



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD AGENDA

Historic Resources Board Members Jordan Chroman, Erik Dyar, Esther Goodhue, Katherine Gualtieri, and Bobbie Voris

All meetings are held in the City Council Chambers East Side of Monte Verde Street between Ocean and 7th Avenues

Regular Meeting
Monday, September 15, 2025
4:00 PM

TOUR - 3:30 PM
MEETING - 4:00 PM

HYBRID MEETING ATTENDANCE OPTIONS

This meeting will be held in person and via teleconference ("hybrid"). The public is welcome to attend the meeting in person or remotely via Zoom, however, the meeting will proceed as normal even if there are technical difficulties accessing Zoom. The City will do its best to resolve any technical issues as quickly as possible. To view or listen to the meeting from home, you may also watch the live stream on the City's YouTube page at: <https://www.youtube.com/@CityofCarmelbytheSea/streams>. To participate in the meeting via Zoom, copy and paste the link below into your browser.

<https://ci-carmel-ca-us.zoom.us/j/88188362744?pwd=9H2DI5GuqQ2eCddEodDJusxbLVYLhX.1>

To attend Zoom webinar via telephone, dial +1 669-444-9171. Webinar ID: 881 8836 2744. Passcode: 001916

HOW TO OFFER PUBLIC COMMENT

The public may give public comment at this meeting in person, or use the Zoom teleconference module, provided that there is access to Zoom during the meeting. Zoom comments will be taken after the in-person comments. The public can also email comments to sgorman@ci.carmel.ca.us. Comments must be received at least 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be made part of the record.

CALL TO ORDER AND ROLL CALL - TOUR

TOUR OF INSPECTION

The Board/Commission will meet and convene the public hearing at the first location listed below on the Tour of Inspection. The public is welcome to join the tour. The tour is intended only to give the Board/Commission an opportunity to view project sites scheduled for a public hearing later that day. No deliberations on the merits of projects will take place during the Tour of Inspection. Following completion of the tour, the Board/Commission will recess and return to the Council Chambers to reconvene the public hearing at 4:00 p.m., or as soon thereafter as possible.

- A. **DS 25240 (Ramos):** Northeast corner of San Antonio and 12th Avenue

CALL TO ORDER AND ROLL CALL - CHAMBERS

PLEDGE OF ALLEGIANCE

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Persons are not required to provide their names, however, it is helpful for speakers to state their names so they may be identified in the minutes of the meeting. Under the Brown Act, public comment for matters on the agenda must relate to that agenda item and public comments for matters not on the agenda must relate to the subject matter jurisdiction of this legislative body. If a member of the public attending the meeting remotely violates the Brown Act by failing to comply with these requirements of the Brown Act, then that speaker will be muted.

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Board/Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1) July 21, 2025 Regular Meeting Minutes
- 2) August 18, 2025 Regular Meeting Minutes

ORDERS OF BUSINESS

PUBLIC HEARINGS

- 3) **DS 25240 (Ramos):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study application, DS 25240 (Ramos), for after-the-fact revisions to a previous

approval (DS 23396) that include the removal of roof shingles, horizontal wood siding, wood shingle siding, wood windows, and a Carmel stone chimney, replaced with new at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) Zoning District and the Beach and Riparian Overlay District. APN 010-279-008-000

DIRECTOR'S REPORT

BOARD MEMBER ANNOUNCEMENTS

FUTURE AGENDA ITEMS

- 4) **Next Regular Meeting:** October 20, 2025

ADJOURNMENT

CORRESPONDENCE

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, Harrison Memorial Library, located on the NE corner of Ocean Avenue and Lincoln Street, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage (<http://www.ci.carmel.ca.us>) in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Historic Resources Board regarding any item on this agenda, received after the posting of the agenda will be available at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



**CITY OF CARMEL-BY-THE-SEA
Historic Resources Board
Staff Report**

**September 15, 2025
CONSENT AGENDA**

TO: Historic Resources Board Members
SUBMITTED BY: Shelby Gorman, Administrative Coordinator
SUBJECT: July 21, 2025 Regular Meeting Minutes

RECOMMENDATION:

BACKGROUND / SUMMARY:

FISCAL IMPACT:

ATTACHMENTS:

