities), and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

BE IT FURTHER RESOLVED that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **ADOPT** a Determination of Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for site additions, alterations, and site modifications, including a 138-square-foot addition to the rear and a new entry at the north elevation, a 398-square-foot lower level/basement expansion, creation of a window well at the front elevation, window relocation, and modifications, and new 231-square-foot detached garage located in the front to the historic "Rockwell House" located at the northeast corner of 12th and San Antonio Avenue in the Single-Family Residential (R-1) and the Beach and Riparian Overlay District (APN: 010-279-008), subject to the following conditions:

1. The project shall be implemented consistent with the representations described in the Phase II Report for the 'Rockwell House' prepared by Meg Clovis on May 5, 2023.
2. New siding & roof materials shall be slightly differentiated but compatible with the old siding & roof materials.
3. **South elevation** - Prior to the approval of the Design Study, the applicant shall show and provide samples that the proposed entrance shall have a different aesthetics regarding the siding, roof, and columns to differentiate it from the original house.
4. ~~Dutch door~~ ~~Prior to the approval of the Design Study, the applicant shall repair the original Dutch door currently in the east elevation and reuse it, and, if repair is not possible, provide photos and written documents showing that the original Dutch door cannot be preserved and provide material, dimensions, and a color sample of the original prior to in-kind replacement.~~

PASSED, APPROVED, AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 19th day of June 2023, by the following vote:

AYES: Chair Chroman; Vice Chair Hall; Board Member Goodhue


NOES:

ABSENT: Board Member Pomeroy

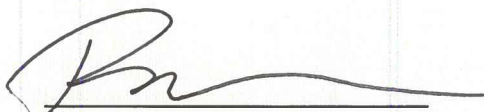
ABSTAIN: Board Member Dyar

APPROVED:

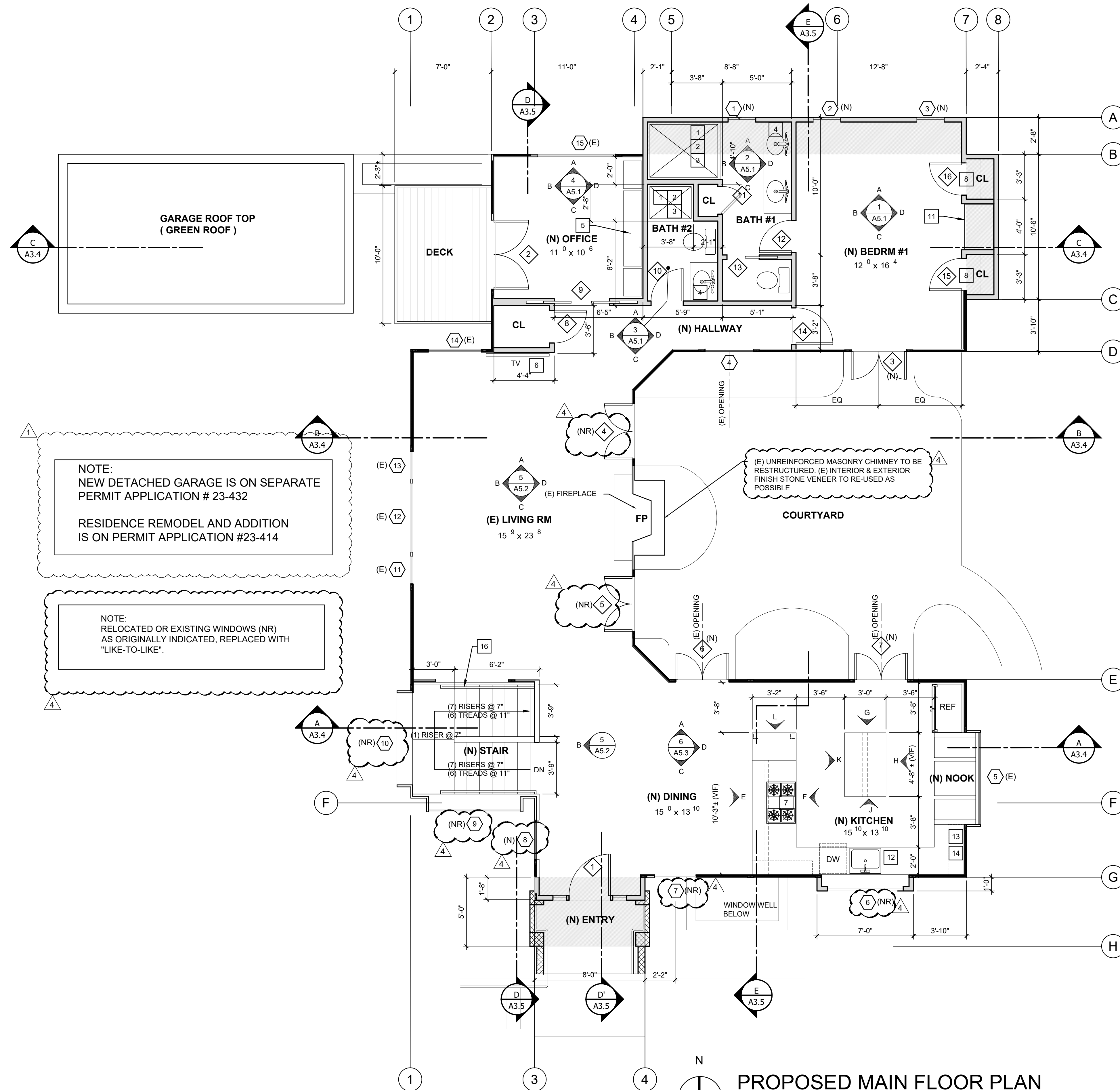
ATTEST:



 Jordan Chroman
 Chair



 Brandon Swanson
 Historic Resources Board Secretary



NOTE:
NEW DETACHED GARAGE IS ON SEPARATE PERMIT APPLICATION # 23-432

RESIDENCE REMODEL AND ADDITION IS ON PERMIT APPLICATION #23-414

NOTE:
RELOCATED OR EXISTING WINDOWS (NR) AS ORIGINALLY INDICATED, REPLACED WITH "LIKE-TO-LIKE".

PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA:
(E) = 1,441 S.F.
(N) = 138 S.F.
TOTAL = 1,579 S.F.

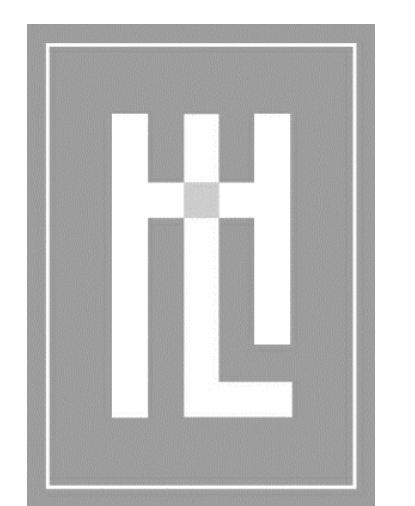
KEY NOTES:

- 1 TILED SHOWER PAN - SLOPE TO DRAIN
- 2 TEMPERED GLASS SHOWER ENCLOSURE - PROVIDE CONTINUOUS RIGID ANCHORING AT TOP & BOTTOM
- 3 TILE TO MIN. 72" A.F.F. IN ALL SHOWERS - USE DENSISHIELD TILE BACKER BY: GEORGIA PACIFIC @ ALL TILE SURFACES
- 4 MIN. 14" W. X 24" H. X 3" D. MEDICINE CHEST
- 5 MURPHY BED - SEE INTERIOR ELEVATION
- 6 WALL MOUNT - T.V. SCREEN
- 7 VENT HOOD THROUGH ROOF
- 8 POLE W/SHELF ABOVE - PAINT TO MATCH WALLS
- 9 CLOSET SYSTEM BY OTHERS - SEE INTERIOR ELEVATIONS FOR ADDL. INFORMATION
- 10 RECESS WALL FOR PLUMBING & VENT ROOMTS.
- 11 RE-USE (E) CABINET- VERIFY DIMENSIONS
- 12 PROVIDE REVERSE OSMOSIS SYSTEM & FAUCET AT KITCHEN SINK
- 13 CABINET - UPPERS OR SHELVES ABOVE IN SOME LOCATIONS - PROVIDE BLOCKING AS REQ'D. - FINAL DESIGN TO BE APPROVED BY OWNER
- 14 CABINET W/ WATERPROOF COUNTERTOP - PROVIDE BLOCKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER
- 15 1/2" TYPE 'X' GYP. BD. @ ALL WALL, CEILING & STRUCTURAL SURFACES
- 16 HANDRAIL - 34" FROM STAIR NOSING, SEE DET. 15/A8.2
- 17 DRYER VENT TO OUTSIDE
- 18 42" HIGH CABINET / DRAWER
- 19 36" HIGH KITCHEN ISLAND

NOTE:
SEE DEMOLITION PLAN FOR WALLS TO BE REMOVED

LEGEND:

- (E) WALL TO REMAIN
- (N) INTERIOR STUD WALL
- (N) AREA OF ADDITION

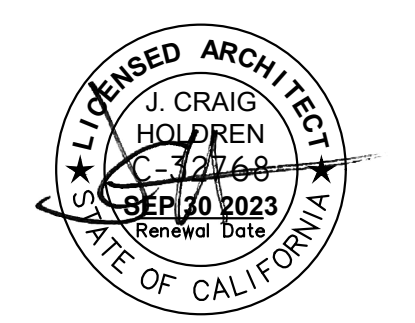


HOLDREN+LIETZKE ARCHITECTURE

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DRAWN:	JM
JOB NUMBER:	22.08
REVISION	
1	PLAN CHECK 23-OCT-2023

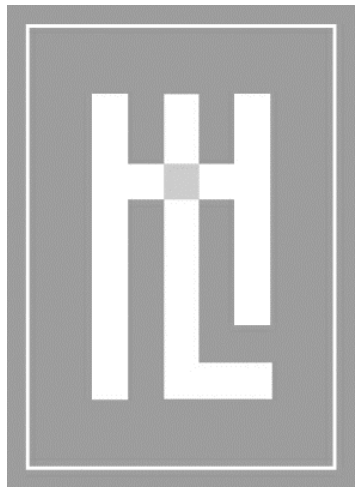
4 PLAN REVISION
07-AUG-2025



MAIN FLOOR PLAN

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.1

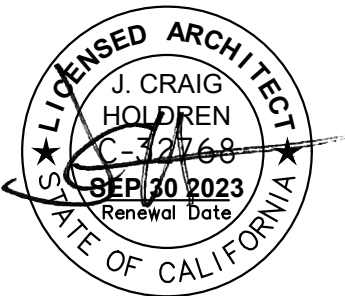


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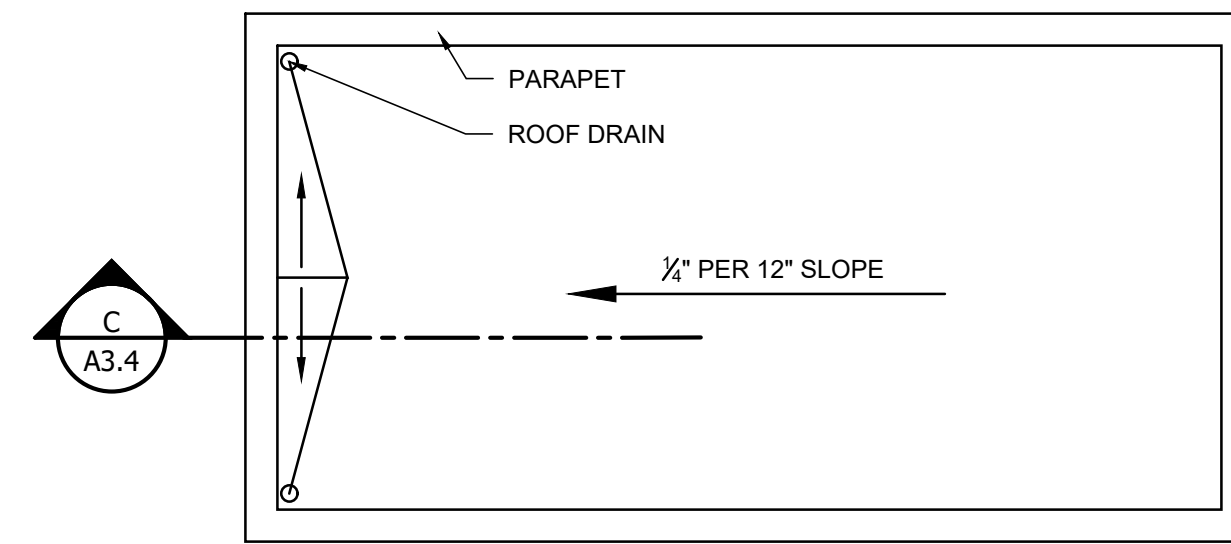
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REVISION

4 PLAN REVISION
07-AUG-2025



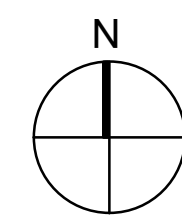
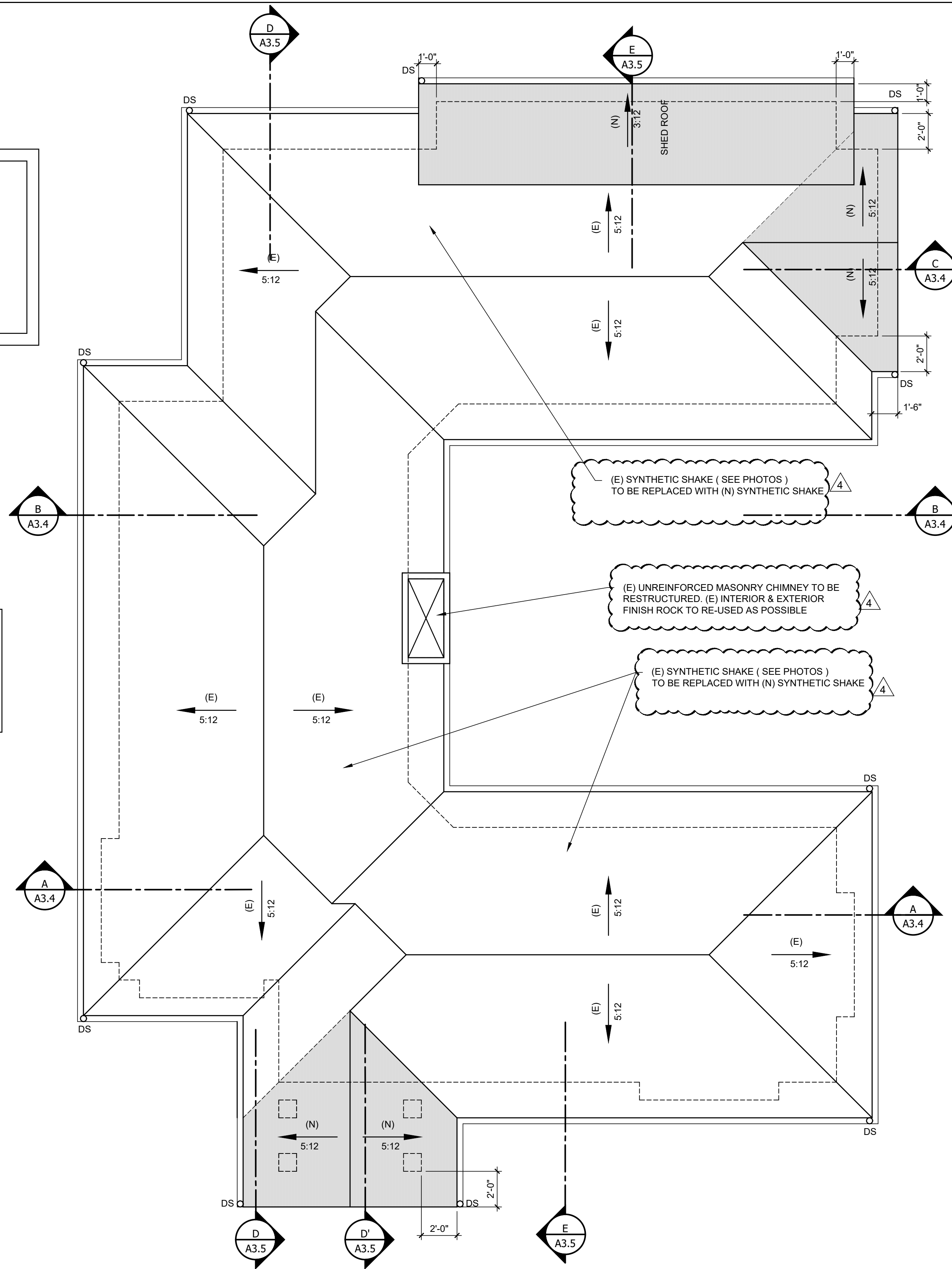
PROPOSED ROOF PLAN
RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.3



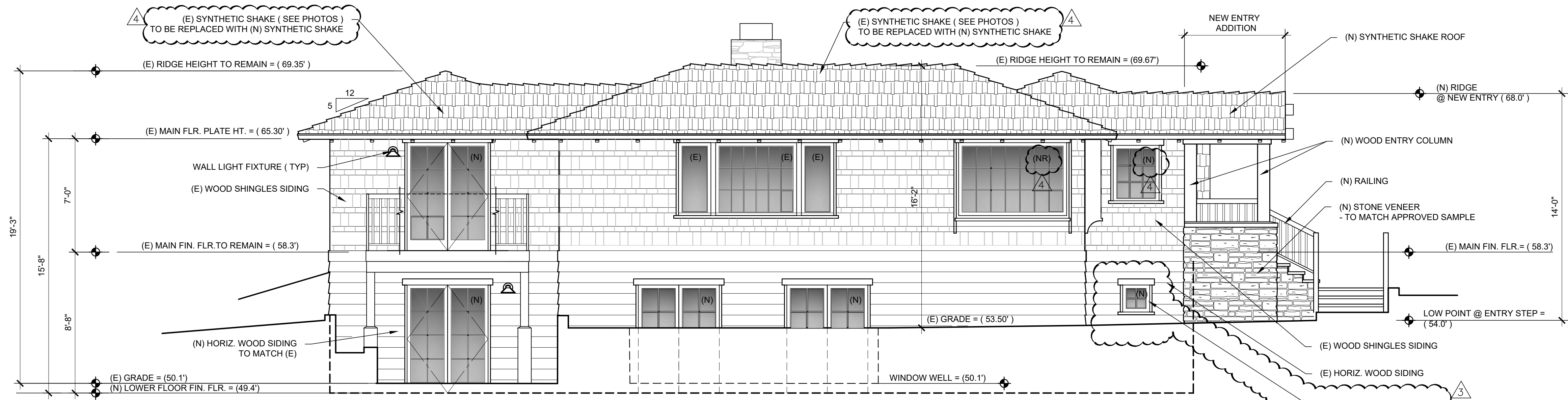
NOTE:
NEW DETACHED GARAGE IS ON SEPARATE
PERMIT APPLICATION # 23-432

RESIDENCE REMODEL AND ADDITION
IS ON PERMIT APPLICATION #23-414



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

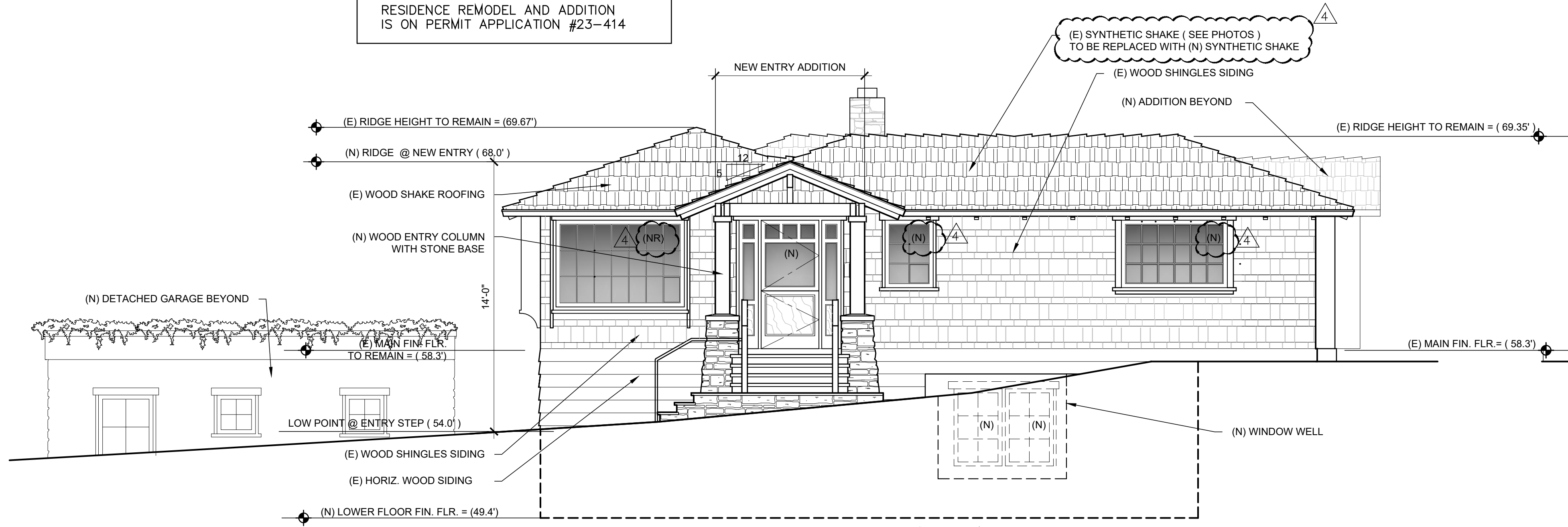


WEST ELEVATION

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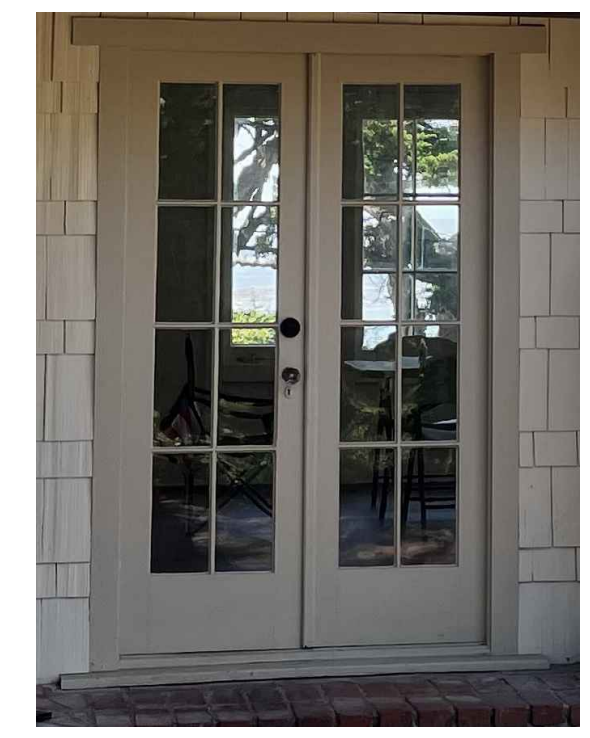
NOTE:
RELOCATED OR EXISTING WINDOWS (NR)
AS ORIGINALLY INDICATED, REPLACED
WITH "LIKE-TO-LIKE".

NOTE:
NEW DETACHED GARAGE IS ON SEPARATE
PERMIT APPLICATION # 23-432
RESIDENCE REMODEL AND ADDITION
IS ON PERMIT APPLICATION #23-414



SOUTH ELEVATION

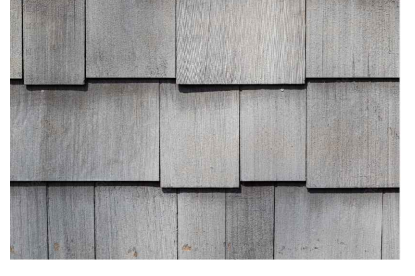
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WOOD DOORS MATCH EXISTING WITH TRUE-DIVIDED LIGHTS



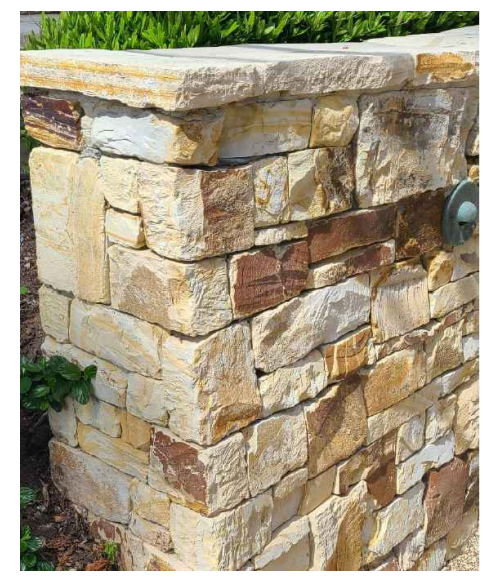
WOOD WINDOWS MATCH EXISTING WITH TRUE-DIVIDED LIGHTS



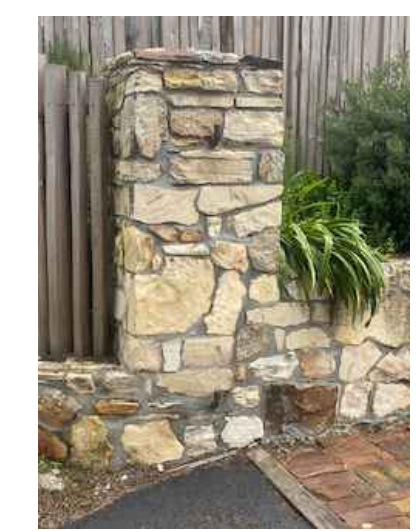
NEW WOOD SHINGLES AT NEW ADDITION



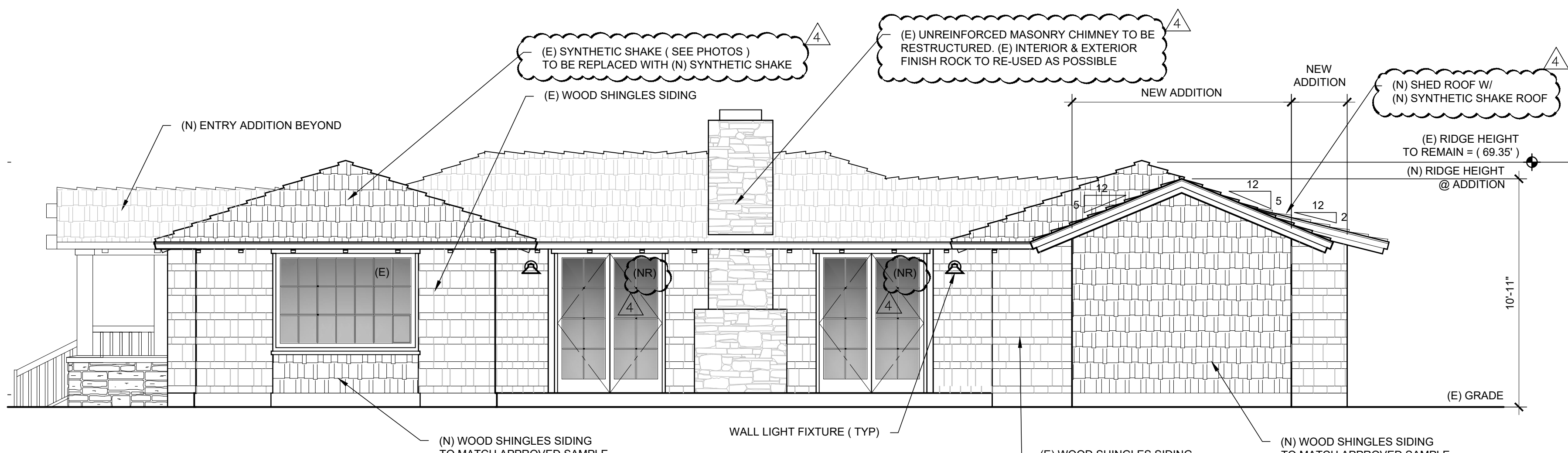
EXISTING WOOD SHINGLES / ROOF SHAKES



NEW STONE AT ENTRY COLUMN / GARAGE

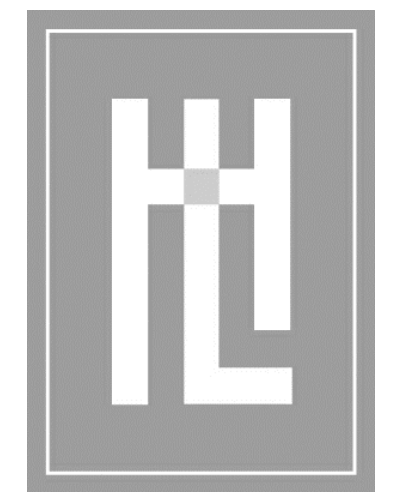


EXISTING CARMEL STONE AT RETAINING WALL DRIVEWAY



EAST ELEVATION

SCALE: 1/4" = 1'-0"

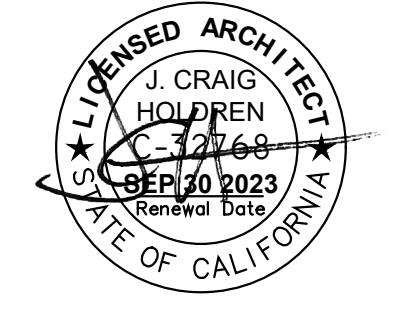


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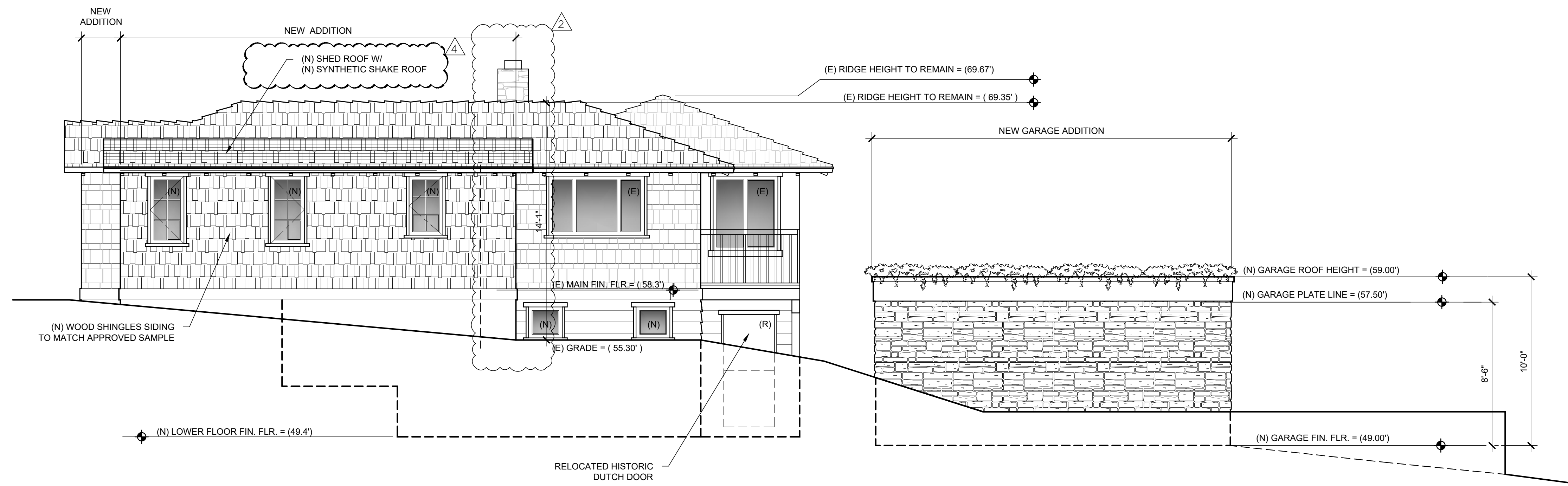
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JOB NUMBER:	22.08
REVISION:	

3	PLAN REVISION 22-NOV-2024
4	PLAN REVISION 07-AUG-2025



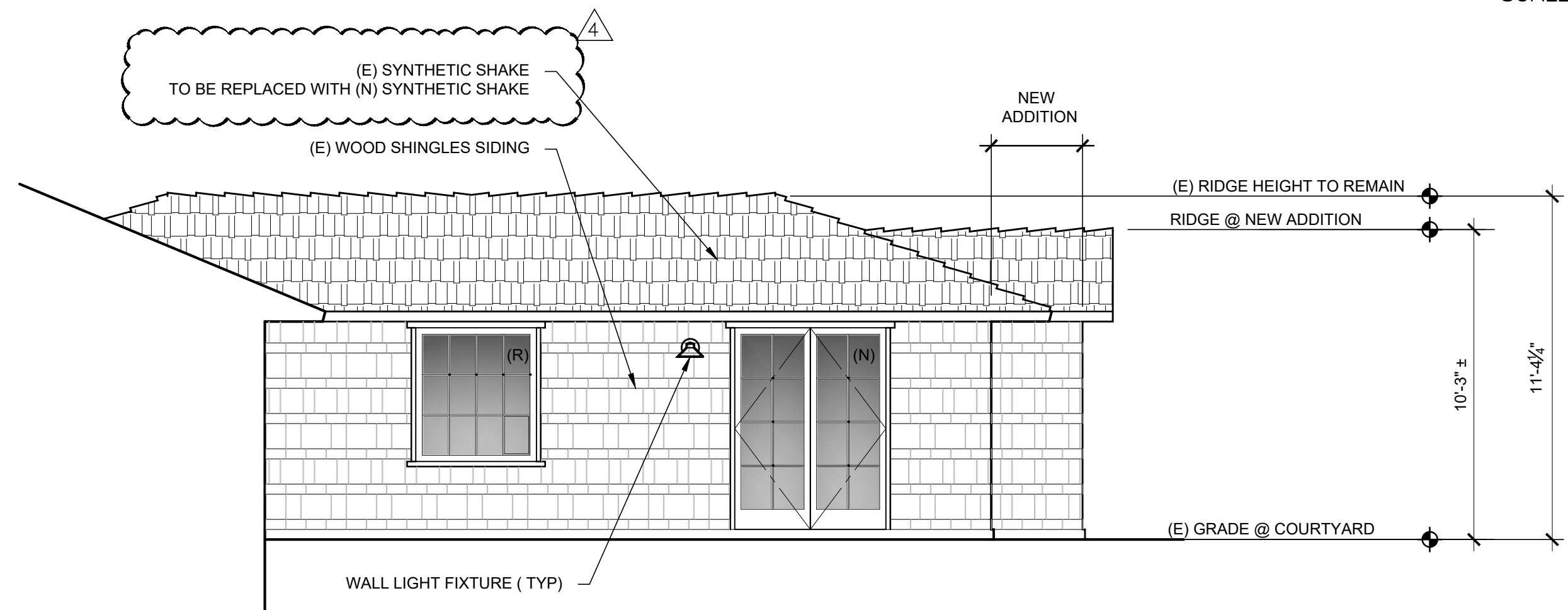
PROPOSED ELEVATION
RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A3.1



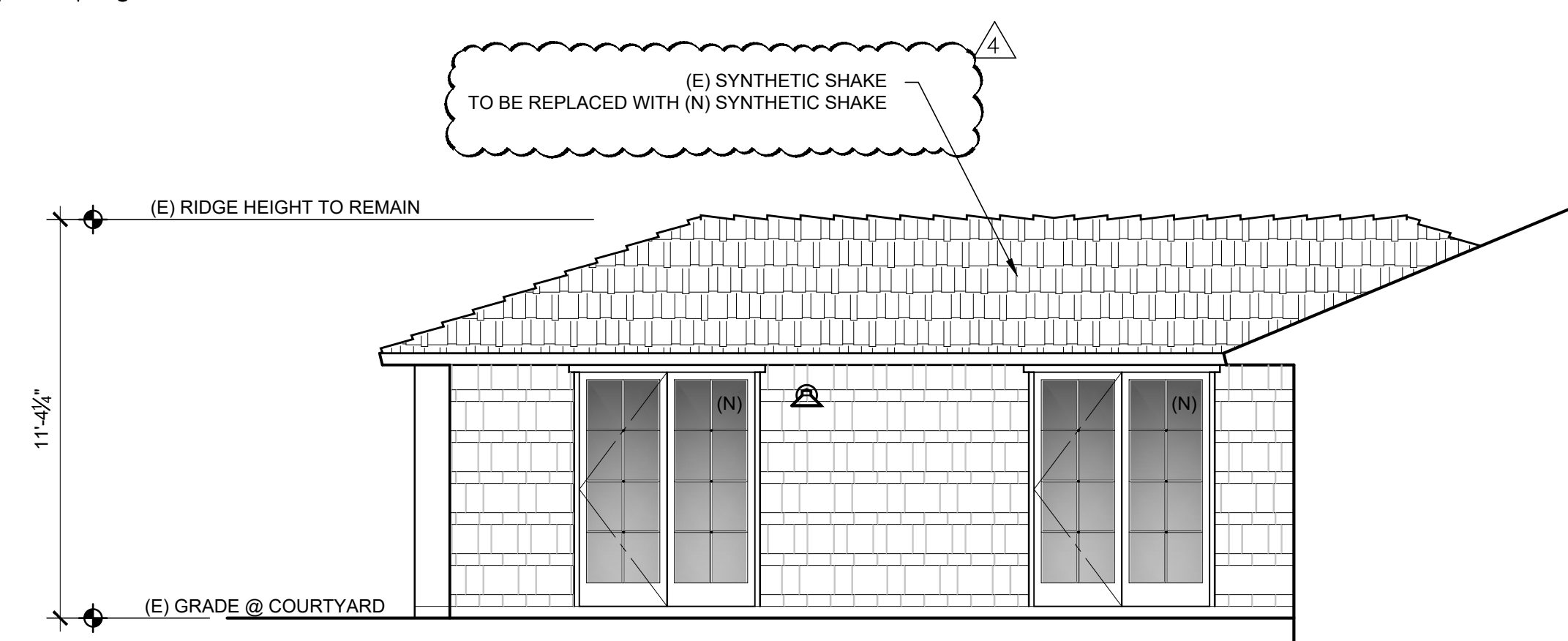
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



COURTYARD NORTH ELEVATION

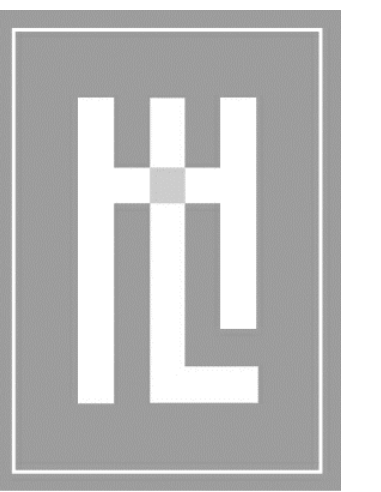
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COURTYARD SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

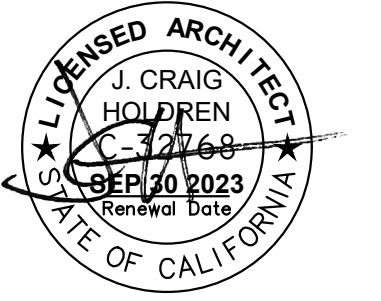
NOTE:
 NEW DETACHED GARAGE IS ON SEPARATE PERMIT APPLICATION # 23-432
 RESIDENCE REMODEL AND ADDITION IS ON PERMIT APPLICATION #23-414



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REVISION	
△	PLAN CHECK 23-OCT-2023
△	PLAN REVISION 18-MAR-2024
△	PLAN REVISION 07-AUG-2025



PROPOSED ELEVATION
RAMOS RESIDENCE
 NE CORNER OF 12th STREET and SAN ANTONIO
 CARMEL, CA 93923
 A.P.N. 010-279-008

A3.2

September 9, 2025

Phase Two Addendum Report for the Rockwell House (APN 010-279-008), Carmel-by-the-Sea, CA.

Executive Summary

The Rockwell House is located at the northeast corner of San Antonio and 12th Avenue. In 2022 the property was evaluated for historical significance using the California Register for Historic Resources criteria and found eligible for listing under Criterion Three (Architecture) within the historic context theme of Architectural Development. The property was listed on the Carmel Inventory of Historic Resources on June 20, 2022.

The house was built in 1923 as the vacation home of Frederick and Jennie Rockwell. Mr. Rockwell had made his fortune as a pioneer wooden box manufacturer in Hartford, Connecticut. The historical evaluation (recorded on DPR523 A & B survey forms) states that, “The Rockwell House is eligible for listing in the Carmel Inventory under Criterion Three (Architecture) because it was designed and built by Michael J. Murphy, a builder-designer who is recognized as significant in Carmel’s Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(1)). In addition, it is a good example of the Craftsman style which characterizes Carmel’s architectural legacy during the town’s formative years. Murphy himself is credited with laying the foundation of Carmel’s early Arts and Crafts aesthetic with his Craftsman houses. The Craftsman style is recognized as significant in the Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(3)). The survey form notes the following additions and alterations to the house:

- **BP# 2058 (9/18/1950):** Comstock Associates enlarged the kitchen wing towards the rear lot line. A new window was installed in the rear wall and the original Dutch doors were reinstalled in the new wall. French doors were installed that opened out to the patio.
- **BP# 3488 (2/15/1960):** The bathroom was remodeled which included closing the original bathroom window and creating a new louvered window with obscure glass (since removed). Plans indicate that the original 3-foot-wide porch (termed “lookout”) on the front elevation was removed and replaced with a wider deck. Steps were constructed which connected the deck and the driveway.
- **BP# 89-205 (10/3/1989):** In 1989 two rotten windows on the south elevation were removed. One was replaced with a similar sash window (the bathroom window) and the other with a canted bay window atop a masonry foundation.
- **BP# 94-130 (7/11/1994):** Garden walkways, the driveway and rear patio were replaced with brick.
- **BP# 02-150 (9/6/2002):** The 1960s deck was replaced with a TimberTech deck and railing. The stone wall and steps (added in 1960) to the driveway were retained.
- In 1984 the owners applied for a rooming house permit and converted the basement into livable space. The small windows on the west elevation were likely installed at this time.

Character-Defining Features

A character-defining feature is an aspect of a building's design, construction, or detail that is representative of the building's function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing, materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Rockwell House is 1923.

In order for an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. The Rockwell House is a good example of the Craftsman style. Its character-defining features include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed window
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
- Masonry chimney
- Hipped roof system
- Decorative notched exposed rafters
- Dutch door



Figure 1: View of original Rockwell House, prior to construction.

Phase Two Report

In 2023 a Phase Two Report was prepared that evaluated the proposed plans for the rehabilitation of the Rockwell House based on consistency with the Secretary of the Interior's Standards for Rehabilitation. Following is a summary of the proposed project, as submitted in 2023:

1. Construct a 231 sq. ft. garage (the garage will be constructed in front of the current garage)
2. Add 138 sq. ft. to the main floor (the new area will be added to the north elevation, at the rear of each wing)
3. In-kind replacement of wood shake roofing
4. New entry addition on the south elevation with two wood columns with stone bases
5. Relocate existing windows; add new windows; demolish existing windows; add new doors
6. The lower level will be finished and expanded by 398 square feet
7. All additions will have new exterior shingles that will be differentiated from the historic shingle siding.

During construction, work on the windows, chimney, and shingle and horizontal wood siding exceeded the approved scope. The exceeded scope has triggered this updated Phase II Historical Evaluation. Changes to the project scope are described below.

1) First, character-defining windows that were slated to be repaired were replaced "like for like" due to excessive deterioration. Photographs that document the deterioration were submitted to the Planning Department after the windows were replaced. The photographs indicate that the removed windows date to different periods of time based on construction methods. Information in the building file confirms this assessment. Following is a summary of the window changes:

- 1950: windows in the north kitchen wing were changed due to the extension of the wing. French doors were added to the east side of the interior patio, on either side of the chimney.
- 1960 and 1989: windows on the south elevation were added and altered.
- 1984: casement windows were installed in the basement, west elevation, when the basement was converted into living space.

One original window on the front elevation remains and one original window has been reused in the east rear wing addition.

2) Second, the character-defining chimney on the rear patio was slated to be retained, with no work proposed. After inspection by a structural engineer, it was determined that the unreinforced chimney was unsafe and required a new core structure. The veneer of rough-cut Carmel stone laid in an irregular course was removed and numbered for reinstallation after a new core was built. The reuse of the veneer was not carried out and new stone veneer was substituted for the original stone. The new veneer is square cut Carmel stone laid in an irregular course. Although the course is similar to the original, the square cut stone does not capture the original rustic appearance. The new chimney does not match the old design, the original materials were not reused, it appears larger, and it does not intersect the roof as it did originally.

3) Third, although the previous Phase Two report specified that new siding on the additions should be differentiated, as required by Standard Nine, the siding that was installed matches the original siding.

4) Fourth, most of the shingles on the upper level of the house were removed, except on the west (front) elevation. The horizontal siding used on the west elevation's basement area was removed and replaced. This work was not part of the original project plans. After the shingles were removed, they were inspected. It appears that two different types of shingles were on the house indicating that shingles have been repaired and replaced over the years. The older shingles were redwood, and the newer shingles were cedar. It is estimated that up to 50% of the shingles that were removed were cedar.

The horizontal siding on the west elevation was most likely replaced with new siding in 1984 when the basement windows were installed. The removal of those windows and the installation of two sets of French doors necessitated the removal of the horizontal siding, which was outside of the period of significance which is 1923.

4) Finally, the original plans specified that the wood shake roof would be replaced in-kind. At some point in the project the roofing material was incorrectly identified as split wood shake. The house was reroofed in 1994 (BP# 94-130) with composite shingles which are not considered a character-defining feature. The roofing is not included in this evaluation of the Standards.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Rockwell House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the completed work at the Rockwell House is reviewed below with respect to the *Rehabilitation Standards*. The three applicable Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Rehabilitation is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." (36 CFR 67.2(b)). The applicable Standards for the completed work include Standards Two, Six and Nine.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Windows

Most of the windows in the Rockwell House were slated to be retained and repaired, which relates to Standards Two and Six. However, most of the windows were replaced “like for like”¹ due to deterioration. Under Standard Six, documentation of the deterioration is required prior to replacing windows to ascertain whether the windows can be repaired, which is the preferred rehabilitation treatment. The National Park Service recommends, “Determination as to when deterioration is sufficiently severe to justify replacement must be based on documentation of the condition of the windows. What constitutes effective documentation may vary with the circumstances of the project, but at a minimum must include enough good quality photos to clearly depict the full range of conditions.” The project architect has submitted photographs that document the deterioration of the original windows. Although these photos should have been submitted prior to any window replacements, it appears that the replaced windows were rotted to the point where repair was not feasible. The completed work is consistent with Standard Six.

Chimney

The exterior chimney located on the east elevation was slated to be retained. However, the structural engineer on the project determined that the unreinforced masonry chimney did not have east-west lateral stability. The old chimney was taken down and a new core concrete structure that is integrated with the new concrete footing was constructed. The old Carmel stone veneer was salvaged but was replaced with new stone. The new chimney appears larger than the original chimney and does not intersect the roof, as the original once did (see Figures 4, 5 and 6).

New square-cut Carmel stone was used to reconstruct the chimney. The new stone was laid using the same irregular course; however, it does not capture the same rustic aesthetic that the rough-cut stone achieved, and it has a much more modern look. The new chimney is not consistent with Standards Two and Six because distinctive materials were removed, features were altered, and the new chimney does not replicate the design of the old chimney. Since documentary evidence is available and the original stone was salvaged, it is recommended that 1) the new stone be replaced with the original stone, and 2)

¹ According to the National Park Service “like for like” refers to replacing or repairing deteriorated features of a historic property with materials or elements that closely match the original characteristics.

that the design and dimensions of the new chimney replicate the original, i.e., that the chimney should intersect the eaves.