1. Historic Resources Board Minutes 07-21-25

**REGULAR MEETING
Monday, July 21, 2025**

TOUR 3:00 PM

MEETING 4:00 PM

CALL TO ORDER AND ROLL CALL – TOUR

The following Board Members were present for the tour: Erik Dyar, Esther Goodhue, Kathryn Gualtieri, Bobbie Voris, and Jordan Chroman

The following Board Members were absent: None

TOUR OF INSPECTION

Item A: **DS 25078 (Casanova All the Way LLC):** Northeast corner of Casanova Street and 13th Avenue

Item B: **DR 25112 & DR 25151 (Clark-Fairley):** San Carlos Street 3 northwest of 7th Avenue

Item C: **DR 24087 (Esperanza Carmel Commercial, LLC):** Lincoln Street 3 southwest of Ocean Avenue

CALL TO ORDER AND ROLL CALL – CHAMBERS

The following Board Members were present: Erik Dyar, Esther Goodhue, Kathryn Gualtieri, Bobbie Voris, and Jordan Chroman

The following Board Members were absent: None

PLEDGE OF ALLEGIANCE

PUBLIC APPEARANCES

None

ANNOUNCEMENTS

Chair Chroman welcomed Bobbie Voris to the Board.

Board Member Dyar informed the Board of the upcoming home tour.

CONSENT AGENDA

Item 1: May 19, 2025 Regular Meeting Minutes

It was moved by Board Member Gualtieri and seconded by Board Member Dyar to adopt the Consent Agenda.

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Goodhue, Gualtieri, Pomeroy, Chroman
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): None

PUBLIC HEARINGS

Board Member Goodhue recused and left the dais.

Item 2: DS 25078 (Casanova All the Way LLC): Consideration of a determination of consistency with the Secretary of the Interior's Standards for demolition of the existing garage and guest house and the construction of a new garage and ADU at the historic "Connolly-Search House" located at the northeast corner of Casanova Street and 13th Avenue in the Single-Family Residential (R-1) District. APN: 010-175-011-000

Jacob Olander, Associate Planner, introduced the item and addressed questions of the Board.

David Solomon, Project Designer, made himself available for questions.

Chair Chroman opened the meeting for public comment. The following members of the public appeared before the Board: None

Chair Chroman closed the meeting for public comment.

Chair Chroman informed the Board that the story poles were closer to a nearby tree than the project will be. These will be corrected before the project goes to the Planning Commission.

It was moved by Board Member Dyar and seconded by Board Member Gualtieri to approve a resolution issuing a determination of consistency with the Secretary of the Interior's Standards for the treatment of historic properties for Design Study application 25078 (Casanova All The Way LLC) for the demolition of the non-historic existing garage and guest house and the construction of a new garage and accessory dwelling unit at the historic "Connolly-Search House" located at the northeast corner of Casanova Street and 13th Avenue in the Single-family Residential (R-1) District. APN: 010-175-011

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Gualtieri, Voris, Chroman
NOES: Board Member(s): None
ABSTAINED: Board Member(s): Goodhue
ABSENT: Board Member(s): None

Board Member Goodhue returned to the dais.

Item 3: DR 25112 & DR 25151 (Clark-Fairley): Consideration of findings of consistencies with the established design context of the Downtown Conservation District for the installation of a 3 inch storm drain connecting from an existing flat roof drain and installed along the side and facade of the building (DR 25112), and the color change of an existing retractable awning to black and white stripes (DR 25151), and finding no impacts on nearby historic resources. The subject site is located at

an existing non-historic property at San Carlos Street 3 NW 7th Avenue in the Central Commercial Zone District and Downtown Conservation District (DC) Overlay. APN: 010-146-003-000

Evan Kort, Senior Planner, introduced the item and addressed questions of the Board.

The Applicant, Chuck Carmenita with Mr. Rooter, answered questions of the Board.

Chair Chroman opened the meeting for public comment. The following members of the public appeared before the Board: None

Chair Chroman closed the meeting for public comment.