Siding

Standards Two and Six recommend the retention and repair of character-defining features, however both the shingles and horizontal siding, as character-defining features, were replaced rather than repaired. The architect explained that two different types of shingles were found on the house: older redwood shingles that were cracked and brittle and cedar shingles that were in better shape. Preservation Brief 47 states that, "One of the advantages of wood shingles as a wall covering is that individual shingles that are damaged can easily be replaced."² According to Standard Six, deteriorated features, like the redwood shingles, can be replaced. The replacement of the redwood shingles is consistent with the Standards due to the documented deteriorated condition. The cedar shingles were replaced as well; however, because they were not original and are outside the period of significance the completed work is consistent with Standards Two and Six.

The horizontal siding on the west elevation was replaced. It is likely that the siding did not date to 1923, as the basement area where the siding was located was previously disturbed in 1984 when windows were installed. Since the horizontal siding was likely outside the period of significance, its replacement does not affect the integrity of the house. The completed work is consistent with Standards Two and Six.

To be consistent with Standard Nine, any new siding used in the additions should be differentiated from the existing siding, so the additions are clearly discernable from the historic house. However, the shingles on the additions currently match the original "ribbon course" pattern used in the historic house (see Figure 6).³ To differentiate the shingles on the additions, the architect and contractor have suggested removing 5/8" from selected shingles along the shingle course in the additions to create a staggered pattern (see Plan Sheet A3.1). This solution will differentiate the old from the new materials and meet the requirements of Standard Nine.

Conclusion

The completed work on the windows meets Standard Six. The completed work on the chimney does not meet Standards Two and Six. To meet these Standards the chimney should be restored to its original design and materials. The replacement of the shingle siding and horizontal siding meets Standards Two and Six. The new shingle siding on the additions will meet Standard Nine if the shingles on the additions are differentiated from the original shingles.

Respectfully Submitted,

Margaret E. Clovis

² Preservation Brief 47, *Maintaining the Exteriors of Small and Medium Sized Historic Buildings*. National Park Service, June 2007.

³ Note that all historic siding was removed. If it was removed due to deterioration, the new siding should match the original siding, i.e., a ribbon course pattern.



Figure 2: View of new windows on the front elevation and missing horizontal siding.



Figure 3: Detail of the one remaining original window on the front elevation.



Figure 4: Original chimney.



Figure 5: New chimney.



Figure 6: Detail of new chimney.

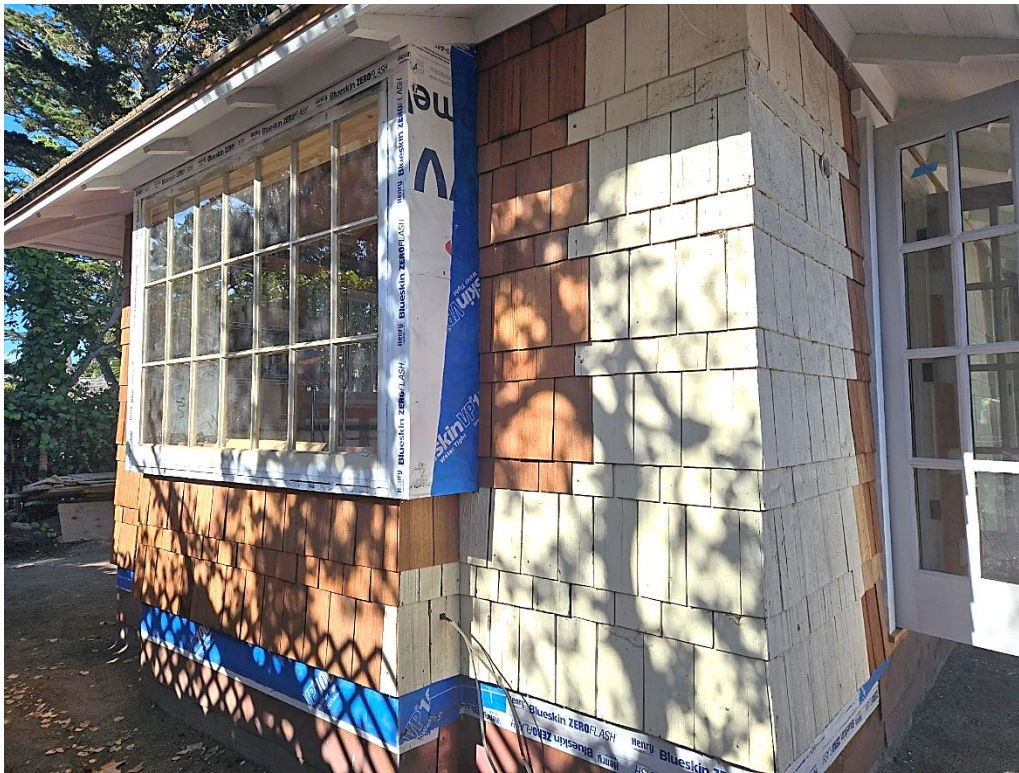
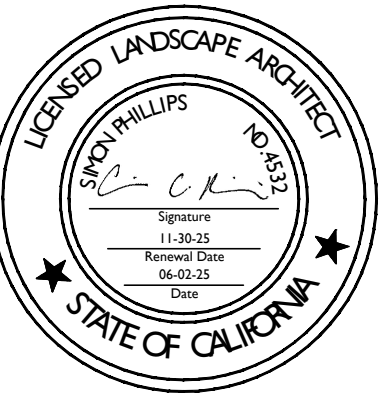


Figure 7: View of addition with matching shingles.



Figure 8: View of new shingles, south elevation.



PROJECT NAME:

RAMOS RESIDENCE

PROJECT ADDRESS:

NE CORNER OF 12TH STREET
AND SAN ANTONIO
CARMEL, CA 93923

APN: 010-279-008

ISSUANCE:

**PLANNING DEPARTMENT
SUBMITTAL**

PROJECT NO: 2024-17

DATE: 06/02/2025

REVISIONS:

DATE	DESCRIPTION
09/24/2025	RESUBMITTAL SET
10/23/2025	RESUBMITTAL SET

SHEET NAME:

**CONSTRUCTION
PLAN**

SHEET NO:

SHEET INDEX

SHEET NO:	CONTENTS:
L-1.0	CONSTRUCTION PLAN
L-2.0	CONSTRUCTION DETAILS
L-2.1	CONSTRUCTION DETAILS
L-3.0	PLANTING NOTES
L-3.1	PLANTING PLAN
L-4.0	SITE LIGHTING PLAN
L-4.1	SITE LIGHTING SPECS

LEGEND

- ASPHALT PAVING: TO MATCH EXISTING DRIVEWAY PAVING SECTION.
- BRICK PAVING: SAND SET OVER 8" COMPACTED CLASS II PERMEABLE BASE. INSTALL - PER MANUFACTURERS INSTRUCTIONS.
- MULCH
- RETAINING WALL: CMU WITH STUCCO FINISH WITH INTEGRAL COLOR.
- CARMEL STONE RETAINING WALL: CMU WITH STONE VENEER
- BRICK STEPS: WET SET OVER CONCRETE SUBSTAIRS
- DRY STACKED STONE BOULDER WALL: WALL HEIGHT TO VARY - APPROXIMATE 3' MAXIMUM AND BOULDER SIZES TO VARY FROM 2' X 2' X 2' TO 4' X 3' X 2'.
- GRAPE STAKE FENCE: HEIGHT VARIES - SEE PLAN. SEE (3/L-2.0)
- HDR METAL EDGE
- PLT PLANTING AREA

REFERENCE NOTES

- 1 WOOD TRELLIS: 9'-10" HIGH. SEE (1/L-2.0)
- 2 GAS FIREPLACE WITH AUTO IGNITER - CMU WITH CARMEL STONE VENEER. SEE (1/L-2.0)
- 3 INTENTIONALLY LEFT BLANK
- 4 TRASH ENCLOSURE
- 5 OUTDOOR SHOWER: SEE ARCHITECTURAL PLAN.
- 6 WOOD FENCE AT TRASH ENCLOSURE - 6' HIGH
- 7 STEPS WITH METAL RISERS AND MULCH TREADS
- 8 TRELLIS OVER ENTRY GATE: SEE (4/L-2.0)
- 9 EXISTING STONE CURB: TO BE REMOVED
- 10 LIGHTWELL: SEE ARCHITECTURAL DRAWINGS.
- 11 WOOD DECK ABOVE - SEE ARCHITECTURAL DRAWINGS.
- 12 4' WOOD GATE: TO MATCH WOOD FENCE
- 13 MOVABLE GAS FIREPIT: CATALOG ITEM
- 14 EXISTING WOOD GATE WITH PLANTED ARCH: TO REMAIN
- 15 EXISTING MULCH WALK: TO REMAIN
- 16 EXISTING FENCE: TO REMAIN. 6' HIGH REDWOOD FENCE WITH 12" LATTICE AT TOP.
- 17 PROPOSED CARMEL STONE PILASTER: CMU WITH STONE VENEER - 3' MAX HEIGHT
- 18 SALVAGE GRAPE STAKES FROM EXISTING FENCE ON SAN ANTONIO AND 12TH FOR REUSE. MIX NEW AND SALVAGED GRAPE STAKES TOGETHER FOR NEW FENCE - FENCE TO BE MOVED FORWARD AND BE LOCATED ON THE PROPERTY LINE. SEE GRAPESTAKE FENCE IMAGE. SEE (3/L-2.0)
- 19 PG&E METER ON GARAGE WALL
- 20 INTENTIONALLY LEFT BLANK

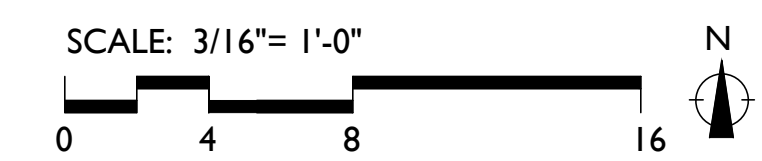
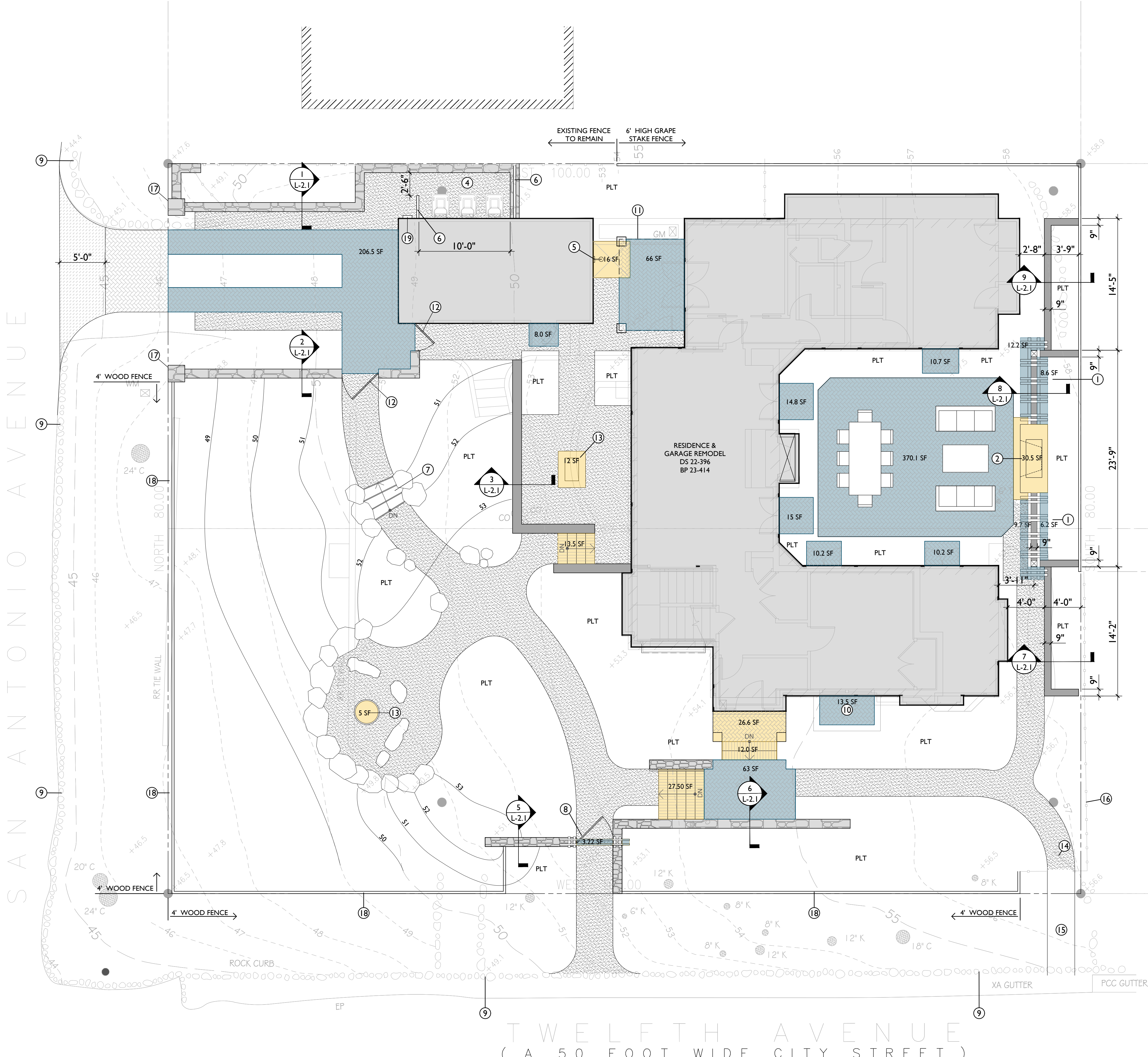
LOT COVERAGE

ALLOWABLE LOT COVERAGE:	651 SF
BONUS SITE COVERAGE:	320 SF
TOTAL ALLOWABLE COVERAGE:	971 SF

IMPERMEABLE		
FIREPLACE (IMPERMEABLE)	30.5 SF	
FIREPITS (IMPERMEABLE)	17 SF	
SHOWER (IMPERMEABLE)	16 SF	
STEPS (IMPERMEABLE)	53 SF	
FRONT PORCH (IMPERMEABLE)	26.6 SF	
SUBTOTAL (IMPERMEABLE)	143.1 SF	15%

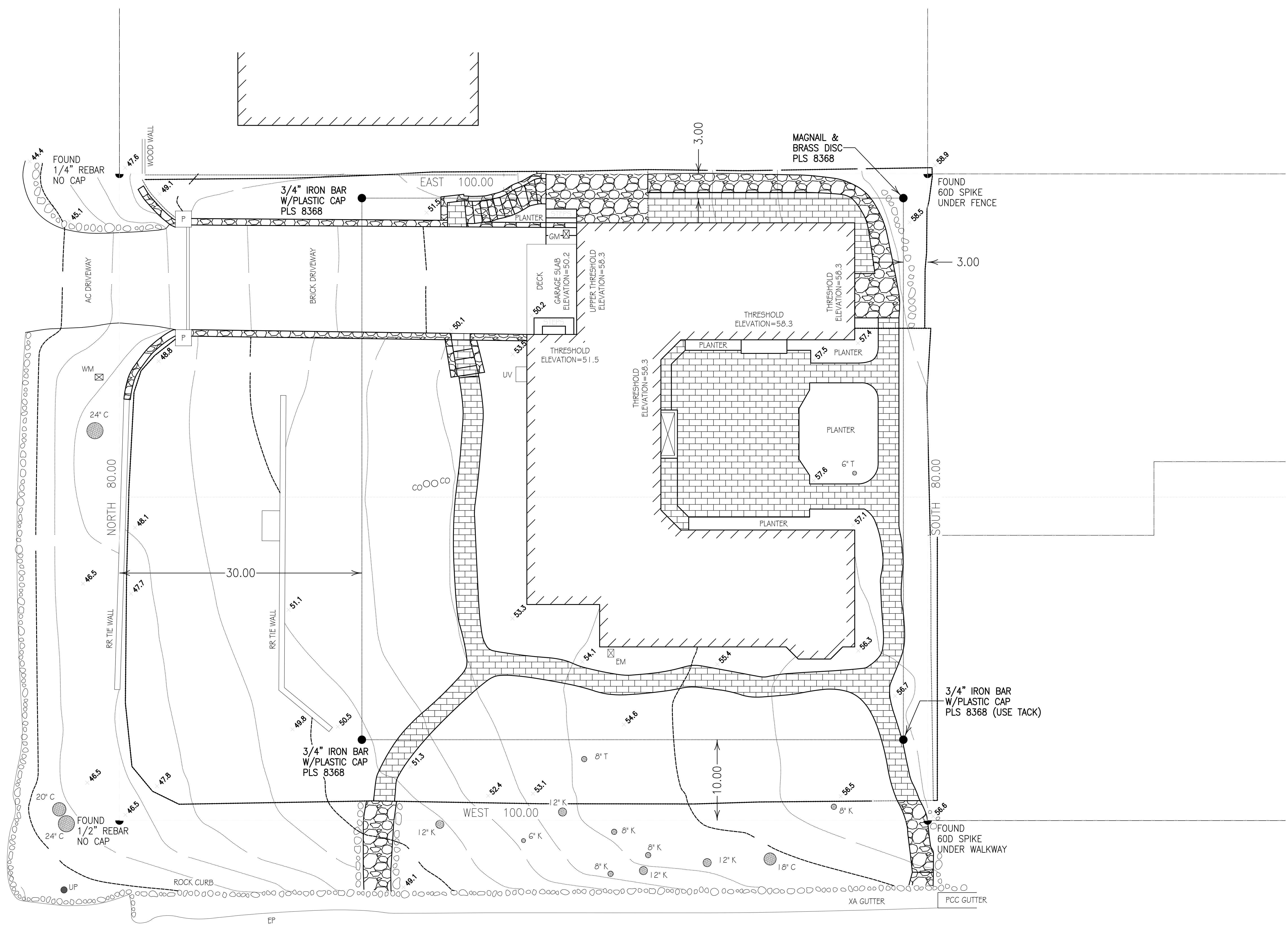
PERMEABLE		
WOOD DECK (PERMEABLE)	66 SF	
SAND SET BRICK PAVING (PERMEABLE)	502 SF	
BRICK IN LIGHTWELL (PERMEABLE)	13.5 SF	
DRIVE (PERMEABLE)	206.5 SF	
TRELLIS (PERMEABLE)	39.9 SF	
SUBTOTAL (PERMEABLE)	827.9 SF	85%

TOTAL PROPOSED COVERAGE	971 SF
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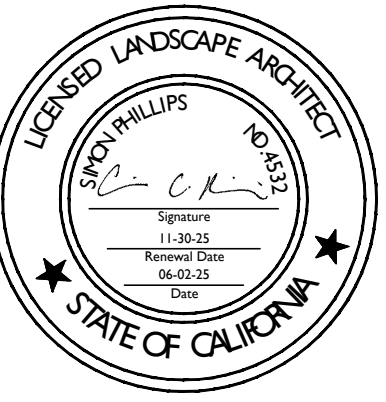
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SAN ANTONIO AVENUE
(A 50 FOOT WIDE CITY STREET)



TWELFTH AVENUE
(A 50 FOOT WIDE CITY STREET)

PROJECT BENCHMARK
SURVEY MARK & ALUMINUM DISC
ELEV=50.0



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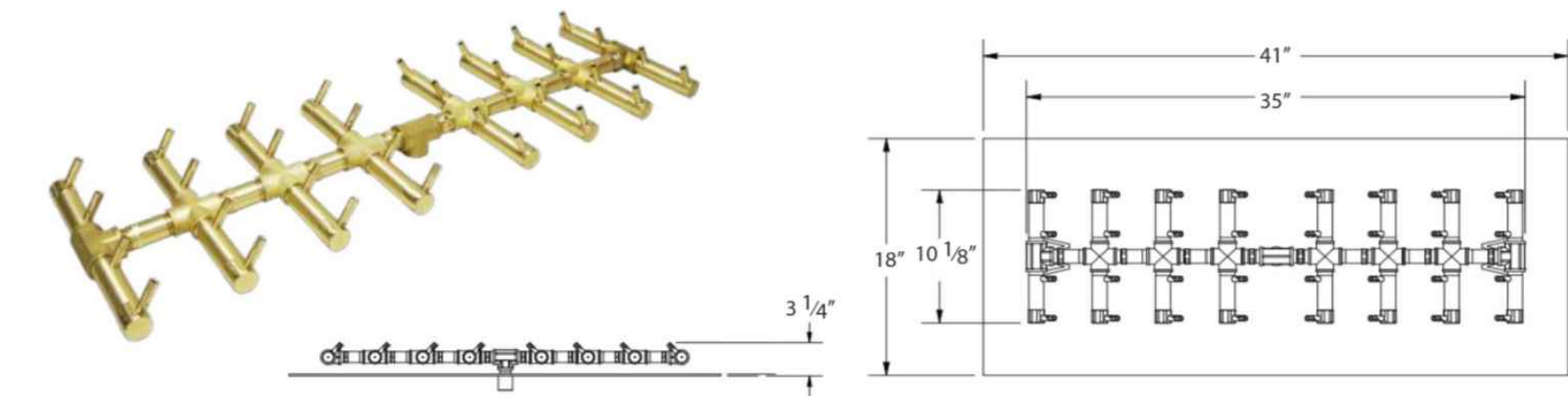
DATE	DESCRIPTION
09/24/2025	RESUBMITTAL SET
10/23/2025	RESUBMITTAL SET

SHEET NAME:

**CONSTRUCTION
DETAILS**

SHEET NO:

DOUBLE TREE-STYLE CFBDT320 - For 41" x 18" opening or larger

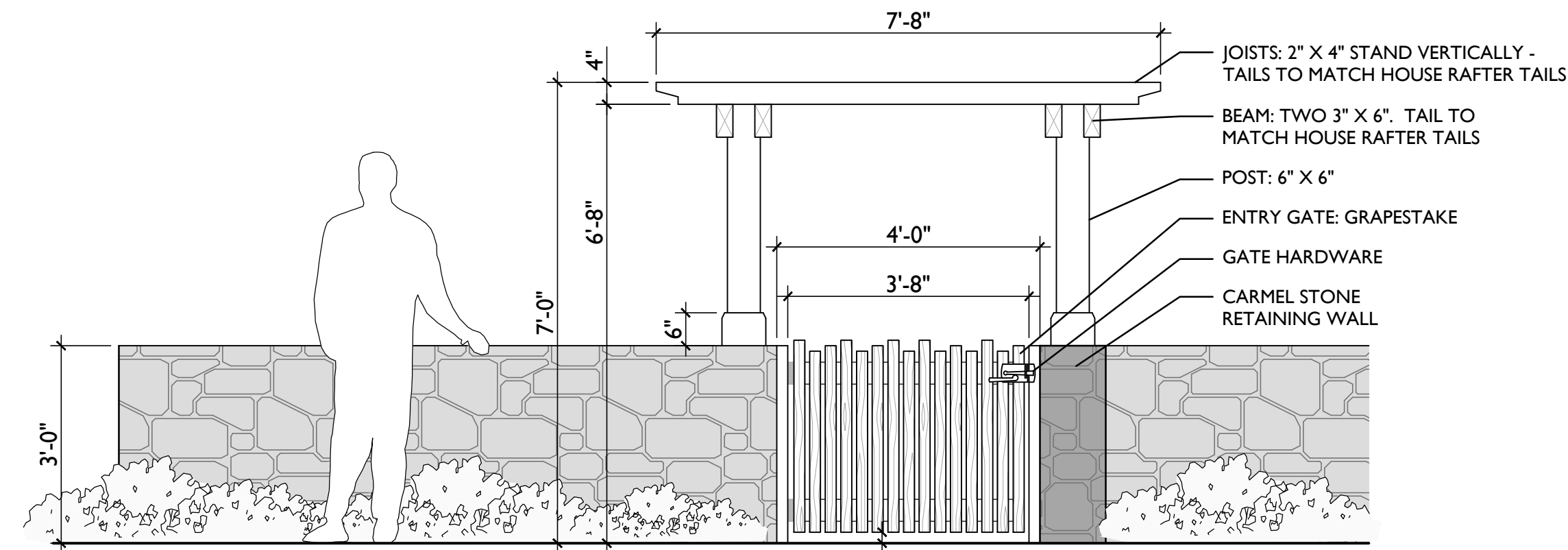


SKU (NG OR LP)	DESCRIPTION	SHIP WEIGHT	SHIP METHOD
CFBDT320NG CFBDT320LP	320K BTU Double-Tree-Style Brass Burner	18 lbs	SHIPS PARCEL
Recommended parts - Plate: ALPL4118 • FK2 • Optional 6x Support Collars			
CFBDT320NGALPL4118 CFBDT320LPALPL4118	with 41" x 18" Rectangular Plate		SHIPS FREIGHT
CFBDT320NGALPL4118FK2 CFBDT320LPALPL4118FK2	with 41" x 18" Plate + FK2		SHIPS FREIGHT