It was moved by Chair Chroman and seconded by Board Member Voris to approve a resolution finding the installation of a 3 inch storm drain connecting from an existing flat roof drain, installed along the side and facade of the building and connecting to the existing down spout pipe (DR 25112) located at an existing non-historic property at San Carlos Street 3 northwest of 7th Avenue in the Central Commercial (CC) Zone District and Downtown Conservation District (DC) Overlay, 1) inconsistent with the established design context of Ocean Avenue and the surrounding commercial area, and 2) will have no impacts on nearby historic resources. APN: 010-146-003-000, with the recommendation to run the drain along the southside of the subject building wall to the front of the building to get below the paving surface before the corner of the building and have its own route out to the curb so the downspout would not cross the front facade of the building, to paint the gutters the color of the building, and to paint the conduit to match the building.

The motion passed by the following roll call vote:

AYES:	Board Member(s): Dyar, Goodhue, Gualtieri, Voris, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None
ABSENT:	Board Member(s): None

It was moved by Board Member Dyar and seconded by Board Member Chroman to approve a resolution finding the color change of an existing retractable awning to black and white stripes (DR 25151) located at an existing non-historic property at San Carlos Street 3 northwest of 7th Avenue in the Central Commercial (CC) Zone District and Downtown Conservation District (DC) Overlay: 1) consistent with the established design context of the Downtown Conservation District, 2) inconsistent with the with the established design context of Ocean Avenue and the surrounding commercial area, and 3) will have no impacts on nearby historic resources. APN: 010-146-003-000

The motion passed by the following roll call vote:

AYES:	Board Member(s): Dyar, Goodhue, Gualtieri, Voris, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None
ABSENT:	Board Member(s): None

Item 4: DR 24087 (Esperanza Carmel Commercial, LLC): Consideration of a determination of consistency with the Secretary of the Interior's Standards for exterior changes and site improvements at the historic "Aucourt Commercial Block" property at Lincoln Street 3 southwest of Ocean Avenue in the Central Commercial (CC) District and Downtown Conservation District (DC) Overlay; a finding of consistency with the established design context of the Downtown Conservation

District; and a finding that the project will have no impacts on nearby historic resources. APN: 010-191-001-000

Katherine Wallace, Associate Planner, introduced the item and addressed questions of the Board.

The Applicant, Joseph Napdo with Esperanza Carmel Commercial, LLC, told the Board that the conditions recommended by the historian would be incorporated into the project plans and responded to questions.

Chair Chroman opened the meeting for public comment. The following members of the public appeared before the Board: None

Chair Chroman closed the meeting for public comment.

It was moved by Board Member Goodhue and seconded by Board Member Dyar to approve a resolution issuing 1) a determination of consistency with the Secretary of the Interior's Standards for exterior changes and site improvements at the historic "Aucourt Commercial Block" property at Lincoln Street 3 southwest of Ocean Avenue in the Central Commercial (CC) District and Downtown Conservation District (DC) Overlay; 2) a finding of consistency with the established design context of the Downtown Conservation District; and 3) a finding that the project will have no impacts on nearby historic resources. APN: 010-191-001-000 with the addition of all conditions recommended by staff.

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Goodhue, Gualtieri, Voris, Chroman

NOES: Board Member(s): None

ABSTAINED: Board Member(s): None

ABSENT: Board Member(s): None

DIRECTORS REPORT

Katherine Wallace, Associate Planner, gave a report and answered questions of the Board.

- **New AV System:** The new AV system for the Council Chambers has been implemented.
- **Upcoming meetings:** City Council meetings on August 4th and August 5th; the Mills Act Policy will be taken back to the City Council for discussion
- **New Board Member:** Bobbie Voris was welcomed as the newest member to the Historic Resources Board.
- **Upcoming training:** Brown Act Training on August 7th

FUTURE AGENDA ITEMS

Item 5: Next Regular Meeting: August 18, 2025

ADJOURNMENT

5:11 PM

APPROVED:

ATTEST:

Jordan Chroman, Chair

Shelby Gorman, Recording Secretary



**CITY OF CARMEL-BY-THE-SEA
Historic Resources Board
Staff Report**

**September 15, 2025
CONSENT AGENDA**

TO: Historic Resources Board Members
SUBMITTED BY: Shelby Gorman, Administrative Coordinator
SUBJECT: August 18, 2025 Regular Meeting Minutes

RECOMMENDATION:

BACKGROUND / SUMMARY:

FISCAL IMPACT:

ATTACHMENTS:

1. Historic Resources Board Minutes 08-18-25

**REGULAR MEETING
Monday, August 18, 2025**

TOUR 3:00 PM

MEETING 4:00 PM

CALL TO ORDER AND ROLL CALL – TOUR

The following Board Members were present for the tour: Erik Dyar, Esther Goodhue, Kathryn Gualtieri, Bobbie Voris, and Jordan Chroman

The following Board Members were absent: None

TOUR OF INSPECTION

Item A: DR 25181 (Carmel Mission Basilica): 3080 Rio Road

Item B: DS 25197 (Graney): Northeast corner of Camino Real and 12th Avenue

Item C: HE 25120 (Profeta): West side of Junipero between 5th and 6th Avenues

CALL TO ORDER AND ROLL CALL – CHAMBERS

The following Board Members were present: Erik Dyar, Esther Goodhue, Kathryn Gualtieri, Bobbie Voris, and Jordan Chroman

The following Board Members were absent: None

PLEDGE OF ALLEGIANCE

PUBLIC APPEARANCES

None

ORDERS OF BUSINESS

Board Member Voris recused and left the dais.

Item 1: HE 25120 (Profeta): Consideration of a preliminary determination of historic ineligibility for the property located on the west side of Junipero between 5th and 6th Avenues. APN: 010-098-005 and 010-098-006.

Katherine Wallace, Associate Planner, introduced the item and addressed questions of the Board.

Robert Profeta, representing the Property Owner, spoke on their preference for a determination of historic ineligibility.

Public Comment:

None

Robert Profeta, representing the Property Owner, responded to questions from the Board on the intention for future renovations.

It was moved by Board Member Dyar and seconded by Board Member Gualtieri to issue a preliminary determination of historic ineligibility for the property located on the west side of Junipero between 5th and 6th Avenues. APN: 010-098-005 and 010-098-006.

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Goodhue, Gualtieri, Chroman
NOES: Board Member(s): None
ABSTAINED: Board Member(s): Voris
ABSENT: Board Member(s): None

Board Member Voris returned to the dais.

PUBLIC HEARINGS

Item 2: DR 25181 (Carmel Mission Basilica): Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for accessibility upgrades at the historic "Mission San Carlos de Borromeo" located at 3080 Rio Road in the Single-Family Residential (R-1) District, Archaeological Significance Overlay, Park Overlay and Beach & Riparian Overlay districts. APN: 009-531-003-000

Katherine Wallace, Associate Planner, introduced the item and addressed questions of the Board.

Public Comment:
Cindy Lloyd

Naomi Miroglio, Architect, answered questions of the Board.

It was moved by Chair Chroman and seconded by Board Member Goodhue to approve a resolution issuing a determination of consistency with the Secretary of the Interior's standards for the treatment of historic properties for accessibility upgrades at the historic "Mission San Carlos de Borromeo" located at 3080 Rio Road in the Single-family Residential (R-1) District, Archeological Significance Overlay, Park Overlay and Beach & Riparian Overlay Districts, APN 009-531-003.

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Goodhue, Gualtieri, Voris, Chroman
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): None

Board Member Gualtieri recused and left the dais.

Item 3: DS 25197 (Graney): Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for the replacement of wood windows and wood shingle siding at the historic "Louise P. Murphy House" located at the northeast corner of Camino Real and 12th Avenue in the Single-Family Residential (R-1) District. APN: 010-273-006-000.

Katherine Wallace, Associate Planner, introduced the item and addressed questions of the Board.

Harlan Bradley, Applicant, addressed the Board to discuss the details of the project and answer questions.

Public Comment:

None

It was moved by Board Member Dyar and seconded by Board Member Voris to approve a resolution for Design Study application 25197 (Graney) issuing a determination of consistency with the standards for the replacement of wood windows and wood shingle siding and the in-kind replacement of one rear door and the composition shingle roof at the historic “Louise P. Murphy House” located at the northeast corner of Camino Real and 12th Avenue in the Single-family Residential (R-1) District, APN: 010-273-006-000 with the added conditions that the shingles be installed in the historic method, e.g. individually attached, with varying shingle width and pattern to match existing; that the wood windows be installed with ogee lugs and muntin profiles and dimensions to match existing; and that the garage be replaced in the same fashion.