BURNER SPEC

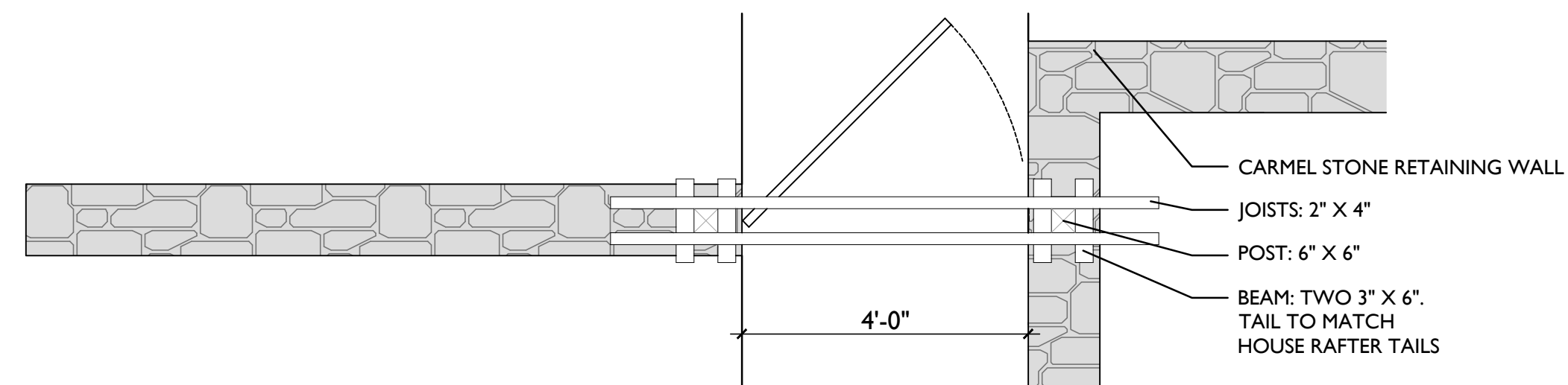


PRECEDENT IMAGE



5 ENTRY GATE - ELEVATION

1/2" = 1'-0"



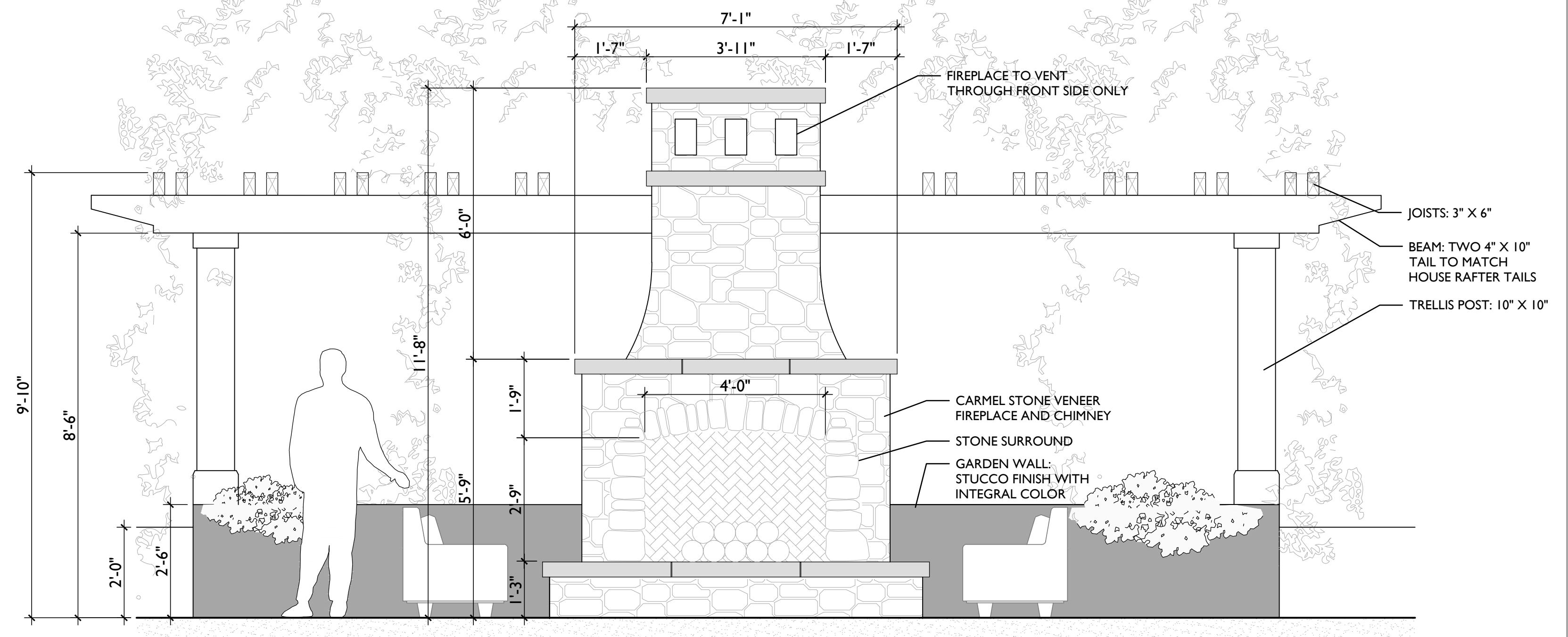
4 ENTRY GATE - PLAN

1/2" = 1'-0"



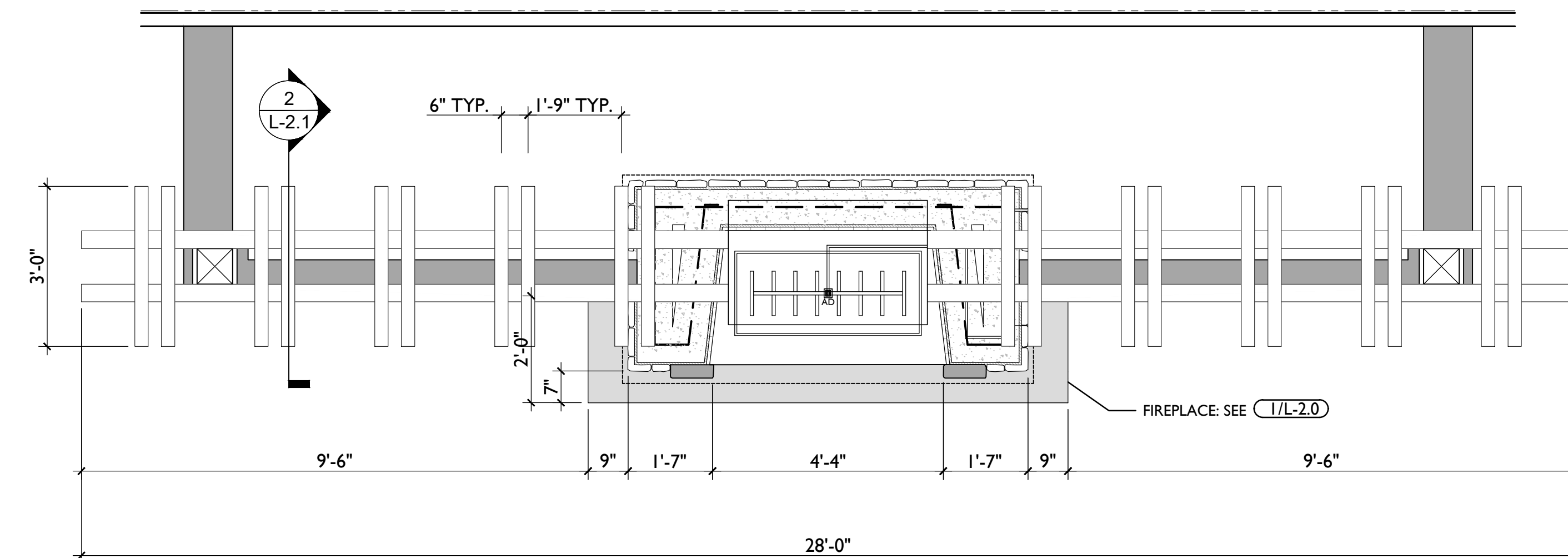
3 WOOD FENCE

NTS



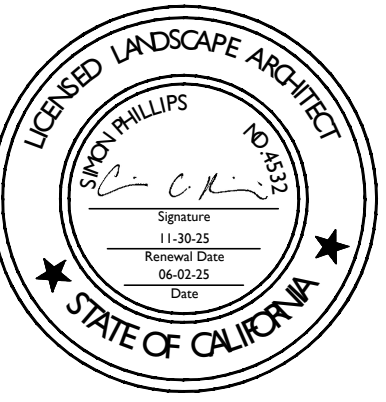
2 FIREPLACE - ELEVATION

1/2" = 1'-0"



1 FIREPLACE - PLAN

1/2" = 1'-0"



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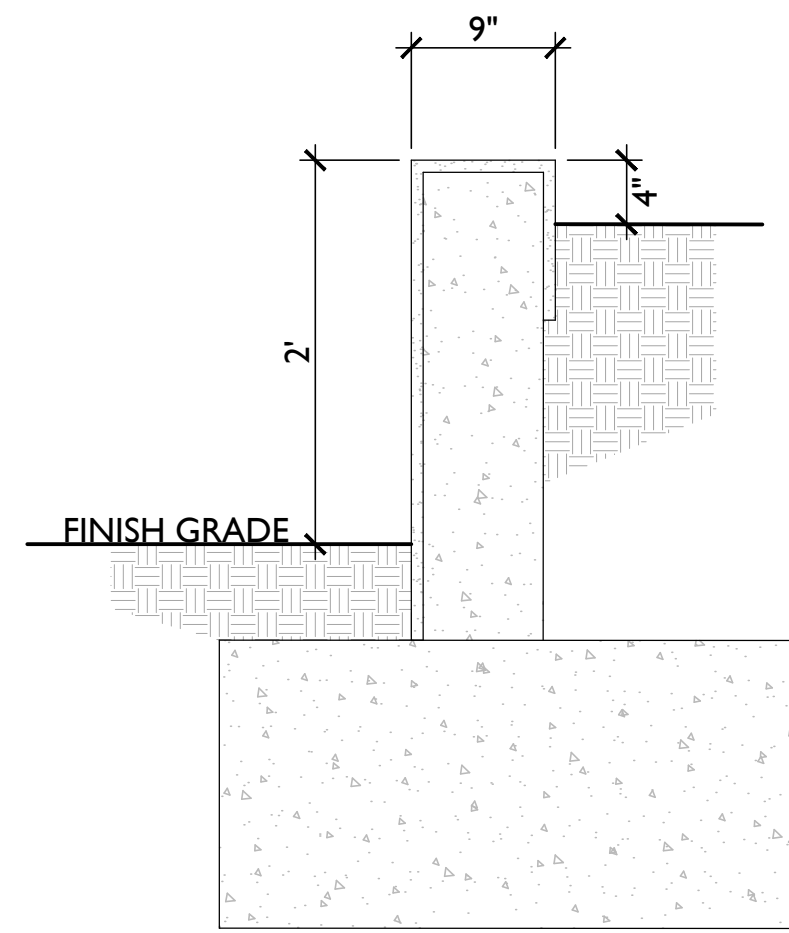
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10/23/2025	RESUBMITTAL SET

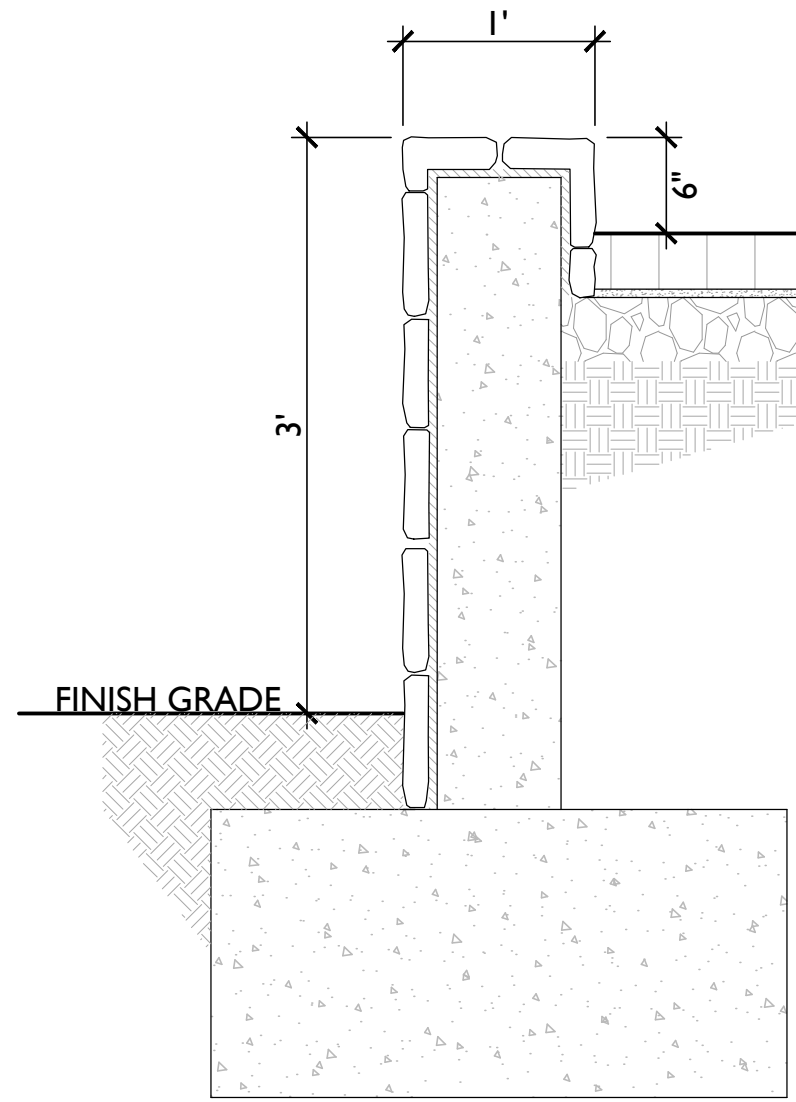
SHEET NAME:

**CONSTRUCTION
DETAILS**

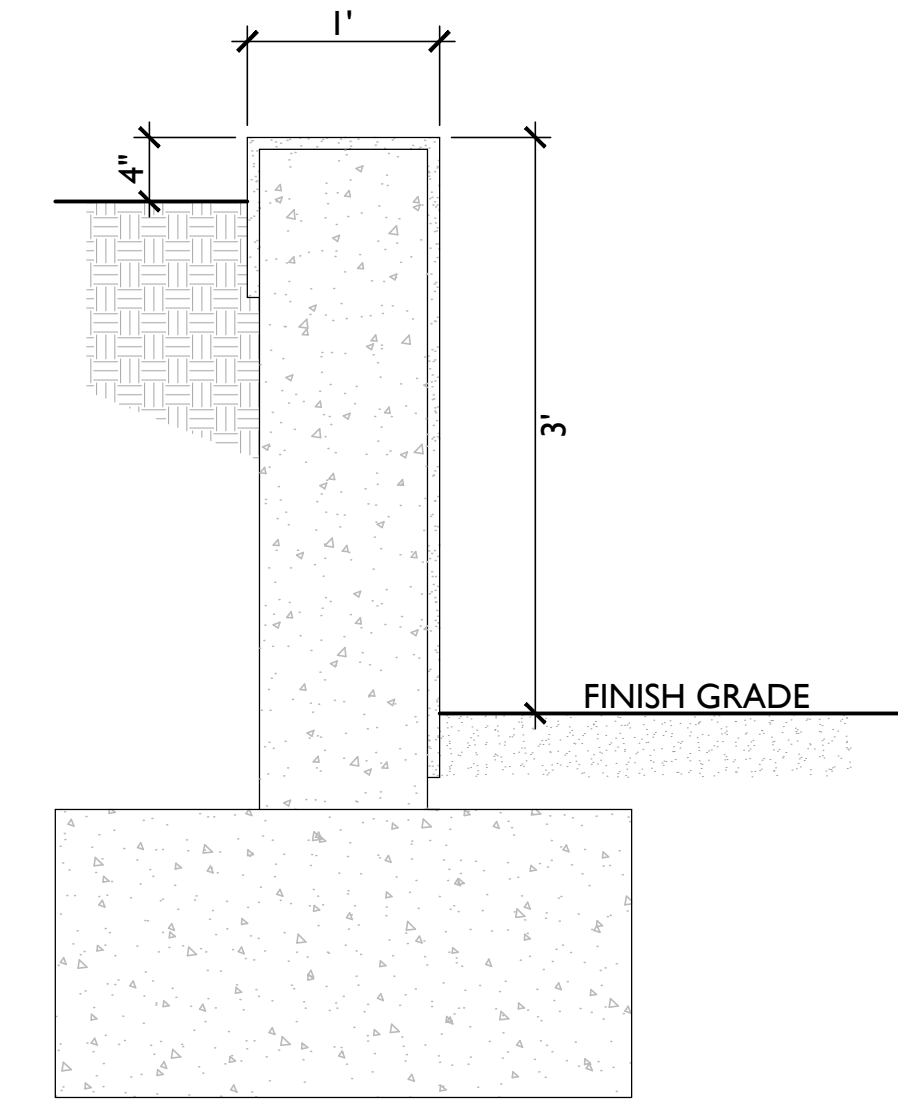
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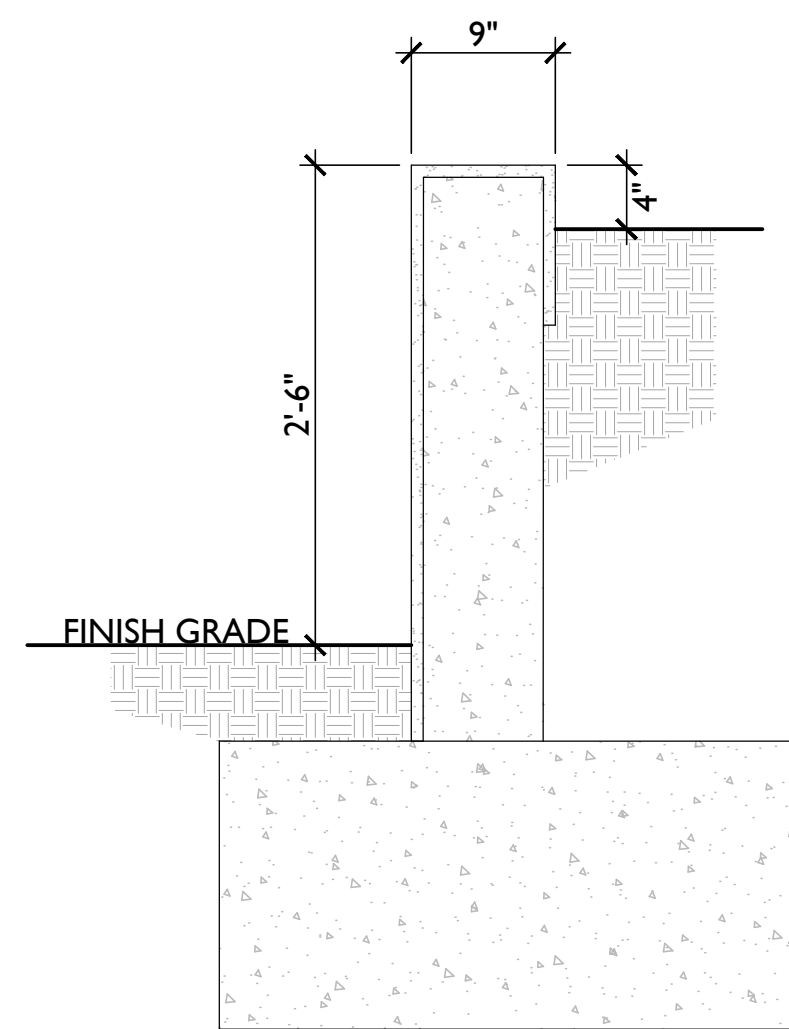
9 RETAINING WALL SECTION - 9
1" = 1'-0"



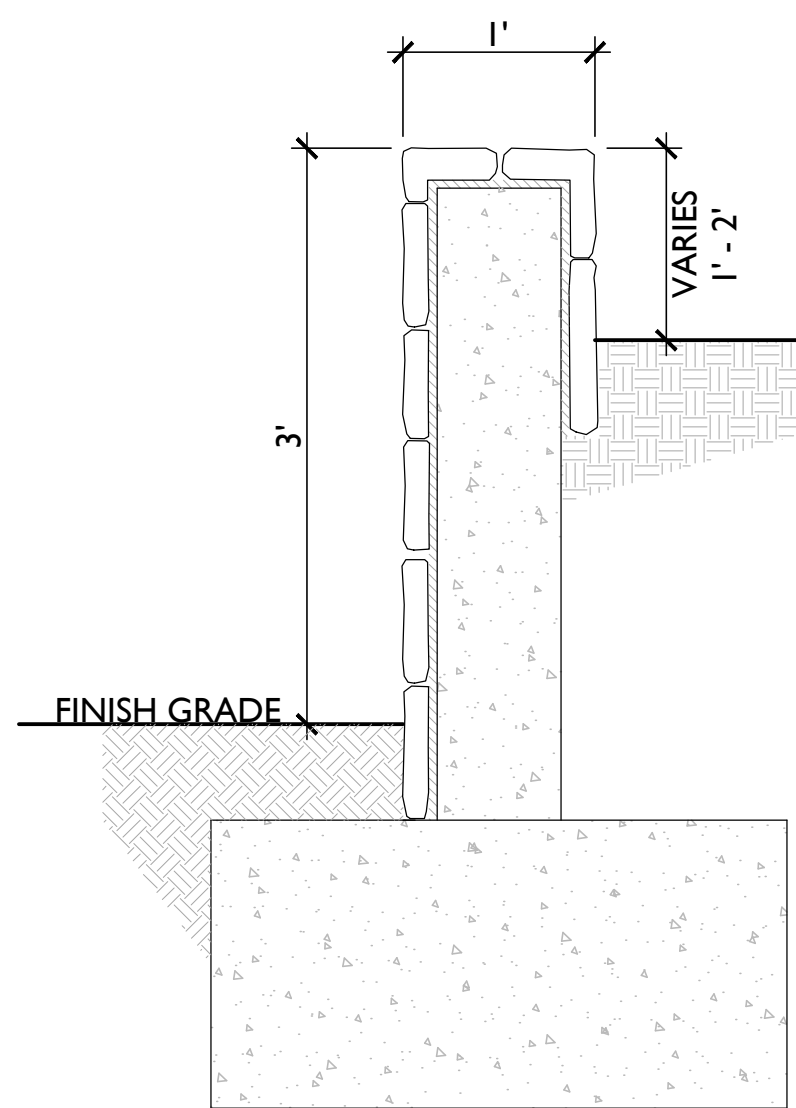
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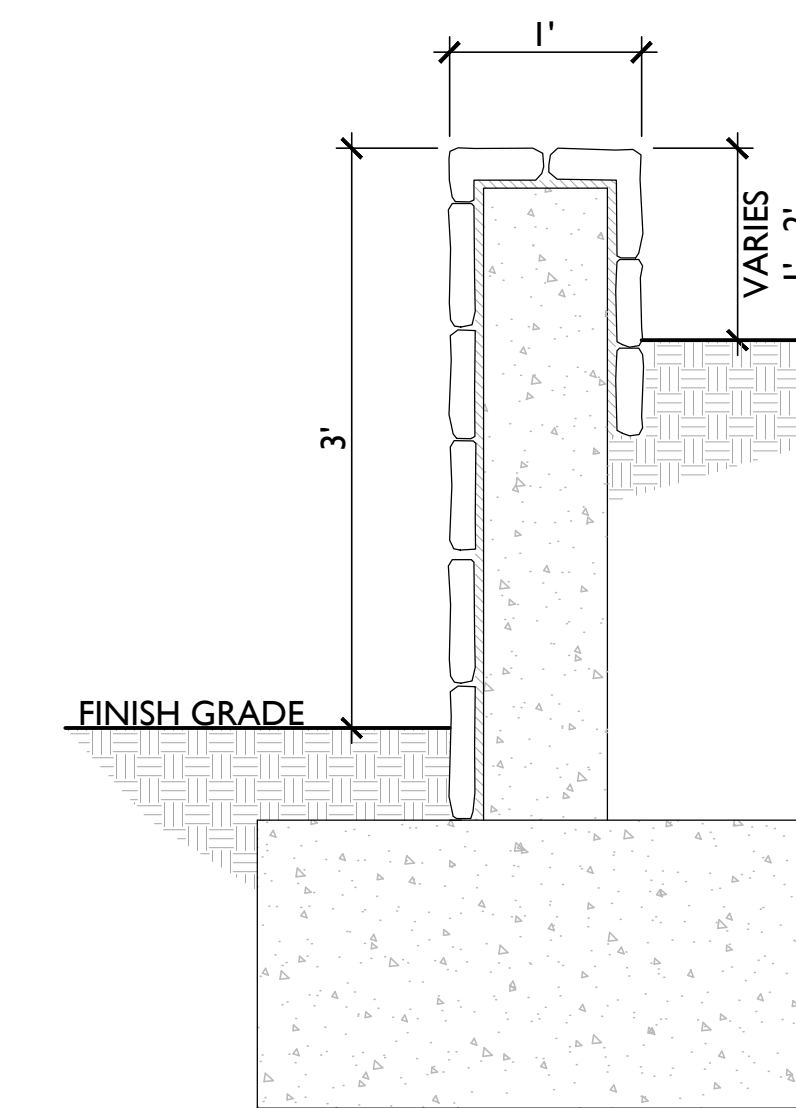
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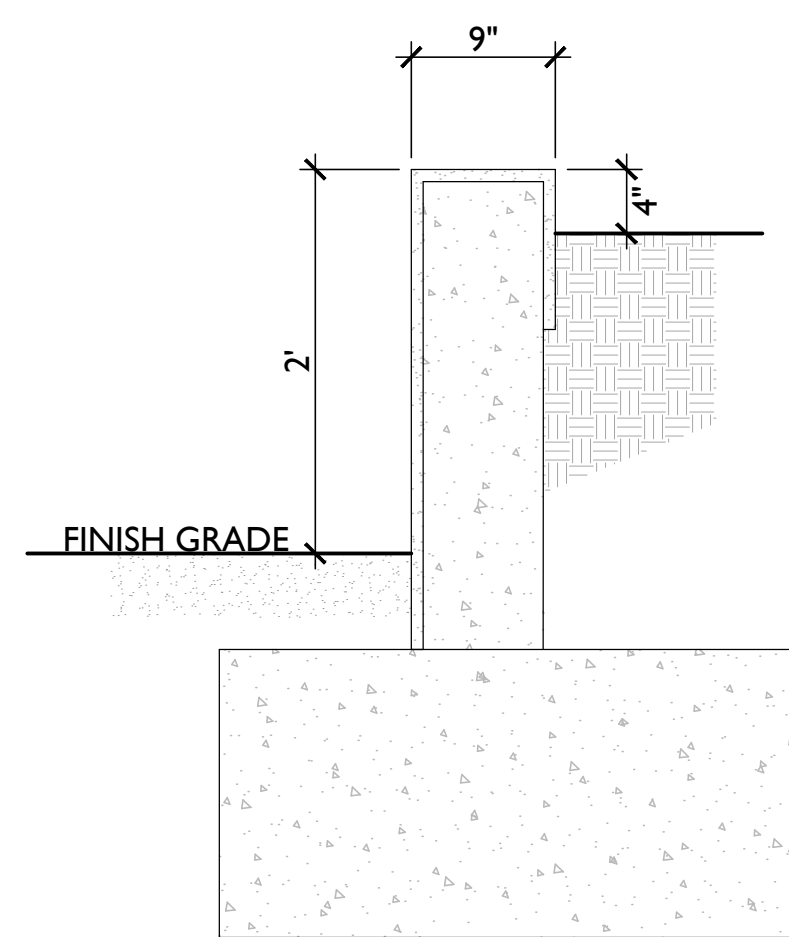
8 RETAINING WALL SECTION - 8
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5 RETAINING WALL SECTION - 5
1" = 1'-0"



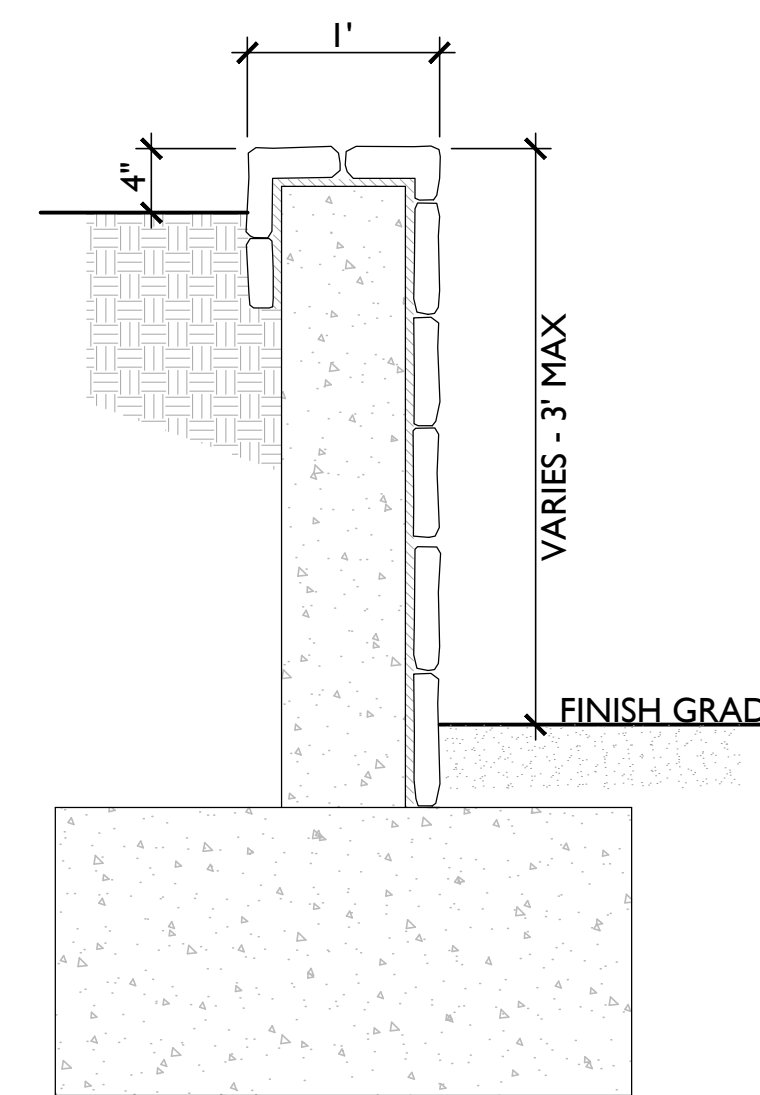
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7 RETAINING WALL SECTION - 7
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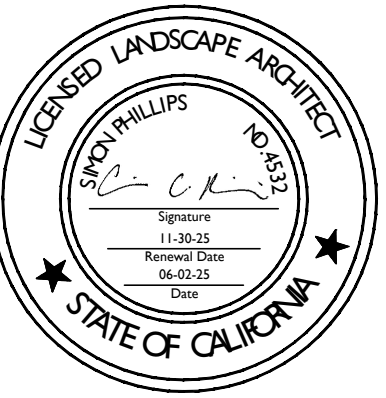
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4 RETAINING WALL SECTION - 4
1" = 1'-0"



1 RETAINING WALL SECTION - 1
1" = 1'-0"

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SHEET NAME:

PLANTING PLAN

SHEET NO:

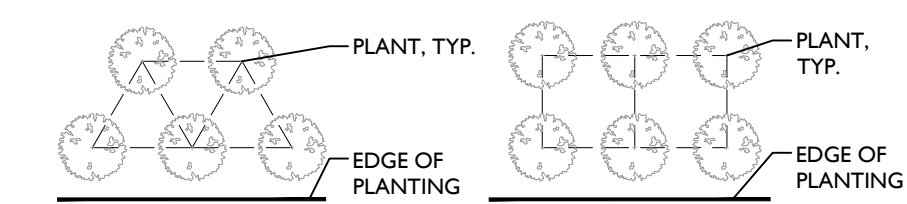
PLANT LEGEND

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER
TREES				
M	Ap	ACER P. 'GERMAINES GYRATION'	GERMAINES GYRATION JAPANESE MAPLE	5 GAL MULTI
M	As	ACER P. 'SANGO KAKU'	SANGO KAKU JAPANESE MAPLE	5 GAL MULTI
M	Cm	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	5 GAL
M	Fn	FICUS NITIDA	INDIAN LAUREL	30" BOX COLUMN HEDGE FORM
VL	Ms	MAGNOLIA STELLATA	STAR MAGNOLIA	5 GAL MULTI
SHRUBS				
M	Am	ACANTHUS MOLLIS	BEAR'S BREECH	5 GAL
L	Ae	ARCTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL
M	Bc	BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA	1 GAL
L	Cd	CAREX DIVULSA	BERKELEY SEDGE	1 GAL
L	Cy	CEANOTHUS H. 'YANKEE POINT'	YANKEE POINT CEANOTHUS	5 GAL
L	Ee	ECHEVERIA ELEGANS	HENS AND CHICKS	4" POT
L	Ek	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL
M	Fr	FRANCOA RAMOSA	BRIDAL WREATH	1 GAL
M	Gi	GAURA LINDHEIMERI	WHITE GUARA	1 GAL
M	Hm	HYDRANGEA MACROPHYLLA	HYDRANGEA	5 GAL
M	Hq	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	5 GAL
L	Ls	LEPTOSPERMUM 'SNOW WHITE'	SNOW WHITE LEPTOSPERMUM	15 GAL
L	Le	LOROPETALUM 'EMERALD SNOW'	EMERALD SNOW LOROPETALUM	15 GAL
L	Lp	LOMANDRA 'POM POM'	POM POM LOMANDRA	1 GAL
L	Lm	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	1 GAL
L	Om	OLEA 'MONTRA'	LITTLE OLLIE OLIVE	15 GAL
M	Ps	PENNISETUM SPATHIOLATUM	SLENDER VELD'T GRASS	5 GAL
L	Pw	PITTIOSPORUM 'WHEELER'S DWARF'	WHEELER'S DWARF PITTIOSPORUM	5 GAL
M	Ri	ROSA 'ICEBERG'	ICEBERG ROSE	5 GAL
L	Rf	ROSEMARINUS O. 'FOXTAIL'	FOXTAIL ROSEMARY	1 GAL
VL	Vb	VERBENA BONARIENSIS	TALL VERBENA	1 GAL
L	Wm	WESTRINGIA MUNDI	LOW COAST ROSEMARY	1 GAL
M	Wf	WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	5 GAL
GROUNDCOVERS				
M		OPHIPOGON JAPONICUS 'NANUS'	DWARF MONDO GRASS	4" POT @ 6" O.C.
M		SESLERIA AUTUMNALIS SESLERIA 'GREENLEE'	AUTUMN MOOR GRASS GREENLEE MOOR GRASS	1 GAL @ MIX 18" O.C.
L		THYMUS PRAEOX	CREeping THYME	4" POT @ 6" O.C.
GREEN ROOF				
		ECHIUM ECHERVIA	HENS & CHICKS	EQUAL MIX OF PLANT TYPES @ 12" O.C.
		SEDUM ALBUM	WHITE STONECROP	
		SEDUM REFLEXUM 'BLUE SPRUCE'	BLUE SPRUCE STONECROP	
		SEDUM SPURIUM JOHN CREECH	CAUCASIAN STONECROP	
VINES				
M	Db	DISTICTIS BUCCINATORIA	SCARLET TRUMPET VINE	15 GAL
M	Rcb	ROSA 'CECILE BRUNNER'	CECILE BRUNNER ROSE	5 GAL
M	Rsh	ROSA 'SALLY HOLMES'	SALLY HOLMES ROSE	5 GAL
MISCELLANEOUS				
*MTL METAL EDGING: WELD ALL JOINTS AND PRIME AND PAINT ONCE WELDED.				

*** WATER USE CATEGORY (WUC) KEY**

WUCOLS REGION APPLICABLE TO THIS PROJECT: REGION I
H = HIGH; M = MODERATE; L = LOW; VL = VERY LOW; NL = SPECIES NOT LISTED
* FROM: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES,
A GUIDE TO THE WATER NEEDS OF LANDSCAPE PLANTS (WUCOLS)
UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, L.R. COSTELLO, K.S. JONES

PLANT SPACING AND PLANTING SETBACK DIAGRAM



- FOR SPACING 'X', SEE PLANTING PLAN LEGEND
- Y = 1/2X + 12" UON

MWEO COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

SIGNED: *Simon Phillips* NAME: Simon Phillips 4532 06-02-2025
CLA# DATE

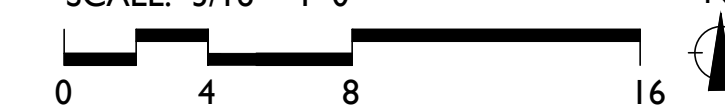
TREE REQUIREMENT


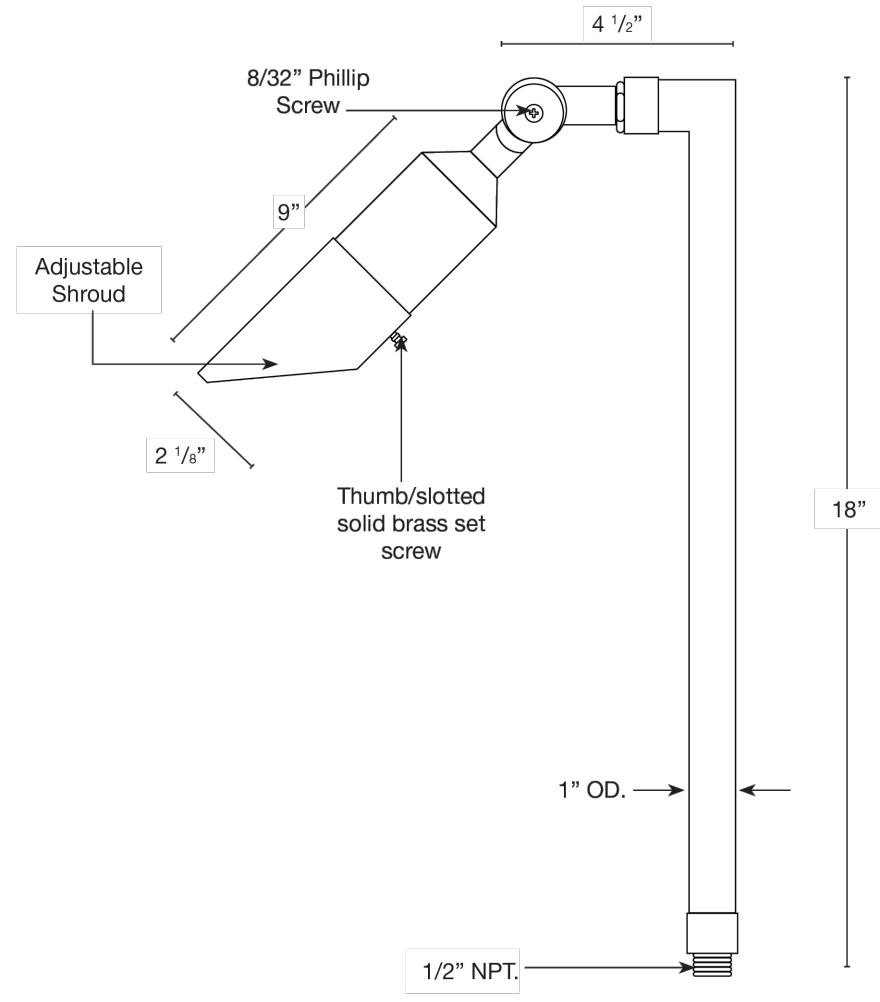




	LOT SIZE		8,000 SF	
	REQUIRED	EXISTING	PROPOSED	TOTAL
UPPER CANOPY TREES	5	0	5	5
LOWER CANOPY TREE	4	2	2	4

REFERENCE NOTES

- EXISTING LOWER CANOPY TREE: TO REMAIN
- TRANSPLANTED THREE CAMILLIAS
- GREEN ROOF - WATERPROOFING AND DRAINAGE BY ARCHITECT.

SCALE: 3/16" = 1'-0"



SPJ LIGHTING Inc. <small>ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING</small>		SPECIFICATION SHEET	Contemporary Path Lights SPJ18-16										
													
MODEL: SPJ18-16 MATERIAL: Solid Brass FINISH: Matte Bronze ELECTRICAL: 8-15V ENGINE: FB-3W-CYL-TA16 LUMENS: 200 COLOR TEMP: 2700K MOUNTING: 1/2" NPT, Dual Fin Spike Included Niche LED:		 Model: SPJ14-51 Adjustable Shroud											
FINISHES <input type="checkbox"/> Matte Bronze (MBR) <input type="checkbox"/> Verde (V) <input type="checkbox"/> Moss (M) <input type="checkbox"/> Black (B) <input type="checkbox"/> Rusty (R) <input type="checkbox"/> Satin Brass (SB) <input type="checkbox"/> Aged Brass (AG) <input type="checkbox"/> Raw Copper (RC) <input type="checkbox"/> Natural Copper (NC) PVD PREMIUM <input type="checkbox"/> PVD Polished (PVDP) <input type="checkbox"/> PVD Satin (PVDS) <input type="checkbox"/> PVD Graphite (PVDG) <input type="checkbox"/> PVD Bronze (PVDBZ) <input type="checkbox"/> PVD Black (PVDBL)		<table border="1"> <thead> <tr> <th>WATTAGE</th> <th>LUMENS</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> 1W</td> <td>80</td> </tr> <tr> <td><input type="checkbox"/> 2W</td> <td>150</td> </tr> <tr> <td><input type="checkbox"/> 3W</td> <td>200</td> </tr> <tr> <td><input type="checkbox"/> 6W</td> <td>300</td> </tr> </tbody> </table> <p>Custom lumen packages are available upon request.</p>		WATTAGE	LUMENS	<input type="checkbox"/> 1W	80	<input type="checkbox"/> 2W	150	<input type="checkbox"/> 3W	200	<input type="checkbox"/> 6W	300
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		Ordering Example SPJ18-16-MBR-3W-27K-8-15V	Customer Approval 										
		Date											

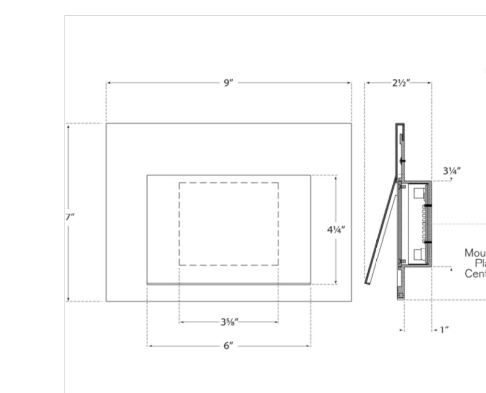
2 PATH LIGHT
NTS

KELLY WEARSTLER



Esker Envelope Sconce

KW 2706BZ



Materials Shown

Bronze
 Available in
 Antique-Burnished Brass
 Bronze
 Polished Nickel



Dimensions

O/A Height: 7"
 Width: 9"
 Extension: 1.5"
 Backplate: 7" x 9" Rectangle

Socket

Dedicated LED

Wattage

12w (1100lm)

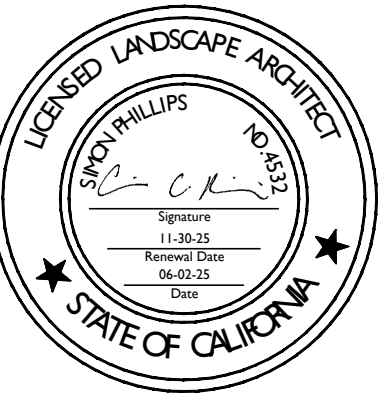
Weight

3lbs

1 RECESSED WALL LIGHT
NTS

SEVEN SPRINGS STUDIO
LANDSCAPE ARCHITECTS

2548 EMPIRE GRADE
SANTA CRUZ, CA 95060
831.466.9617



PROJECT NAME:

RAMOS RESIDENCE

PROJECT ADDRESS:

NE CORNER OF 12TH STREET
AND SAN ANTONIO
CARMEL, CA 93923

APN: 010-279-008

ISSUANCE:

PLANNING DEPARTMENT SUBMITTAL

PROJECT NO: 2024-17

DATE: 06/02/2025

REVISIONS:

DATE DESCRIPTION

09/24/2025 RESUBMITTAL SET

10/23/2025 RESUBMITTAL SET

SHEET NAME:

SITE LIGHTING SPECS

SHEET NO:

L-4.1

September 26, 2025

Phase Two Report: Second Addendum for the Rockwell House (APN 010-279-008), Carmel-by-the-Sea, CA.

Executive Summary

The Rockwell House is located at the northeast corner of San Antonio and 12th Avenue. In 2022 the property was evaluated for historical significance using the California Register for Historic Resources criteria and found eligible for listing under Criterion Three (Architecture) within the historic context theme of Architectural Development. The property was listed on the Carmel Inventory of Historic Resources on June 20, 2022. An initial Phase Two report for the rehabilitation of the Rockwell House was submitted on May 5, 2023. Changes to the proposed plan triggered an addendum to that report which was submitted on September 9, 2025. This Second Addendum to the Phase Two Report will focus solely on proposed landscape improvements.

The house was built in 1923 as the vacation home of Frederick and Jennie Rockwell. Mr. Rockwell had made his fortune as a pioneer wooden box manufacturer in Hartford, Connecticut. The historical evaluation (recorded on DPR523 A & B survey forms) states that, “The Rockwell House is eligible for listing in the Carmel Inventory under Criterion Three (Architecture) because it was designed and built by Michael J. Murphy, a builder-designer who is recognized as significant in Carmel’s Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(1)). In addition, it is a good example of the Craftsman style which characterizes Carmel’s architectural legacy during the town’s formative years. Murphy is credited with laying the foundation of Carmel’s early Arts and Crafts aesthetic with his Craftsman houses. The Craftsman style is recognized as significant in the Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(3)). There is no photographic or archival evidence that can shed light on what the original grounds looked like. Sanborn Maps and personal observation indicate that what does remain is the sloping topography, the location of the driveway, the grapestake fence surrounding the perimeter of the property, and the location of the former brick patio on the east elevation. This patio space is considered a character- defining feature although the brick surface material dates to 1994. The survey form notes the following additions and alterations to the hardscape:

- **BP# 3488 (2/15/1960):** Construct stone steps to connect the “lookout” on the front elevation to the driveway.
- **BP# 94-130 (7/11/1994):** Replace garden walkways, driveway, and rear patio with brick.
- **BP# 02-150 (9/6/2002):** Add a metal railing along the stone steps from the “lookout” to the driveway. Retain the rough-cut masonry retaining walls that flank the driveway and the 1960s steps to the driveway.
- **BP# 18020 (1/17/2018):** Remove the existing stone walkways and replace with brick to match and reset existing brick walkways.