The motion passed by the following roll call vote:

AYES:	Board Member(s): Dyar, Goodhue, Voris, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): Gualtieri
ABSENT:	Board Member(s): None

Board Member Gualtieri returned to the dais.

DIRECTORS REPORT

Anna Ginette, Director of Community Planning and Building, gave a report and answered questions of the Board.

- **Upcoming Policy Discussions:** The ADU Standards, Water Allocation Policy, and Design Traditions will be going to the Planning Commission and the City Council in the Fall.
- **Mills Act Update:** Mills Act Contracts will be brought to the City Council for discussion on potential reimplementaion.

Board Member Erik Dyar informed the Board and the public of the upcoming Carmel Heritage Society tours on September 20, 2025.

FUTURE AGENDA ITEMS

Item 5: Next Regular Meeting: September 15, 2025

ADJOURNMENT

5:05 PM

APPROVED:

ATTEST:

Jordan Chroman, Chair

Shelby Gorman, Recording Secretary



CITY OF CARMEL-BY-THE-SEA
Historic Resources Board
Staff Report

September 15, 2025
PUBLIC HEARINGS

TO: Historic Resources Board Members
SUBMITTED BY: Katherine Wallace, Associate Planner
SUBJECT: **DS 25240 (Ramos):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study application, DS 25240 (Ramos), for after-the-fact revisions to a previous approval (DS 23396) that include the removal of roof shingles, horizontal wood siding, wood shingle siding, wood windows, and a Carmel stone chimney, replaced with new at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) Zoning District and the Beach and Riparian Overlay District. APN 010-279-008-000

RECOMMENDATION:

Adopt a resolution (Attachment 1) issuing a determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for DS 25240 (Ramos) for after-the-fact revisions to a previous approval (DS 23396) that include the removal of roof shingles, horizontal wood siding, wood shingle siding, wood windows and French doors, and a Carmel stone chimney, replaced with new at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) Zoning District, the Beach and Riparian (BR) Overlay District, and Coastal Commission Appeal Jurisdiction. APN 010-279-008-000.

BACKGROUND / SUMMARY:

The Craftsman style "Rockwell House" at the northeast corner of 12th and San Antonio Avenues was designed and constructed by Michael J. Murphy in 1923. The property was evaluated for historical significance by Margaret Clovis, a City-contracted qualified professional, in June 2022 and added to the Carmel Inventory of Historic Resources. The architectural style and designer/builder are listed as significant in the Historic Context Statement. The character-defining features of the residence identified in the DPR 523 Form (Attachment 2) include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed windows
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
- Masonry chimney
- Hipped roof system
- Decorative notched exposed rafters
- Dutch door

The 8,000 square-foot project site is currently under construction. The Historic Resources Board reviewed the project in 2023 (DS 23396, Ramos) (Attachment 3 and 4) and issued a Determination of Consistency (Attachment 5) for construction of a 231 square-foot detached garage and additions to the 2,135 square-foot house. The approved additions included an additional 138 square-feet at the upper level (a new gabled primary entry at the south elevation, a new shed-roofed addition at the north elevation, and a rear addition at the east elevation of the north wing) as well as a 398 square-foot basement expansion. A Building Permit (BP 230414, Ramos) was subsequently issued by the Building Division.

On July 20, 2025, Planning staff conducted an inspection of the site and identified project elements that had exceeded the approved scope of work. The following after-the-fact project elements have triggered a required Phase II Historic Evaluation Addendum and additional review by the Historic Resources Board:

- Removal and replacement of synthetic shingle roof shingles (indicated on original plans as a wood roof to remain) with new synthetic shingles.
- Removal and replacement of wood windows and French doors (indicated on original plans to remain) with new in-kind windows and French doors.
- Removal and replacement of wood shingle siding (a mix of original redwood shingles and replacement cedar shingles, indicated on original plans to remain) with new cedar shingle siding.
- Removal of horizontal wood siding (indicated on original plans to remain) with new in-kind horizontal wood siding.
- Installation of non-differentiated wood shingle siding on additions (conditioned under the original approval to be differentiated).
- Removal and replacement of the exterior Carmel rubble-stone chimney (indicated on original plans to remain) with a new chimney featuring a

contemporary stone veneer and different design/dimensions.