Character-Defining Features

A character-defining feature is an aspect of a building's design, construction, or detail that is representative of the building's function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing, materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Rockwell House is 1923.

For an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. There is only one landscape feature, the interior patio space, that is included as character-defining feature of the Rockwell House. It should be noted that the brick patio was removed during the current construction project, however the space is still intact.



Figure 1: View of the brick driveway, retaining walls, and staircase in 2022.

Phase Two Report

Landscape plans for the property were approved in 2023. The plans note that the footprint of the character-defining patio space was to remain unchanged (see Plan Sheet C3, dated March 2023 that states that the “existing patio to remain undisturbed). Following is a summary of the proposed landscape and hardscape project, as submitted in 2023:

1. Replace the brick driveway with two strips of impermeable pavers and mulch.

2. The south and north walkways to be replaced with permeable pavers and the west walkway to be replaced with mulch. The non-historic patio bricks to be replaced with sand-set, permeable brick pavers.
3. A paved window well and retaining wall to be added to the west elevation.
4. A new gate with stone pillars and grapestake fencing to be added as an access point from 12th Avenue.
5. New stone pillars to be added to the driveway entrance on San Antonio Street.
6. A paved window well enclosed by a landscape wall will be added to the front elevation.

An updated landscape plan has recently been submitted with more extensive improvements to the property. Following is a summary of the new landscape plans:

1. A 12-foot fireplace will be added to the rear brick patio area, along the east lot line. The fireplace will be faced with Carmel stone veneer and covered with a wood trellis. Planting beds will be added around the entire perimeter of the former, character-defining patio. The patio will be rebuilt using sand set brick paving. A brick soldier course will enclose the patio, which will change the former free form shape of the patio to a more formal rectangular shape.
2. Two seating areas will be added to the west (front) elevation of the property. One will be directly adjacent to the house and will replace the former window well paved area. This enlarged seating area will include a moveable gas fire pit. Down the hill and south of this seating area another small seating area will be constructed. This mulched area will be partially bordered by a dry stacked stone and boulder wall and will include a moveable gas fire pit.
3. The current pathways will be removed and reconfigured. The non-historic pathway materials that date to 2018 will be replaced with mulch.
4. Several retaining walls will be added to the property. Some will be faced with a Carmel stone veneer while others will be finished with stucco painted with an integral color.
5. A pergola will be added to the new gate on the south elevation. The gate is included in the 2023 plans and the pergola is a new feature.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Rockwell House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the completed work at the Rockwell House is reviewed below with respect to the *Rehabilitation Standards and Guidelines for a Building Site*. The applicable Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Rehabilitation is defined as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.” (36 CFR 67.2(b)). The applicable Standards for the proposed landscape plan include Standards Two, Nine and Ten.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be preserved.

The non-historic patio brick was removed and will be replaced by permeable brick pavers. The original patio was a free-form space edged by a few planters, as depicted in the topographical survey dated September 2022. The current plans proposed a rectangular space bordered by a brick soldier course. It is recommended that a less formal configuration be designed for the rear back patio and omit the soldier course. This will be more consistent with the more informal aesthetic of the Craftsman style.

The new onsite features such as the walkways, west elevation seating areas, Carmel stone retaining walls, rear patio Carmel stone fireplace, driveway, new 12th Avenue gate and gate pillars, the San Antonio Street driveway pillars, and pergolas are compatible with the historic character of the property.

The new onsite stucco retaining walls are not compatible with the Craftsman style aesthetic. It is recommended that the Carmel stone veneer is used for these retaining walls.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

The new rear patio fireplace will not destroy historic materials, features, and spatial relationships that characterize the property. The Carmel stone veneer, size, scale, and proportion of the fireplace appear compatible with the historic site.

The two west elevation seating areas will not destroy historic materials, features, and spatial relationships that characterize the property. Most of the materials used to construct these seating areas, which include mulch and the dry stacked stone boulder wall, are compatible and differentiated. The proposed stucco covered retaining wall which encloses the seating area adjacent to the west elevation of the house is not a compatible feature. A Carmel stone veneer is recommended for this retaining wall (see Standard Two).

Standard Ten

New additions and adjacent new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

New additions such as the rear patio fireplace, the two west elevation seating areas, the 12th Avenue gate, and driveway pillars can be removed without affecting the essential form and integrity of the property. It is recommended that no retaining walls, as shown in Plan Sheet L-1.0, should abut the walls of the historic house. One retaining wall abuts the house next to the new entry and the other extends west from the west elevation as part of the seating area enclosure. A small gap (1"-6") should separate the retaining walls from the house to ensure its integrity.

Conclusion

The proposed landscape plan will meet Standards Nine, Two and Ten if:

1. Carmel stone veneer is used on all the retaining walls;¹ and
2. If the rear patio is designed with a less formal footprint, like the original, and if the soldier course is omitted; and
3. No retaining walls should abut the house.

Respectfully Submitted,

Margaret E. Clovis

Margaret Clovis

¹ Note that since the retaining walls are new construction, the Carmel stone veneer should be differentiated from any original rough-cut Carmel stone, such as that used in the chimney.



Figure 1: Detail of pre-replacement walkway materials, 2018.



Figure 2: View of original rear patio.



Figure 3: View of original rear patio.



Figure 4: View of east lot line where new fireplace will be installed.



Holdren + Lietzke
Architecture

225 Cannery Row - Suite A - Monterey, CA 93940
Phone: (831) 649-6001

Hello Katherine:

Please accept the following letter as an adjunct description of the changes on the Ramos residence for which we are submitting a Design Application

1) replacement of synthetic roof shingle

While we had assumed the existing roof to be split wood shake during the Planning and Building review, upon subsequent inspection it proved to be an older synthetic shake in poor condition (see attached photos). The roof was replaced with a new synthetic shake (see photo) of a very similar lay, color, and texture.

2) rebuild of unreinforced masonry cantilever fireplace

While doing roof work, it was determined that the existing unreinforced firebox and chimney (brick, with a carmel stone veneer) had a dangerous sway east to west. The structural engineer investigated and determined that it was a safety hazard to remain (see attached letter) and required a new core structure. The fire box was reconstructed in accordance with current codes, making it slightly larger than the original. The existing Carmel stone was removed and, due to damage and not fitting the new concrete structure, was replaced with new Carmel stone in a similar lay.

3) replacement of failed windows and french doors

A number of existing windows and (2) french doors that were slated to be reused proved to be in very poor condition (see photos) with multiple leaks and warping. Of particular concern was the rot in some of the sticking, making replacement of glass (required by Code to be tempered in stairwell and doors) impossible. The best of the typical windows was maintained in the kitchen nook (SE corner) and still shows considerable damage (see photo) but was considered the best candidate for maintenance. Windows were replaced like-for-like, with the exception being the unit adjacent to the front door (SW corner) wherein sticking was added to create continuity with the dominant historical break-up of all other windows on the elevations viewable from the public right of way.



Holdren + Lietzke
Architecture

4) Replacement of shingles and horizontal siding

The existing shingles were found to be a mix of cedar and redwood installed at various times as the originals presumably rotted out. We replaced like to like.

The lap siding on the lower, also likely not original, was not salvageable due to changes in location and size of windows between old and new.

The existing windows that were removed have been maintained in storage and are available for review .

I look forward to answering questions you, or the historian, might have.

Thank you,

Craig Holdren
Holdren-Lietzke Architecture

Original Synthetic Roof (Pic #1)



Original Synthetic Roof (Pic#2)





Holdren + Lietzke
Architecture

Chimney Stone



Existing Window Nook



SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES
Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Source: U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington, D.C., 2017.



CITY OF CARMEL-BY-THE-SEA
Historic Resources Board
Staff Report

November 17, 2025
PUBLIC HEARINGS

TO: Historic Resources Board Members
SUBMITTED BY: Jacob Olander, Assistant Planner
SUBJECT: **HE 25065 (Pine Terrace HOA):** Consideration of the removal of the historic "Pine Terrace Apartments" from the Carmel Inventory of Historic Resources located at the southwest corner of Mission Street and 3rd Avenues in the Residential and Limited Commercial (RC) District. APN: 010-391-020-000

RECOMMENDATION:

Staff recommends the Historic Resource Board adopt a Resolution (Attachment 1):

1. Finding that the denial of the removal of a property from the Carmel Historic Inventory is a not a project as defined in Public Resources Code Section 21065 and CEQA Guidelines Section 15378; and
2. Denying the request for the removal of the "Pine Terrace Apartments" condominium from the Carmel Historic Inventory. The "Pine Terrace Apartments" condominium is located at SW corner of Mission and 3rd Avenue in the Residential and Limited Commercial (RC) Zoning District. APN: 010-391-020-000

BACKGROUND / SUMMARY:

EXECUTIVE SUMMARY

The applicant is requesting the "Pine Terrace Apartments" condominium be removed from the Carmel Historic Inventory due to a loss of integrity.

BACKGROUND/SUMMARY

The "Pine Terrace Apartments" condominium was constructed in 1961 and is comprised of four buildings located on a through lot between Mission and Camino Del Monte. The complex is comprised of 19 privately owned condos on a wooded lot with terraced landscaping.

In 2024, City-contracted historic consultant, Margaret Clovis, produced a preliminary historic evaluation for the “Pine Terrace Apartments” condominium and determined that an intensive survey was needed to determine historic significance. The applicant for the project that triggered the historic evaluation decided to withdraw their project and not to proceed with the intensive survey for the “Pine Terrace Apartments” condominium.

In March of 2025, the “Pine Terrace Apartments” Homeowners’ Association submitted a historic evaluation application to proceed with the intensive survey. The “Pine Terrace Apartments” condominium was found eligible for listing in the Carmel Historic Inventory as significant under California Register Criterion Three in the area of architecture as a good example of a Postwar Modern multi-family residential complex and because it was designed by George Wilcox, who is recognized as significant in the Carmel’s Historic Context Statement.

On September 16, 2025, the “Pine Terrace Apartments” Homeowners’ Association contracted a qualified professional, Kent Seavey, to review the DPR 523 form created by Ms. Clovis, reevaluating the property for eligibility for listing on the Carmel Historic Inventory. The Seavey letter states that the property should be reconsidered and removed from the inventory due to a loss of integrity.

STAFF ANALYSIS

Carmel Municipal Code (CMC) Section 17.32.070.D Removal of Resources from the Inventory outlines the process for property owners to request a property to be removed from the Carmel Historic Inventory. Property owners need to apply for the property to be removed from the Carmel Historic Inventory and demonstrate with substantial evidence that the property is not a historic resource. CMC Section 17.32.070.D.2 outlines the required substantial evidence,

“a. An intensive survey prepared by a qualified professional under contract to the City re-evaluating whether the property is eligible for the Carmel Inventory. If the new intensive survey provides substantial evidence that the property does not meet the historic resource criteria and recommends removal from the inventory, the survey shall document why prior survey documentation affirming that the property met the criteria for inclusion in the inventory was inaccurate or inappropriate or otherwise is no longer valid.

b. A finding supported by substantial evidence that any loss of integrity, from the level of integrity documented in prior survey(s), was not the result of unapproved alterations, neglect or property nuisance as established in CMC 15.57.010. If any documented losses of integrity are found to be due to unapproved alterations, neglect or property nuisance, the property owner shall be subject to the enforcement actions of this chapter.”

The property was determined to be eligible for listing on Carmel’s Historic Inventory in March of 2025 and therefore an additional DPR 523 form was not created to reevaluate the property. The applicant provided the Kent Seavey letter to city staff on November

4th which did not provide staff enough time for a peer review of the letter by Ms. Clovis. The letter from Mr. Seavey did not provide substantial evidence that the DPR 523 form created by Ms. Clovis in March was inaccurate or inappropriate. Additionally, it did not provide substantial evidence that there has been any loss of integrity since the DPR 523 form was created.

DPR 523 Form:

In the DPR 523 form created by Ms. Clovis, the character defining features for the “Pine Terrace Apartment” are listed and include the following:

- Multi-story massing, compound plans, and basement garage (Building A).
- Hipped roof system with bubble skylights (Building A).
- Stucco wall cladding.
- Wood balconies that face the ocean.
- Original fenestration including “boxed” windows and sliding glass doors.
- Buildings set within terraced gardens.
- Hardscape features including retaining walls and pathways.

Additionally, the DPR 523 form outlined the criteria reviewed for retention of integrity and how the “Pine Terrace Apartments” retains integrity. A summary of the integrity analysis is provided below.

- **Location:** The Pine Terrace Apartment complex is still in its original location.
- **Design:** The Pine Terrace Apartment complex retains its original design such as the building shapes, roof systems, balconies, and fenestration.
- **Setting:** The Pine Terrace Apartment complex is still in its original setting. The apartment buildings are situated among terraced gardens , which afford each unit an ocean view.
- **Materials:** The Pine Terrace Apartment complex has retained the majority of its materials such as the stucco siding, and wood balconies. The only change is the addition of the Carmel stone veneer to the entry wall on Building A, which was formerly redwood planks.
- **Workmanship:** The Pine Terrace Apartments retains its workmanship which is represented by such details as the balcony railing pattern and the “boxed” windows.
- **Feeling:** The Pine Terrace Apartment complex retains the physical features that convey its historic character, i.e., a Postwar Modern apartment complex in Carmel.
- **Association:** This aspect of integrity is not applicable because the complex is not eligible under California Register Criteria One and Two.

The DPR 523 form lists the building permits on file that the city has issued for work on the exterior of the “Pine Terrace Apartments” since 1986. The list is also provided below.

1. BP# 86-60 (3/26/1986): Reroof
2. BP# 87-131 (7/6/1987): Reroof
3. BP# 89-157 (7/26/1989): Dry rot repair.
4. BP# 92-114 (7/9/1992): Foundation repair.
5. BP# 011-214 (11/28/2001): Reroof
6. BP# 06-14R (1/31/2006): Repairs to posts and beams, main entrance.
7. DS06-17 (11/2/2006): Add stone veneer, guard rail repairs, paint change, 6 new doors (Bldg. A).
8. BP# 11-75C (4/29/2011): Reroof
9. BP# 12-71R (4/27/2012): Reroof
10. BP# 160183 (6/10/2016): Add bay window (unit A3).
11. BP# 170172 (7/26/2017): Replace water lines in parking garage.
12. BP# 190098 (3/21/2019): Add solar to roof.

As stated in the DPR 523 form, the most significant alteration is the front wall change from vertical redwood plans to a Carmel stone veneer in 2006. Ms. Clovis confirmed that if the redwood siding at the front of Building A was still intact that it would be a character defining feature, but felt that the property still retained integrity despite the replacement with the Carmel stone veneer. The only significant change to character defining features was the added bay window for unit A3. The property still maintains the character defining roof and building form, location, much of the original materials, the workmanship, design, and historic character as a Postwar Modern apartment complex.

Seavey Report:

The report provided by Kent Seavey indicates that many changes that were considered minor in the Ms. Clovis's DPR 523 form are significant changes to the craftsmanship and material integrity of the building. The report lists changes, such as the reroof from wood shingles to composite shingles, addition of wood siding on Building D, changes to window walls at rear elevations, repainting, landscaping changes, and paving changes have eroded the integrity of the "Pine Terrace Apartments". The report concludes, "There is no doubt that George Willox was an important designer in the Carmel area. As noted above, to be eligible as his work, the complex would need to display integrity to the 1961 period of its construction. It is hard to understand how the Inventory listing DPR523 overlooked most of the multiple changes to the original character defining materials, craftsmanship, decorative details and various aspects of the site & environmental components, or determined their insignificance."

Public Comments:

Staff received a letter from residents of the "Pine Terrace Apartments" in opposition to removing the property from Carmel's Historic Inventory. Charles Najarian and Arlene Ichien have been in contact with staff for the past several months expressing concerns about the Homeowners' Association application to have the "Pine Terrace Apartments" condominium removed from Carmel's Historic Inventory. They have stated they concur with the DPR 523 form and disagree with the Homeowners' Associations request to

have the property removed from the inventory.

Staff Analysis:

Staff concurs with Ms. Clovis’ analysis and conclusion that the “Pine Terrace Apartments” is eligible for listing on the Carmel Historic Inventory and that its integrity has been retained. The changes listed in the Seavey report include standard maintenance and repair that are expected on any property . Replacing windows, doors, and roof in kind is consistent with the Secretary of Interior Standards when such materials are beyond repair. The addition of the stone veneer and bay window have not detracted from the overall character of the property and are reversible thereby not warranting exclusion from the Carmel Inventory. Further, a significant number of character defining features have been retained . As stated in the Seavey Report and the DPR 523 form, the property still reflects the Postwar Modern design. The reports by both professionals disagree over whether the property has retained integrity due to changes in material and craftsmanship.

The Carmel Municipal Code Section 17.32.070.D.2 states that in order for a property to be removed from the Carmel’s Historic Inventory there must be substantial evidence that the property is not a historic resource. Staff recommends the Historic Resource Board proceed with one of the two options listed below for the “Pine Terrace Apartments” condominium.

Option 1: If the Historic Resource Board determines that there is not substantial evidence that the property is not a historic resource and that the property retains integrity, deny the request to remove the “Pine Terrace Apartments” from Carmel’s Historic Inventory.

Option 2: If the Historic Resource Board determines that more information is needed, they can request that a city contracted qualified professional peer-reviews the letter from Mr. Seavey regarding the subject site.

Environmental Review: Staff recommends that the removal of the subject property from the Carmel Inventory be found to be “not a project” pursuant to section 15378 of the CEQA Guidelines. Listing the subject property on the Carmel Inventory does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment.

FISCAL IMPACT:

ATTACHMENTS:

- 1. Attachment 1 - Resolution
- 2. Attachment 2 - Pine Terrace DPR
- 3. Attachment 3 - Seavey Report
- 4. Attachment 4 - Public Correspondence

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

HISTORIC RESOURCES BOARD RESOLUTION NO. 2025-XXX-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA FINDING, PURSUANT TO CEQA REGULATIONS, THE APPLICATION IS “NOT A PROJECT” AS DEFINED IN PUBLIC RESOURCES CODE SECTION 21065 AND SECTION 15378 OF THE CEQA GUIDELINES AND DENYING THE REQUEST FOR THE REMOVAL OF THE “PINE TERRACE APARTMENTS” FROM THE CARMEL HISTORIC INVENTORY. THE “PINE TERRACE APARTMENTS” ARE LOCATED ON THE SOUTHWEST CORNER OF MISSION STREET AND 3RD AVENUE IN THE RESIDENTIAL AND LIMITED COMMERCIAL (RC) DISTRICT. APN: 010-391-020-000

WHEREAS, on March 20, 2025, David Bowie, (“Applicant”) submitted a Historic Evaluation application “HE 25065 (Pine Terrace HOA)” for a Phase 1 Intensive Review for the property located at the southwest corner of Mission Street and 3rd Avenue, in the Residential and Limited Commercial (RC) Zoning District (Block 35, Lot 8, 9); and

WHEREAS, in accordance with the City’s Historic Preservation Ordinance (CMC 17.32), upon receipt of a Historic Evaluation application, an initial assessment of historic significance shall be conducted to determine whether the property may have historic resource potential sufficient to warrant conducting an intensive survey (CMC 17.42.060.B); and

WHEREAS, in accordance with CMC 17.32.060.B, if a property appears to meet the criteria for the inventory or, if based on the initial assessment, a definitive determination of eligibility or ineligibility cannot be made, a qualified professional under contract to the City must prepare an intensive survey of the property; and

WHEREAS, on June 21, 2024, Paul & Maryellen Ahlborn submitted an application for the replacement of windows and doors on their property; and

WHEREAS, on July 18, 2024, Paul & Maryellen Ahlborn submitted an application for a historic evaluation of the subject property at the direction of City staff; and

WHEREAS, on August 8, 2024, Paul & Maryellen Ahlborn withdrew their historic evaluation application after the determination was made that an intensive survey was required to determine the historic significance of the subject property; and

WHEREAS, on March 20, 2025, the applicant submitted an application to continue the historic evaluation process and proceed with the intensive survey to determine eligibility for the Carmel Historic Inventory; and

WHEREAS, a qualified professional under contract with the City, Margaret Clovis, completed a Phase 1 Intensive Review on a DPR 523A Form and concluded that the “Pine Terrace Apartments” was eligible for listing in the Carmel Historic Inventory as “[t]he Pine Terrace Apartment complex represents the theme of Architectural Development, it retains substantial integrity, it is over 50 years old, and it meets California Register Criterion Three on the local level.”; and

WHEREAS, in accordance with CMC 17.32.070.A, properties determined to be eligible by an administrative determination, or by the Historic Resources Board on appeal, shall become part of the inventory upon completion of an inventory form documenting the resource and issuance of an administrative determination finding by the Department or adoption of a finding by the Board that the property meets the criteria for historic resources; and

WHEREAS, the applicant disagrees with the conclusion that the building is eligible for the Carmel Historic Inventory and has requested that the Historic Resources Board consider removing the “Pine Terrace Apartments” from the Carmel Historic Inventory; and

WHEREAS, Carmel Municipal Code (CMC) Section 17.32.070.D.2 states, “An historic resource in the Carmel Inventory shall be presumed historically significant and shall not be removed unless substantial evidence demonstrates that it is not an historic resource.”; and

WHEREAS, on or before November 7, 2025, the Applicant posted the public notice on the project site, hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site, and notice was featured in the Pine Cone indicating the date and time of the public hearing; and

WHEREAS, on or before November 14, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on November 17, 2025, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the proposal, including without limitation, the information provided to the Board by City staff and through public testimony on the proposal; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Board at the hearing including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgement to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, et seq., the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require the review of certain projects for environmental impacts and preparation of environmental documents; and

WHEREAS, denying the request for removal of the subject property from Carmel's Historic Inventory is "not a project" pursuant to section 15378 of the CEQA Guidelines. Denying the removal of the subject property from Carmel's Historic Inventory does not grant any permits or entitlements that would result in a direct or indirect physical change in the environment; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW THEREFORE, BE IT RESOLVED, that the Historic Resources Board FINDS retaining the property on the Carmel Historic Inventory is a not a project under CEQA as defined in Public Resources Code Section 21065 and CEQA Guidelines Section 15378; and DENIES the request for the removal of the "Pine Terrace Apartments" condominium from Carmel's Historic Inventory. The "Pine Terrace Apartments" condominium is located on the southwest corner of Mission Street and 3rd Avenue in the Residential and Limited Commercial (RC) District. APN: 010-391-020-000.

PASSED, APPROVED AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA THIS 17th DAY OF NOVEMBER 2025, BY THE FOLLOWING VOTE:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Jordan Chroman
Chair

Shelby Gorman
Historic Resources Board Secretary

State of California -- The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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*Resource Name or #: (Assigned by recorder) Pine Terrace Apartments

P1. Other Identifier: Pine Terrace Apartments

*P2. Location: Not for Publication Unrestricted *a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary)

*b. USGS 7.5' Quad Monterey Date 2012 T ; R ; ¼ of ¼ of Sec ; Mount Diablo B.M.

c. Address SWC Mission and 3rd Ave. City Carmel by the Sea Zip 93921

d. UTM: (Give more than one for large and/or linear resources) Zone ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN 010-391-001-020; Blk. 35, Lots 1-9

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Built in 1961 (BP# 3619) Pine Terrace is a 19-unit apartment complex located at the northwest corner of Mission and Third Avenue. The complex includes four buildings situated on a wooded lot that slopes downhill towards Camino del Monte. Following is a description of each building:

Building A

Building A is a 3711 sq. ft. wood frame building that rests on a reinforced concrete basement garage. The three-story building has an elevator, 2 two-bedroom apartments and 6 one-bedroom apartments. The roof system is composed of three hipped roofs with composition shingles connected by two flat built-up roofs. A chimney is located on the south elevation (buildings A, B, and C have chimneys on their south elevations). Exterior walls are covered with stucco and the original windows were aluminum (some owners have installed new windows in the original openings). A three-story Carmel stone wall with the name of the complex is centrally located on the east (front) elevation. (continued p. 3)

*P3b. Resource Attributes: (List attributes and codes) HP3, Multiple Family Property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Front Elevation, 04/2025

*P6. Date Constructed/Age and

Sources: 1961 Historic

Prehistoric Both

Bldg. Permit # 3619

*P7. Owner and Address:

Multiple Owners

SWC Mission & 3rd Ave.