Carmel-by-the-Sea Municipal Code (CMC) Section 17.32.190 (Enforcement and Penalties) states that it shall be unlawful for any person to permit or maintain violations of any of the provisions of this title by undertaking the alteration, grading, removal, demolition or partial demolition of an historic resource without first obtaining the written approval of the City. Subdivision "C" of this section states that any person who alters, relocates, or demolishes an historic resource in violation of this title shall be subject to an administrative penalty of up to \$250,000 for each violation. As part of any enforcement proceeding, violators may be required to reasonably restore the historic resource to its appearance, condition or setting prior to the violation, or the use of the property shall be subject to one of the limitations specified in subsections "1" or "2". In this case, CMC Section 17.32.190.C is applicable to as-built construction. At this time, staff does not recommend the application of an administrative penalty as the owner/applicant is requesting an after-the-fact approval from the City and, as discussed below, staff recommends modifications to the as-built to ensure consistency with Title 17 and the Secretary of the Interior's Standards for the Treatment of Historic Properties.

STAFF ANALYSIS

In accordance with the Historic Preservation Ordinance, CMC Section 17.32.160 (Historic Evaluation Process for Major Alterations), major alterations require a Phase II historic evaluation prepared by a qualified professional and require a determination of consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Standards") to be adopted by the Historic Resources Board. The unpermitted work constitutes major modifications. As such, a qualified professional, Margaret Clovis, has reviewed updated project plans (Attachment 6) and completed a Phase II Historic Evaluation Addendum (Attachment 7) finding:

1. The after-the-fact replacement of the roof shingles, wood windows and French doors, wood shingle siding, and horizontal wood siding **consistent** with the Standards due to documented deterioration and/or installation after the period of significance (1923);
2. The non-differentiated wood shingle siding on new additions **inconsistent** with the Standards; and
3. The new design/dimensions and contemporary stone veneer on the exterior chimney **inconsistent** with the Standards.

Recommendations have been provided to the applicant (see analysis to follow) to ensure consistency with the applicable Standards 2, 6, and 9. Staff concurs with Ms. Clovis' analysis and recommendations to ensure full consistency with the applicable standards, as summarized below.

The Secretary of the Interior's Standards: The Secretary of the Interior's Standards for the Treatment of Historic Properties identify four primary treatment approaches to

historic resources: preservation, rehabilitation, restoration, and reconstruction. Rehabilitation is the recommended standard of treatment for this project. Rehabilitation is defined as, the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

Standard 2

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Standard 6

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 9

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Windows/Doors

Most of the windows in the Rockwell House were slated to be retained and repaired, however, most of the windows were replaced like for like due to deterioration. According to the National Park Service, “like for like” refers to replacing or repairing deteriorated features of a historic property with materials or elements that closely match the original characteristics. Standard 2 and Standard 6 provide guidance for determining the appropriateness or repair vs. replacement.

Documentation of the deterioration is required prior to replacing windows to ascertain whether the windows can be repaired, which is the preferred rehabilitation treatment. The National Park Service recommends, “Determination as to when deterioration is sufficiently severe to justify replacement must be based on documentation of the condition of the windows. What constitutes effective documentation may vary with the circumstances of the project, but at a minimum must include enough good quality photos to clearly depict the full range of conditions.” The project architect submitted photographs to staff that document the deterioration of the original windows. Although these photos should have been submitted prior to any window replacements, it appears that the replaced windows were rotted to the point where repair was not feasible. Additionally, French doors opening to the patio (flanking the chimney) were slated to be retained but were replaced in kind. The existing French doors were found to have post-dated the period of significance (1923) as they were installed in 1950. The completed after-the-fact work on the doors and windows are consistent with applicable Standards.

Chimney

The exterior chimney located on the east elevation was slated to be retained, however, it was demolished and reconstructed as the structural engineer on the project determined that the unreinforced masonry chimney did not have east-west lateral stability. The original Carmel rubble stone chimney was taken down and a new core concrete structure integrated with new concrete footing was constructed. The old Carmel stone veneer was salvaged but new veneer stone was installed instead. The new chimney is larger than the original chimney (due to the new concrete core structure) and does not intersect the roof as the original once did (see Figures 4, 5 and 6 in the Phase II addendum, Attachment 7).

The new square-cut Carmel stone veneer was laid in an irregular course. However, it does not capture the same rustic aesthetic that the original rough-cut Carmel rubble stone achieved, and it has a much more modern look. The new chimney is not consistent with Standards Two and Six because distinctive materials were removed, features were altered, and the new chimney does not replicate the design of the original chimney. Since documentary evidence is available and the original stone was salvaged, it is recommended that: 1) the new stone be replaced with the original stone, and 2) the design and dimensions of the new chimney replicate the original, i.e., the chimney should intersect the eaves. Note: the applicant asserts “the fire box was reconstructed in accordance with current codes, making it slightly larger than the original” (Attachment 8). Planning Staff consulted with the Building Official and Building Inspector to confirm that current building codes do not preclude a smaller firebox which would allow for the original chimney dimensions to be restored.

Siding

Standards Two and Six recommend the retention and repair of character-defining features, however both the shingles and horizontal siding were replaced rather than repaired. The architect explained that two different types of shingles were found on the house and submitted photos to staff of the older redwood shingles that were cracked and brittle and cedar shingles that were in better shape. Preservation Brief 47 (*Maintaining the Exteriors of Small and Medium Sized Historic Buildings*. National Park Service, June 2007) states that, “One of the advantages of wood shingles as a wall covering is that individual shingles that are damaged can easily be replaced.” According to Standard Six, documented deteriorated features can be replaced in-kind. As such, the replacement of the redwood shingles is consistent with the Standards due to the documented deteriorated condition. The cedar shingles were replaced as well; however, because they were not original and were installed outside the period of significance (1923) the completed work is consistent with Standards Two and Six.

In addition to the wood shingle siding, the wood horizontal siding on the lower level of the west elevation was also removed and replaced. This siding was originally indicated on the plans to remain. However, it is likely that the siding did not date to 1923, as the basement area where the siding was located was previously disturbed in 1984 when new window openings were installed. Since the horizontal siding was likely outside the

period of significance, its replacement does not affect the integrity of the house. The completed work is consistent with Standards Two and Six.

Lastly, the original project authorization was conditioned to require differentiated shingle siding on the new additions. To be consistent with Standard Nine, any new siding used in the additions should be differentiated from the existing siding, so the additions are clearly discernable from the historic house (replacement siding on the original house should match in kind, but siding on any additions should be differentiated). However, the shingles installed on the additions match the original “ribbon course” shingle pattern of the historic house (see Figure 6 in the Phase II Addendum). To differentiate the shingles on the additions, the architect and contractor have suggested removing 5/8” from selected shingles along the shingle course to create a staggered pattern (see Plan Sheet A3.1, Attachment 6). This solution will differentiate the new additions and meet the requirements of Standard Nine.

Roof

The original project reviewed by the Historic Resources Board in 2023 called for retention of a wood shake roof. However, the roof had been misidentified on the plans and in fact was a non-original synthetic shake roof installed in 1994 under BP #94-130. The 1994 synthetic shake roof has been removed and replaced with a new synthetic shake roof. Staff finds that the new roof is compatible with the historic resource.

DETERMINATION OF CONSISTENCY

Based on the recommendations of the qualified professional, Margaret Clovis, the after-the-fact project components are consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties, except for the new chimney and the non-differentiated wood shingles on the additions. As such, staff recommends the Board incorporate condition of approvals as part of the determination. The conditions shall require that prior to approval of the Design Study (DS 25240), the owner/applicant shall submit modified plans to staff that demonstrate:

1. The project shall be implemented consistent with the representations described in the Phase II Historic Evaluation Addendum for the “Rockwell House” prepared by Meg Clovis on September 9, 2025.
2. The wood shingle siding on the additions shall be differentiated from the shingles on the original house, as described in the Phase II Historic Evaluation Addendum.
3. The chimney shall be restored to its original design and materials. The intersect with the roof eave shall be restored, the original dimensions shall be restored, and the original Carmel rubble stone shall be laid in an irregular pattern

matching the original lay pattern as closely as possible.