Carmel, CA. 93921

*P8. Recorded by: (Name, affiliation, and address)

Meg Clovis

14024 Reservation Rd.

Salinas, CA 93908

*P9. Date Recorded: 04/2025

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (cite survey report and other sources, or enter "none.") NONE

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

***NRHP Status Code**

***Resource Name or #** (Assigned by recorder) Pine Terrace Apartments

- B1. Historic Name: Pine Terrace Apartments
- B2. Common Name: Pine Terrace Apartments
- B3. Original Use: Co-op Apartments
- B4. Present Use: Co-op Apartments

***B5. Architectural Style:** Postwar Modern

***B6. Construction History:** (Construction date, alteration, and date of alterations) BP# 3619 Construct 4 apartment buildings; alterations listed on p.

***B7. Moved?** No Yes Unknown **Date:** **Original Location:**

***B8. Related Features:** Terraced gardens

B9a. Designer: George Willox **b. Builder:** Andy LaMar

***B10. Significance:** Theme: Architectural Development **Area** Carmel by the Sea

Period of Significance: 1961 **Property Type** Building **Applicable Criteria:** CR 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Address integrity.)

On October 27, 1960, the Carmel Pine Cone announced that local developer Havasco of Carmel, Inc. was granted a permit to build the City's first cooperative apartment complex. Partners in Havasco included J.O. Handley, the owner of Carmel Building Supply; and Robert Connell and Anthony Vasconcellos, owners of the Carmel Glass Company. The 19-unit, luxury apartment complex was built on a wooded hillside at the northwest corner of Mission Street and Third Avenue. The one- and two-bedroom apartments were constructed around terraced gardens. Each apartment had a seven-foot-wide balcony facing the ocean. Apartments were sold from \$26,500 to \$48,000, and twelve units were sold prior to construction. The complex was operated as a stock cooperative. Owners purchased residential units by buying a share of the corporation. Today the corporation is known as the Pine Terrace Management Corporation.

Architect George Willox designed the Pine Terrace complex. George Legge Willox (1903-1968) was born in Glasgow, Scotland. His family moved to Canada when he was six years old. He graduated from the University of Michigan with a degree in architecture. Willox moved to Los Angeles where he worked for 20th Century Fox as a structural engineer. Between 1941 and 1944 he worked at Pearl Harbor as a structural engineer and architect for the Navy. In 1946 Willox moved to Carmel and joined Robert Stanton's architectural firm as head designer. In 1950 he opened his own architectural firm with offices in the El Paseo building. Willox designed numerous commercial and residential (cont. p. 9)

B11. Additional Resource Attributes (List attributes and codes):

***B12. References:**

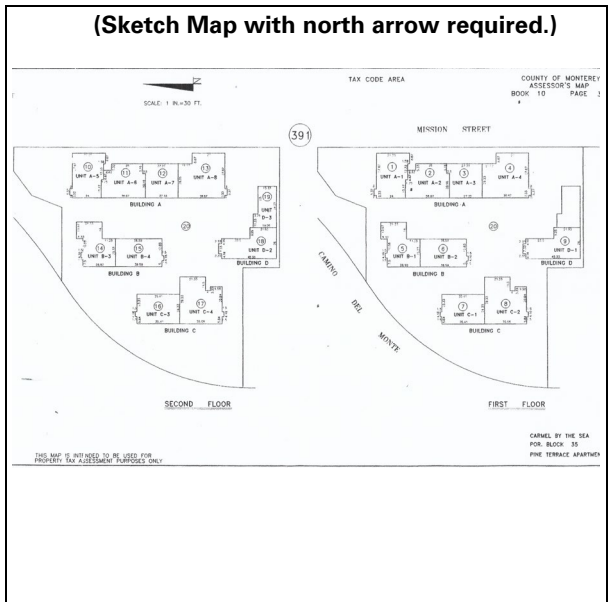
- Carmel Historic Context Statement (2025)
- Historic Preservation Ordinance
- Building File, Carmel Planning Dept.
- National Register Bulletin 15
- Willox, George, Obit. *Carmel Pine Cone*. 8/29/1968.
- Carmel Pine Cone, 10/27/1960, 1/12/1961.

B13. Remarks

***B14. Evaluator:** Meg Clovis

***Date of Evaluation:** 04/2025

(This space reserved for official comments.)



CONTINUATION SHEET

P3a. Description (continued):

The veneer of Carmel stone was installed in 2006 and covered the original wall of vertical redwood boards. A covered walkway supported by plain square posts runs the length of the second floor. The porch railing has two parts. The lower section has closely set vertical slats. The slats are topped by a narrow strip of vertical wood trim. Exterior stairs from the street level to the second story are located at the southeast corner. Two roof cut-outs along the walkway are covered with bubble skylights. There are two access points to the basement garage – one on the south elevation and one on the north elevation.



Figure 1: Building A looking northwest with view of “boxed” windows.

The balconies on the west elevation are accessed by sliding glass doors. Wood partitions divide the balconies between units. The tripartite casement “boxed” windows on the south elevation project from the wall plane. This type of “boxed” window is found throughout the complex. One window on the west elevation (unit A3) was converted into a bay window in 2016.



Figure 2: West elevation of Building A.

Building B

A ramp from a walkway behind Building A leads to Building B which is a 1927 sq. ft. two-story building with 4 one-bedroom units, two laundry rooms, and tenant storage areas. The compound plan has a hipped roof system with composition shingles. Exterior walls have stucco siding. A covered walkway on the east elevation has railings that match those in Building A. Fenestration matches Building A as well, including the "boxed windows that project from the wall plane.



Figure 3: East elevation of Building B.

CONTINUATION SHEET

Building C

Building C is a 2340 sq. ft. two-story building with a compound plan and hipped roof system. Building C has 1 two-bedroom unit and 3 one-bedroom units. There is a laundry room and tenant storage areas. Building C is situated below Building B and is the only building in the complex painted green. Originally the entire complex was painted green but was changed to the current color palette in 2006. A resident in Building C objected to the color change and Building C remained green. Like other buildings in the complex, Building C has stucco siding and the same balcony railings as the other buildings within the complex. Building C is the only building where the lower floor has patios on the west elevation rather than balconies. The west elevation of Building C has balconies on the upper level.



Figure 4: Front elevation of Building C.



Figure 5: Rear elevation of Building C.

Building D

Building D is situated to the southwest of Building A. It is a two-level, 1713 sq. ft. building with an L-shaped plan, a cross-hip roof covered with composition shingles, and stucco siding. Building D has 3 one-bedroom units, a laundry room, and tenant storage area. Like the other buildings in the complex, this building has the same balcony railings. The chimney for this building is located on the east elevation.



Figure 6: View of Building D from Mission St.



Figure 7: View of Building D balconies, south elevation.

CONTINUATION SHEET

Landscaping

The four buildings within the complex are situated within lush gardens terraced with low concrete walls. Mature trees, shrubs, and other landscape plants border the pathways and wood boardwalks that connect the buildings. In 2007 new retaining walls were built along the front elevation and two Carmel stone columns were constructed that frame the south driveway. In 2010 the south driveway was repaved with textured concrete.



Figure 8: View of garden path looking east towards Building A.



Figure 9: View of garden near Building C.

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*Resource Name or # Pine Terrace Apartments

*Recorded by Meg Clovis

*Date 04/2025

Continuation Update

Character-Defining Features

Character refers to all the visual aspects and physical features that comprise the appearance of a historic building. Character-defining features include the overall shape of the building, its materials, craftsmanship, decorative details, and various aspects of the site and environment. The Pine Terrace Apartment complex is a good example of the Postwar Modern style, as described in Carmel's Historic Context Statement (p. 130). The building's design reflects important Postwar Modern tenants, such as integrating indoor and outdoor spaces through the use of balconies, terraced view gardens, and orienting windows to views and light. The character-defining features include:

- Multi-story massing, compound plans, and basement garage (Building A).
- Hipped roof system with bubble skylights (Building A).
- Stucco wall cladding.
- Wood balconies that face the ocean.
- Original fenestration including "boxed" windows and sliding glass doors.
- Buildings set within terraced gardens.
- Hardscape features including retaining walls and pathways.

Integrity

Integrity is defined as the ability of a property to convey its significance. There are seven aspects of integrity including location, design, setting, materials, workmanship, feeling, and association. The Pine Terrace Apartment complex possesses the following aspects of integrity:

- **Location:** The Pine Terrace Apartment complex is still in its original location.
- **Design:** The Pine Terrace Apartment complex retains its original design such as the building shapes, roof systems, balconies, and fenestration.
- **Setting:** The Pine Terrace Apartment complex is still in its original setting. The apartment buildings are situated among terraced gardens, which afford each unit an ocean view.
- **Materials:** The Pine Terrace Apartment complex has retained the majority of its materials such as the stucco siding, and wood balconies. The only change is the addition of the Carmel stone veneer to the entry wall on Building A, which was formerly redwood planks.
- **Workmanship:** The Pine Terrace Apartments retains its workmanship which is represented by such details as the balcony railing pattern and the "boxed" windows.
- **Feeling:** The Pine Terrace Apartment complex retains the physical features that convey its historic character, i.e., a Postwar Modern apartment complex in Carmel.
- **Association:** this aspect of integrity is not applicable because the complex is not eligible under California Register Criteria One and Two.

There have been changes to the Pine Terrace Apartment complex over time. The majority of these changes have been focused on the interior remodeling of individual units. The most significant change was to the exterior wall on the front elevation of Building A. This wall, which was originally vertical redwood planks, was resurfaced with Carmel stone veneer in 2006 (BP# DS06-17). This alteration has not affected the complex to the extent that it can no longer convey its historic character.

The following are descriptions of the exterior alterations:

- a) BP# 86-60 (3/26/1986): Reroof
- b) BP# 87-131 (7/6/1987): Reroof

CONTINUATION SHEET

- c) BP# 89-157 (7/26/1989): Dry rot repair.
- d) BP# 92-114 (7/9/1992): Foundation repair.
- e) BP# 011-214 (11/28/2001): Reroof
- f) BP# 06-14R (1/31/2006): Repairs to posts and beams, main entrance.
- g) DS06-17 (11/2/2006): Add stone veneer, guard rail repairs, paint change, 6 new doors (Bldg. A).
- h) BP# 11-75C (4/29/2011): Reroof
- i) BP# 12-71R (4/27/2012): Reroof
- j) BP# 160183 (6/10/2016): Add bay window (unit A3).
- k) BP# 170172 (7/26/2017): Replace water lines in parking garage.
- l) BP# 190098 (3/21/2019): Add solar to roof.



Figure 10: View of altered wall, east elevation Building A.

B10. Significance (continued):

and residential buildings in Carmel. He is best known for designing the Church of the Wayfarer.

Between 1954 and 1968 Willox served on Carmel's Planning Commission. For four years he also served on the Monterey Peninsula Area Planning Commission. In 1962 he was appointed by Governor "Pat" Brown to the California State Planning Commission, where he served until his death. George Willox is listed in Carmel's Historic Context Statement as a notable architect.

RESIDENT APARTMENT HOUSE



PINE TERRACE APARTMENTS
GEORGE L. WILLOX A.I.A. ARCHITECT

PLANS HAVE BEEN PREPARED for the **Pine Terrace** Apartments, Resident-Ownership Apartment-Homes.

These Apartment-Homes are located at Mission and 3rd Streets in beautiful Carmel-by-the-Sea, and are situated to take full advantage of the breath taking natural vistas . . . they command a spectacular panoramic view of Point Lobos, Carmel Bay, and the Mountains.

Interested persons from out-of-town desiring further information may CALL COLLECT:

(This advertisement is not an offer to sell, or a solicitation to buy, but to inform of a proposal to build.)

August R. Nieto,
Builder's Representative
MA 4-3844 or MA 4-7051
Morehouse Realty
P. O. Drawer R, Carmel

Figure 11: Ad for Pine Terrace Apartment, Carmel Pine Cone, 1/12/1961.

Evaluation for Significance

Historians use National Register Bulletin 15¹ as a guide when evaluating a property's significance whether on a local, state, or national level. As a first step, to determine whether or not a property is significant, it must be evaluated within its historic context and the City of Carmel's Historic Context Statement² provides this context. The City of Carmel's Historic Preservation Ordinance (Section 17.32.040) reiterates the role of *National Register Bulletin 15* in the evaluation of historic resources.

¹ National Register Bulletin 15. *How to Apply the National Register Criteria for Evaluation*. National Park Service. 1998.

² *Historic Context Statement: Carmel-by-the-Sea*. Approved by the City Council January 2025.

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Adopted eligibility criteria are modeled on the California Register's four criteria with the addition of specific qualifications for Criterion Three (Section 17.32.040.D).

The Pine Terrace Apartment complex is not eligible under **Criterion One (Event/Association)** despite being the first cooperative apartment in Carmel. Apartment complexes have been a part of Carmel's residential fabric for many years, and there is no evidence in the historical record that the Pine Terrace Apartment complex distinguished itself in the history of multi-residential properties in Carmel.

For a property to be listed under **Criterion Two (Important Person)** it must be associated with a person who is considered significant within Carmel's historic context. An individual must have made contributions or played a role that can be justified as significant and the contributions of the individual must be compared to others who were active, prosperous, or influential in the same sphere of interest. There is no evidence in the historical record that the Havasco partners were more notable than any other local developers. The Pine Terrace Apartment complex is not eligible for listing in the Carmel Inventory of Historic Resources under Criterion Two.

A property is eligible under **Criterion Three (Design/Construction)** if it, "embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values." Carmel's Historic Preservation Ordinance includes additional qualifications for eligibility under Criterion Three. A historic resource eligible under California Register Criterion Three (per Carmel's Ordinance) should meet at least one of the following four criteria:

1. Have been designed and/or constructed by an architect, designer/builder, or contractor whose work has contributed to the unique sense of time and place recognized as significant in the Historic Context Statement.
The Pine Terrace Apartments were designed by George Willox, an architect who is recognized as significant in Carmel's Historic Context Statement. He was known for his work in the Postwar Modern style, which has contributed to Carmel's unique sense of time and place.
2. Have been designed and or constructed by a previously unrecognized architect, designer/builder, or contractor if there is substantial, factual evidence that the architect, designer/builder, or contractor contributed to one or more of the historic contexts of the City to an extent consistent with other architects, designer/builders or contractors identified within the Historic Context Statement.
George Willox is recognized as a significant architect in Carmel's Historic Context Statement. This criterion is not applicable.
3. Be a good example of an architectural style or type of construction recognized as significant in the Historic Context Statement.
The Pine Terrace Apartments are a good example of a Postwar Modern multi-family residential complex in Carmel. Postwar Modern buildings are recognized as significant in the Historic Context Statement.
4. Display a rare style or type for which special consideration should be given. Properties that display particularly rare architectural styles and vernacular/utilitarian types shall be given special consideration due to their particularly unusual qualities. Such rare examples, which contribute to

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*Resource Name or # Pine Terrace Apartments

*Recorded by Meg Clovis

*Date 04/2025

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diversity in the community, need not have been designed by known architects, designer/builders, or contractors. Rather, rare styles and types that contribute to Carmel's unique sense of time and place shall be deemed significant.

The Pine Terrace Apartments represent an architectural style that is recognized as significant in Carmel's Historic Context Statement. This criterion is not applicable.

California Register Criterion Three (Design/Construction) has three parts as follows:

A property is eligible if it 1) embodies the distinctive characteristics of a type, period, region, or method of construction, 2) represents the work of a master, or 3) possesses high artistic values.

The Pine Terrace Apartments meet the first part of California Register Criterion Three because the complex embodies the distinctive characteristics of the Postwar Modern style of architecture.

The Pine Terrace Apartments represent the work of a master, George Willox, and therefore the property meets the second part of Criterion Three.

The Pine Terrace Apartments do not meet the third part of Criterion Three because the complex does not possess high artistic value, and it does not express aesthetic ideals or design concepts.

The California Register's **Fourth Criterion (Information Potential)** is generally reserved for archeological sites. The Pine Terrace Apartments are located in Carmel's Archeological Overlay Zone, however there is no evidence in the historical record that the Pine Terrace Apartments meet the eligibility requirements for Criterion Four.

Summary

To be eligible for the Carmel Inventory a resource must represent a theme in the Context Statement, retain substantial integrity, be at least 50 years old, and meet at least one of the four criteria for listing in the California Register. The Pine Terrace Apartment complex represents the theme of Architectural Development, it retains substantial integrity, it is over 50 years old, and it meets California Register Criterion Three on the local level. In summary, Bulletin 15, the Carmel Historic Context Statement, the Carmel Historic Preservation Ordinance, and the historical record support the conclusion that the Pine Terrace Apartments are eligible for listing in the Carmel Inventory of Historic Resources.

KENT L. SEAVEY
310 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA 93950
(831) 375-8739

September 16, 2025

David J. Bowie
Bowie & Schaffer Attys. At Law
2255 Contra Costa Blvd. Ste. 305
Pleasant Hill, CA 94523

Dear Mr. Bowie:

Thank you for the opportunity to prepare a Peer Review of the DPR523 for the Pine Terrace Apartments in Carmel (APN# 010-391-001-020: Blk. 35 lots 1-9), prepared for the private residential complex, for your appeal for removal from the Carmel-By-The-Sea Historic Resources Inventory, a process addressed in CDC Section 17.32. 070.D.2 of the city building code. The four structure building complex was constructed in 1961 (BP#3619), & advertised locally as a “Resident Apartment House, with Apartments, Resident Ownership Apartments-Homes.” Since 2011 the original 19 living units in the complex have been individually owned, each having a separate Assessors Parcel number (see documentation provided). Only one Assessor’s Parcel # appears on the California DPR523 recording form by the City preservation consultant who did the study (APN# 010-391-001-020; Blk.35, Lots 1-9).

The complex is private property, & contains 19 units with individual Assessors parcel numbers. It is only partly visually accessible from Mission St., & not so from Camino Del Monte, immediately to its Southwest. The subject property was not recorded on any of three historic surveys done prior to its current listing.

Eligibility criteria for the subject property’s historic designation were based on the California Register’s four criteria, with the addition of specific qualifications for Criterion Three (Section 17.32.040 D). The “Pine Terrace Apartment complex” is not eligible under C/1 (event/Association). Nor under C/2 for association with important persons. However, under C/3, George Willox, the original designer is identified as a significant architect, & the” Pine Terrace Apartments” are identified as “a good example of Postwar Modern buildings” (see DPR523 provided).

Background

The building complex was recorded by a Carmel Historic Preservation Consultant in April, 2025, & listed in the Carmel Historic Resource Inventory. Some alterations to the original building fabric over time were noted in the documentation. However, for a property whose eligibility is based on architectural design at a particular moment in a designer’s career, such alterations can result in loss of design integrity, or diminish the representativeness of a property such that it is not eligible for historic listing.

Subject: Review of eligibility of a former mixed apartment complex, converted to 19 individually owned condominium apartments in 2011, is said to represent the theme of “Postwar Architectural Development”. The property was designed by George Willox, a significant Carmel architect, as a good example of a “Postwar Modern multi-family residential complex in Carmel”, a form recognized as significant in the 2025 Carmel Historic Context Statement, and qualifying for local historic listing under California Register Criterion Three.

Background

The Pine Terrace Apartments were recorded in April, 2025, by City preservation consultant, Meg Clovis in a 16 page DPR523, and found eligible for listing on the Carmel Historic Resource Inventory, as noted above, by master architect, George Willox, (also consistent with Criteria Three). The reviewer included a list of known changes to the 4 building complex (see documentation of known changes provided). While listed for architectural development, part of that eligibility requires the appearance of the property to reflect a particular moment in a designer’s career, in this instance its date of construction, 1961. Later alterations can result in a loss of design integrity, or significantly diminish the original character of a property to a degree that it is not eligible for listing.

These two considerations are reviewed below:

1. Does the property represent an important design by George Willox ?
2. Has the property maintained the historic integrity of its original Terrace Apartment’s 1961 design ?

First, a brief summary of the existing conditions at the property and its construction history is provided to inform analysis.

Description

The complex consists of the four buildings, as clearly described in the DPR 523 in question, arranged around a central landscaped feature identified, in plan, as a “common Area”, separating concrete walkways to each living unit. Parking for the owners is located under Bldg. A, the three-story main residential structure facing Mission Street. Bldgs. B, C & D step down slope West, towards Camino Del Monte, but because of the steep angle of the slope, are not easily visible from the roadway above, or below.

Predicated on the physical location of the complex the only public views of the buildings in question, (as they represent 19 separate private properties), would be from Mission Street, through the entrance to the auto court, whose current pavers were added c. 2007, or, from across the street, in front of the adjacent Trade Winds Inn motel.

According to a review of the 946 page Pine Terrace Property File (010123013000), <http://portal.laserfiche.com/Portal/DocView.aspx?id=13652&r-45db07c0&serchid=24056043-e9ac-4b83-ae06-e87bf59cdcbb>,

there have been consistent changes to the building complex, over time, including original wood roof shakes replaced, solar panels added, all windows (especially sliders) & doors changed (except for Bldg. D). Exterior Light fixtures have been added over time, and original paving changed. Deck rails have been modified to code requirements for height. Wood wall-cladding was added over stucco throughout Building C, and landscaping along Mission St reworked or replaced with terracing of planting areas, to include new concrete retaining walls.

Regarding Mission Street, as originally constructed in 1961 the upper units of the Pine Terrace Inn were painted beige, with black trim, and lower units green, with black trim. Some repainting occurred in 1993. There was considerable employment of redwood siding on bldgs. A & D prior to 2007. In that year the then Pine Terrace Homeowners Association applied to the city for a change to the original 1961/93 color scheme of the complex, and the addition of a partial Carmel Stone veneer on the facade, which was approved by the Carmel Design Review Board in February of 2007, DR 06-17 (Pine Terrace).

The Review Board determined that “the approved colors are consistent with the Carmel’s Commercial Design Guidelines, which encouraged the use of natural muted colors that blend with the natural surroundings and are compatible with neighboring buildings, such as the adjacent Trade Winds Inn.” It is the most recent change from the original 1961 visual appearance.

The Theme: As noted in the 2025 Historic Context Statement, “The Post War Modern Style was a favorite of builders following WWII.” The character defining features described for commercial properties of this type is limited to “rectangular plans”, and “wide expanses of glass within exposed structural framework.” The building form described as “An economic subtype of the American International Style’.

Analysis of Integrity

The analysis of integrity can be confusing. Under the guidance of the National Register of Historic Places, integrity is characterized by seven aspects: location, design, materials, workmanship, setting, feeling & association. These aspects may vary in importance but in the end a property must be recognizable to the period of its significance (in this instance 1961), and convey the reason(s) it is significant. A property either has integrity or if it does not, or it is not eligible for listing.

For the Pine Terrace Apartment complex to be recognizable as a good example of the Postwar Modern Style from its 1961 period of significance, it should retain the majority of its character defining features from that time, including the overall shape of the buildings, their materials, craftsmanship, decorative details and various aspects of the site & environment.

Location. As noted in the original DPR523, the subject property is still in its original location.

Design. While the complexes overall design reflects important Postwar Modern elements, like the integration of indoor and outdoor spaces, with the use of balconies, some terraced view gardens, and fenestration oriented to views and light, many of these features have been altered over time. The original four buildings that make up the complex, Bldgs. A through D retain their basic forms, as does the common area that extends from Mission to San Carlos Streets. Based on the character defining features identified in the current DPR523, the principal change occurring in the complex over time only includes the 2007 repainting, and replacement of redwood siding to Carmel Stone & signage on the Mission St. facade.

However, alterations over time have included exterior door and window changes on all buildings, except Bldg. D in 2006-2007. Most nature-facing fenestration, from balconies to exterior patios, and many sliding windows have been replaced by individual unit owners, including an angled bay, and one full, fixed bay window over time (see photos provided). All original exterior doors & windows were altered on Bldg. C between 2006-2024 (see photos provided), as well as resurfacing the stucco exterior walls with vertical flush redwood siding, painted green. The original wood shake roofing in the complex was replaced by composition shingles, and a solar system added, as well as skylights c. 2015 (see documentation provided).

Setting. The subject property is in its original setting, as noted in the DPR523. Landscaping has been modified over time from the reworking and grading off the North side of Bldg. C, to all landscaping along Mission St., reworked/replaced with terracing of planting areas including retaining concrete walls (c. 2007). It should be noted that all new pavers were added throughout the auto court, and common areas c. 2007.

Materials. The DPR523 for the subject property limits materials for the subject property to stucco siding and wood balconies, citing the only significant change to the 1961 appearance of the complex as the Carmel stone veneer on the entry wall on Building A. Some mention is made of the repainting over time, overall changes to the window walls of the rear elevations on all buildings, except Bldg. D. Wood facing over stuccoed walls & new windows & doors on Bldg. C, roofing change in the 1980s & paving changes., c. 2006-2007 are suggested to be insignificant.

Workmanship. The DPR523 again limits workmanship, “to such details as the balcony railing pattern and “boxed” windows. Please refer to the Materials section above for the extent of “workmanship” executed over time to modify the original 1961 appearance of the subject property.

Feeling. While the subject property does retain the physical features that convey its design character as a Postwar Modern apartment complex in Carmel. It is incorrect in stating “The majority of these changes have been focused on the interior remodeling of existing units”, with the 2006 (BP# DS06-17) facade signage veneer identified as the only significant change to the original complex. As a good example of the Postwar Modern Style from its 1960-61 period of significance, it should retain the majority of its character defining features from that period, However, the materials, & importantly its craftsmanship, decorative details of changes to the exteriors of its component buildings, over time. and various aspects of the site have all altered its original appearance significantly enough to preclude its listing an historic resource.

Association. As noted, this aspect of integrity is not applicable to this study.

The subject property was reviewed for historic listing in 2006, and found ineligible for historic designation. It was converted from an Apartment Complex to Condominium in 2011. The Pine Terrace Inn, its current title, has 19 private living units with Assessor’s Parcel Numbers, and individual owners.

The DPR523 for the subject property has been reviewed for significance, and evaluated within the context of the 2025 Carmel Historic Context Statement for the Carmel's Historic Resources Inventory under the Theme of Architectural Development. It is over 50 years of age, and also meets California Register Criterion Three, on the local level, as it may retain sufficient integrity, because the complex embodies the distinctive characteristics of the Postwar Modern style of architecture. The property also appears to meet the second part of Criterion Three as it is the work of Carmel architect, George Willox (1903-1968). That being said, the subject property does not meet the the third part of Criterion Three, because the complex does not possess any high artistic value, or express aesthetic ideals, but only its design concept as an early example of commercial architectural development.

For the Pine Terrace Inn to be readily recognizable as a product of construction technology it must display integrity of material and design and be recognizable to its original 1961 character defining features of that time. While the overall shape of the buildings remain, their original materials, craftsmanship, decorative details and various aspects of the site & environment, have evolved considerably

from its initial 1961 period of significance, it should retain the majority of its character-defining features, including the overall shape of the buildings, their materials, craftsmanship, decorative details and various aspects of the site & environment. This particularly true of exterior finishes, including the original wood shingle roofing (c. 2015) early exterior paint colors (1993 & 2007) extensive exterior lighting including in the common areas., landscaping changes over time, especially along Mission St (c. 2006-2007), fenestration modifications to numerous units, again over time, major exterior changes, with wood veneer on stuccoed walls, and doors & windows on Bldg. C, , New pavers on auto court and common areas of the complex, and of course the replacement of original redwood siding on the facade with a Carmel stone veneer (2007).(see documentation & photos provided).

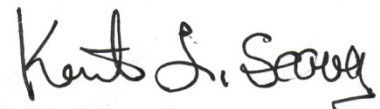
Overall this property appears to have lost enough of its original visual integrity as constructed in 1960-61, except for its basic physical plan, for which it is listed as as one of, or the first postwar apartment complexes in Carmel. The immediate neighboring visitor accommodating facilities, including the Trade winds Inn, Horizon Inn & Carmel Lodge, because of local Commercial Design Guidelines requirements of muted colors, tend to neutralize the street presence between the similar businesses.

Architect George Willox, who designed the original Pine Terrace Apartments basic floor plan in 1960-61, was known for his work in the Postwar Modern style, which meets the California Registers Criteria One. However, the number of such postwar visitor accommodating facility designs, employing similar components found in the Pine Terrace complex, became a common practice in Carmel over time, with several examples in close proximity to the subject property, including immediate neighbors, the Horizon Inn and Ocean View Lodge, and the Trade-winds Inn. Mr. Willox has been well recognized for his long and significant contributions to the protection of Carmel's unique character, through association with the Carmel Planning Commission, including such projects as the design work the Church of the Wayfarer and its public gardens at 7th & Lincoln.

Summary

There is no doubt that George Willox was an important designer in the Carmel area. As noted above, to be eligible as his work, the complex would need to display integrity to the 1961 period of its construction. It is hard to understand how the Inventory listing DPR523 overlooked most of the multiple changes to the original character defining materials, craftsmanship, decorative details and various aspects of the site & environmental components, or determined their insignificance. The fact that the current use is 19 privately owned living units, making the complex itself private property. As such any visual access is limited to viewing the property from a public right-of-way. Based on review of the 2025 DPR523, the listing of the property should be reconsidered.

Respectfully Submitted

A handwritten signature in black ink that reads "Kent J. Seavy". The signature is written in a cursive, slightly slanted style.

Permits Re: Pine Terrace Apartments-Mission between 3rd and 4th Carmel

Source: Property File 010123013000, (Pine Terrace) at this link:

<https://portal.laserfiche.com/Portal/DocView.aspx?id=13652&repo=r-45db07c0&searchid=24056043-e9ac-4b83-ae06-e87bf59cdcbb>

This source is 946 pages, 459MB. The document viewer provides a page number search in the upper left corner

BUILDING PERMITS FOR INDIVIDUAL UNITS

Cyndi Hodges D2, p.4 July 2017 #170172

JoAnne Bowie A8, p.5 July 2018. #180322

Sam Lucido Unit 6, p.15. July 2018 #180306 APN 010-391-007-000

Janet Ayres D3, p.38, October 2018 #180479

Carol Crandall A6, p.62, May 2019 #190068

Montgomery, Unit 5 p.74, April 2018. #180127

Gang, A3, p. 109, June 2016 #160183

Bland Solar, p.148, March 2029. #190098

David Bowie, No Unit, p. 196, October 2017. #170324 APN 010-391-013

Barron Collier, C3, p.202, February 2016. #160046

Norma Ferraiolo, A2, p.209, October 2015, #150303

WINDOWS - Barron Collier, C3, p.217, April 2017, #17166

George Willox Application for Permit p. 285 October 1960

ADDITIONAL PAGE REFERENCES

Aнды LaMarr Application for Permit, p.290 November 1960

Design Review - color change - 8/23/93 - p.867

Prior to 09/1993, north units were beige w black trim; south units green w black trim. Proposed chg to light grey/green for stucco and medium/dark green trim. p.868, color samples p.871

“Pine Terrace was built in 1960-1961 by Havsco of Carmel...” p. 681. So it was not old enough to be historic in 2006 - and found not to be historic on 2011.

Notice of Ineligibility (age, does not relate to historic themes, has no association w important events, people, architecture identified in the Historic Context Statement or that represent the historical/cultural evolution of Carmel-by-the-Sea) p. 508, dated 11/06/2006 (expires 11/06/2011) , APN 010-123-013, Lot 1, 3, 5, p. 508

Public Hearing, Conversion of Apartment Complex to Condominium - Notice Date 4/26/2011 - p. 511

Continued on next page

Driveway, A Bldg - 9/6/07 - p. 546

Driveway Conditions of Approval - p. 547

Exterior paint color callouts (yellow) - 98/3/07 - Hastings - p. 552

Split of APN into 19 separate APNS - p/562, 9/14/2001

Building Permit, Application, George Willox Architect, , p. 567, 10-26-60, for reinforced concrete wall, 8 apts, 8 parking spaces. p. 594 Planning Commission paperwork 10/26/1960 p.594ff

Building Permit, Application, Andy LaMarr, p. 568, Final Approval 1/10/1961, 19 apartment units, reinforced concrete and frame, Planning Commission Approval 11/23/1960, Shake roof, 19 parking spaces.

City Communication stating current zoning requires 28/29 parking spaces (1.5 per unit) p.572-574ff and denying sale of space between Johnson and Pfesiter, due to existing non-conformance of the complex and that the sale would increase the nonconformance

Dry Rot Repair, drains, deck replacements - Knowlton Construction - Permit applications and list of work done, 7/3/1989, p. 583ff

Willox Plan Check - p. 602ff

Install of 6 doors in Bldg A 10-10-2006 p.631, p.638 (door design)

Light design - exterior - Johnson Art Studio p.635ff

Substandard deck railings mentioned in code compliance complaint 1-08-2007, requires 36" high be installed p.693

Steven Sassoon engineering dwgs - begin p.794

George Willox Specifications for Construction Pine Terrace - p.801ff

Adding 2 parking spaces outside - legal req't - p.832ff

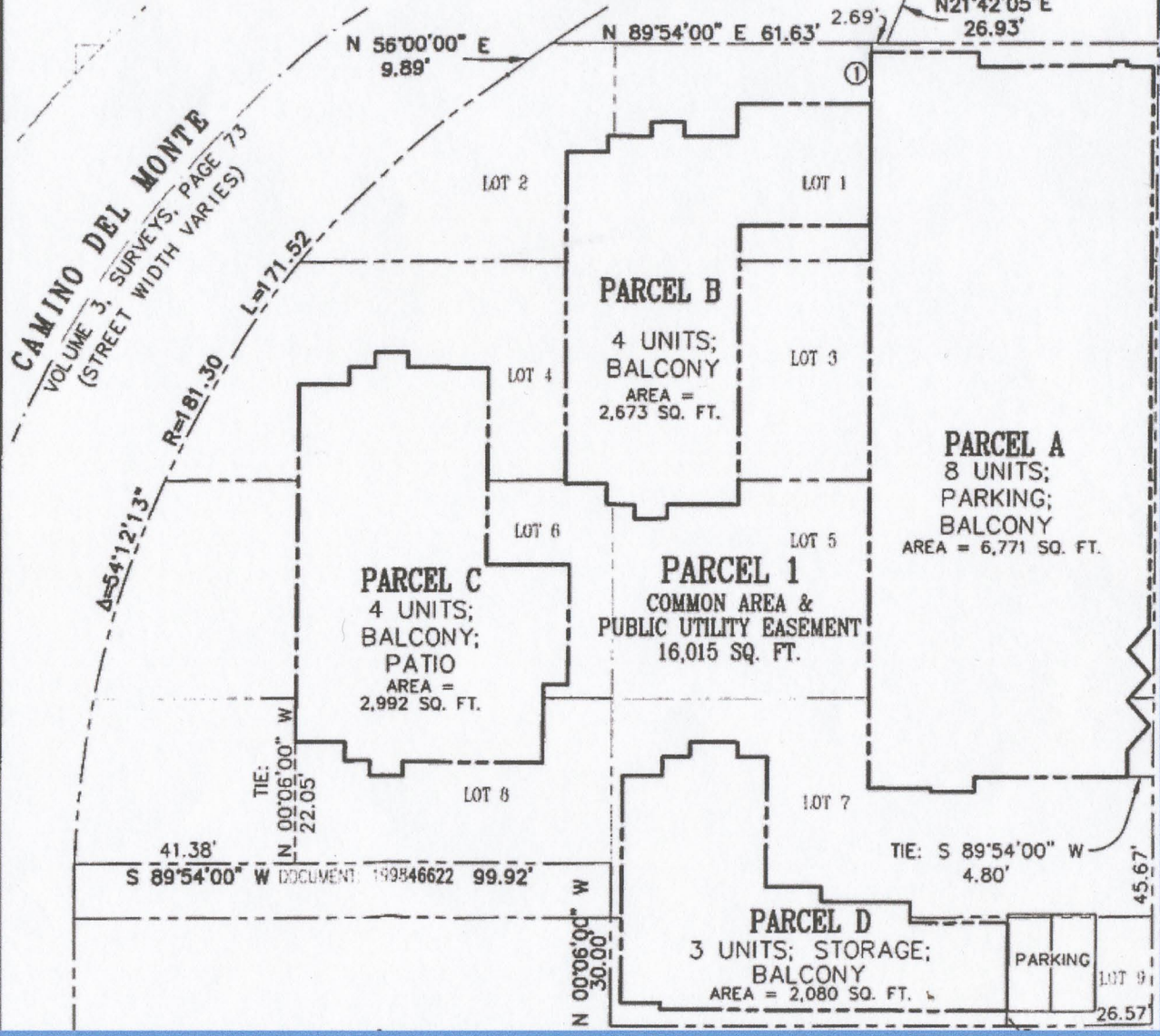
**CONDOMINIUM PLAN FOR
PINE TERRACE OF CARMEL**

CONDOMINIUM PLAN NOTES AND DEFINITIONS:

1. THIS CONDOMINIUM PROJECT IS COMPOSED OF A COMMON AREA AND 19 UNITS.
2. "COMMON AREA" MEANS AND REFERS TO THOSE PORTIONS OF THE PROPERTY, TO WHICH TITLE IS HELD BY ALL OF THE OWNERS IN COMMON, AND INCLUDES ALL LANDS AND IMPROVEMENTS NOT LOCATED WITHIN THE INDIVIDUAL CONDOMINIUM UNITS. THE COMMON AREA INCLUDES, WITHOUT LIMITATION: BEARING WALLS, COLUMNS, FIRE ESCAPES, FOUNDATIONS, GIRDERS, GARAGE OR PARKING AREA, LAND, STAIRS, SUBFLOORS, UNFINISHED FLOORS, PIPES, DUCTS, FLUES, CHUTES, CONDUITS, WIRES, AND OTHER UTILITY INSTALLATIONS WHEREVER LOCATED, EXCEPTING THE OUTLETS THEREOF WHEN LOCATED WITHIN THE UNIT. THE OWNER OF EACH UNIT SHALL OWN AN UNDIVIDED INTEREST IN THE COMMON AREA.
3. CERTAIN PORTIONS OF THE COMMON AREA AS SHOWN ON THIS CONDOMINIUM PLAN (KNOWN AS "EXCLUSIVE USE COMMON AREAS") ARE SET ASIDE AND ALLOCATED FOR THE EXCLUSIVE USE OF THE OWNER(S) AND OCCUPANT(S) OF THE UNIT TO WHICH THEY ARE ASSIGNED, AS FULLY DESCRIBED IN THE DECLARATION OF THE COVENANTS, CONDITIONS AND RESTRICTIONS.
4. "UNIT" MEANS THE ELEMENTS OF A CONDOMINIUM WHICH ARE NOT OWNED BY THE ASSOCIATION OR IN COMMON WITH THE OWNERS OF OTHER CONDOMINIUMS IN THE PROJECT. EACH UNIT IS A NUMBERED PARCEL AS SHOWN ON THIS CONDOMINIUM PLAN. THE BOUNDARIES OF EACH UNIT (AS DEFINED UNDER CALIFORNIA CIVIL CODE SECTION 1351(f)), ARE THE FINISHED INTERIOR SURFACES OF THE PERIMETER WALLS, FLOORS, CEILINGS, WINDOWS AND DOORS THEREOF, AND UNIT INCLUDES BOTH THE PORTIONS OF THE BUILDING SO DESCRIBED AND THE AIRSPACE SO ENCOMPASSED.
5. THE UNITS OF THIS PROJECT ARE UNITS A1-A8, B1-B4, C1-C4, AND D1-D3. WHENEVER REFERENCE IS MADE TO THESE UNITS, IT SHALL BE CONSTRUED THAT REFERENCE IS MADE TO THE UNIT AS A WHOLE AND TO EACH AND ALL OF ITS COMPONENT ELEMENTS.
6. THIS PLAN AND THE DIMENSIONS SHOWN HEREIN ARE INTENDED TO CONFORM TO CIVIL CODE SECTION 1351(e), WHICH REQUIRES A THREE-DIMENSIONAL DESCRIPTION OF THE PROJECT IN SUFFICIENT DETAIL TO IDENTIFY THE COMMON AREAS IN EACH SEPARATE INTEREST. THE DIMENSIONS SHOWN HEREON ARE NOT INTENDED TO BE SUFFICIENTLY ACCURATE TO USE FOR THE COMPUTATION OF FLOOR AREA OR AIRSPACE VOLUME IN ANY OR ALL OF THE UNITS.
7. THESE DIAGRAMMATIC PLANS INTENTIONALLY OMIT DETAILED INFORMATION OF INTERNAL PARTITIONING WITHIN INDIVIDUAL UNITS. LIKEWISE, SUCH DETAILS AS PROTRUSIONS OF VENTS, BEAMS, COLUMNS, WINDOW CASINGS, AND OTHER SUCH FEATURES ARE NOT INTENDED TO BE REFLECTED ON THIS PLAN.

SITE PLAN

CAMINO DEL MONTE
 VOLUME 3, SURVEYS, PAGE 73
 (STREET WIDTH VARIES)



Mission Street

SWC Mission and 3rd Ave, Carmel



Photo #1. Looking West down 3rd St. at subject property. note screening trees, Kent Seavey, Sept. 2025.



Photo #2. Looking NW at Bldg. A from Mission St., note c. 2007 Retaining walls & landscaping. Kent Seavey, Sept., 2025.



Photo #3. Looking SW from Mission St., Note c. 2007 paving changes, & c. 1980 Comp Roofing on Bldg D. Kent Seavey, Sept., 2025.

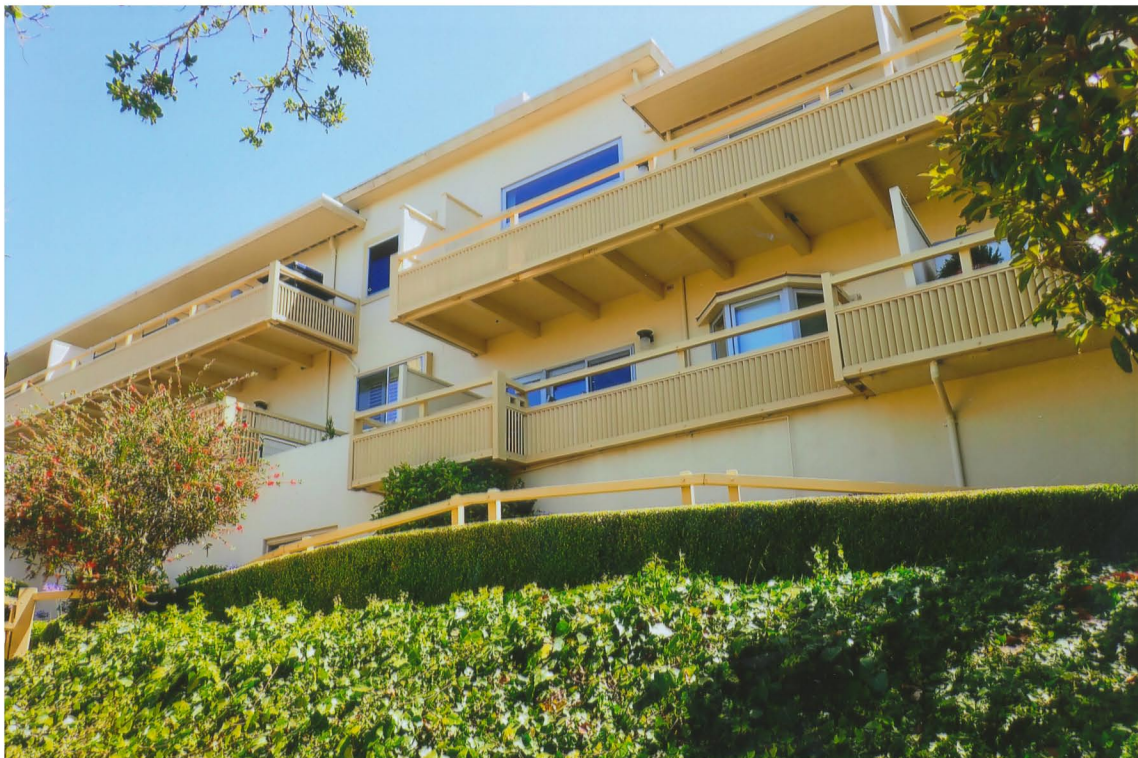


Photo #4. Looking West at post 2007 door on east side of Bldg. B, Unit B1, Kent Seavey, Sept., 2025.



Photo #5. Looking West at post 2007 door on east side of Bldg. B, Unit B2, Kent Seavey, Sept., 2025.



Photo #6. Looking NE at bay window type changes to Bldg. A, both flat-fixed & angled, Kent Seavey, Sept., 2005.



Photo #7. Looking at undated changes in paving at Bldg. C, such changes throughout complex, Kent. Seavey, Sept., 2025.



Photo #8. Looking SW at entry of Unit 1, Bldg. C, Note further changes in paving, Kent Seavey, Sept. 2025.



Photo #9. Looking SW at entry of Unit 2, Bldg. C, note flush wood veneer over stucco wall, Kent Seavey, Sept., 2025.



Photo #10. Looking North at entry of Unit 3, Bldg. C, note treatment of door, lighting & fenestration, K. Seavey, Sept, 2025.



Photo #11. Looking West at Unit 4, Bldg. C, note treatment of Door & lighting fixture, Kent Seavey, Sept., 2025.



Carmel-
by-the-Sea

Jacob Olander <jolander@ci.carmel.ca.us>

Pine Terrace Historic Designation Comments

Charles Najarian [REDACTED]
To: Jacob Olander <jolander@ci.carmel.ca.us>
Cc: mwaffle@ci.carmel.ca.us

Wed, Nov 12, 2025 at 3:49 PM

Jacob,
Please ensure the HRB receives our comments below concerning the appeal of the Pine Terrace historic designation scheduled from the HRB hearing on November 17th.
Sincerely,
Chuck Najarian

Dear Historic Recourses Board Members,

We are owners and full time residents at the Pine Terrace condominium complex. The purpose of these comments is to inform you that we strongly disagree with the efforts of the HOA Board to reverse the City's Historic Designation for Pine Terrace. Our disagreement includes, among other things, strong objections to the Board's use of HOA monies in an attempt to reverse the legitimate designation.

We view the Historic Designation as sound, protective, and highly beneficial to preserving the City's architectural heritage. We strongly disagree with the HOA Board's unfounded speculation that it could cause long-term adverse impacts to property owners. In reality, it would help ensure the Pine Terrace complex is not degraded by inappropriate decisions by the current and future HOA Boards.

After living in Pine Terrace for over a decade, we have come to appreciate the unique layout of the grounds, the architecture, and the quality of work. As such, unlike the current HOA Board, we appreciate the expertise and reputation of master architect George Willox. We want to preserve his historic work and reputation and, above all, avoid any actions that would degrade Pine Terrace's unique and historic properties by individuals, with or without architectural or other expertise, who think they know better than Mr. Willox.

We have reviewed the analysis by Meg Clovis, and we believe it to be accurate and straightforward. We, therefore, fully support the staff's conclusion. We have also reviewed, "Removal of Resources from the Inventory," pursuant to CMC Section 17.32.070.D, and see no valid basis to claim "loss of integrity."

We encourage you to reject the HOA's appeal and protect Pine Terrace for current and future generations.

Sincerely,
Chuck Najarian
Arlene Ichien



Sent from my iPad