Incorporation and implementation of these conditions of approval shall ensure the project is constructed consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

However, if the Board finds the after-the-fact construction of the chimney consistent with *the* Secretary of the Interior's Standards for the Treatment of Historic Properties, staff recommends the Board modify the draft resolution (Attachment 1) to include a finding, supported by evidence, demonstrating consistency.

ENVIRONMENTAL REVIEW:

Staff recommends, pursuant to CEQA regulations, that the Application be found “not a project” pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency with the Standards does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment. A CEQA analysis and determination will be conducted as part of the Design Study review.

FISCAL IMPACT:

N/A

ATTACHMENTS:

1. Attachment 1 - Draft Resolution
2. Attachment 2 - DPR 523 Form - Rockwell House
3. Attachment 3 - 2023 Project Plans DS 22396 (Ramos)
4. Attachment 4 - 2023 Phase 2 Evaluation DS 22396 (Ramos)
5. Attachment 5 - Resolution 2023-007-HRB_06-19-2023_DS 22396 (Ramos)
6. Attachment 6 - 2025 Phase II Evaluation Project Plans DS 25240
7. Attachment 7 - 2025 Phase 2 Evaluation Addendum DS 25240 (Ramos)
8. Attachment 8 - Applicant Letter
9. Attachment 9 - Secretary's Standards - Rehabilitation rev2017

CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD

HISTORIC RESOURCES BOARD RESOLUTION NO. 2025-XXX-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA FOR A DESIGN STUDY APPLICATION (DS 25240, RAMOS) ISSUING A DETERMINATION OF CONSISTENCY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES (STANDARDS) FOR AFTER-THE-FACT REVISIONS TO A PREVIOUS APPROVAL (DS 23396, RAMOS) THAT INCLUDE THE REMOVAL OF ROOF SHINGLES, HORIZONTAL WOOD SIDING, WOOD SHINGLE SIDING, WOOD WINDOWS AND FRENCH DOORS, ROOF, AND CARMEL STONE CHIMNEY, REPLACED WITH NEW AT THE HISTORIC "ROCKWELL HOUSE" LOCATED AT THE NORTHEAST CORNER OF 12TH AND SAN ANTONIO AVENUES, IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT, BEACH AND RIPARIAN (BR) OVERLAY DISTRICT, AND COASTAL COMMISSION APPEAL JURISDICTION, APN 010-279-008-000.

WHEREAS, on August 8, 2025, Holdren-Lietzke Architecture ("Applicant") submitted an application on behalf of Tim and Catherine Ramos ("Owner") requesting the approval of a Design Study DS 25240 described herein ("Application"); and

WHEREAS, the Application has been submitted for the 8,000 square-foot property located on the northeast corner of 12th and San Antonio Avenues in the Single-Family Residential (R-1) District, Beach & Riparian (BR) Overlay District, and Coastal Commission Appeal Jurisdiction (Block X, Lot 18 & 20); and

WHEREAS, the subject property, known as the "Rockwell House," is listed on the Carmel Inventory of Historic Resources, and is significant under California Register Criteria #3 as a Craftsman style residence by designer/builder Michael J. Murphy; and

WHEREAS, the applicant is requesting approval for after-the-fact revisions to a previous approval (DS 23396, Ramos) that include the removal of roof shingles, horizontal wood siding, wood shingle siding, wood windows and French doors, roof, and a Carmel stone chimney, replaced with new; and

WHEREAS, in accordance with Carmel by-the-Sea Municipal Code (CMC) Section 17.32.040.A (Residential District Track One Design Review), exterior alterations and additions that do not increase the existing floor area by more than 10 percent are eligible for track one design review; and

WHEREAS, in accordance with CMC Section 17.32.140 (Determination of Consistency with the Secretary's Standards), all major and minor alterations to historic resources shall require a determination of consistency with the Secretary's Standards; and

WHEREAS, in accordance with CMC Section 17.32.160 (Historic Evaluation Process for Major Alterations), a major alteration includes a substantial alteration as defined in CMC Section 17.70.030 and additions exceeding two percent of the existing floor area or volume; and

WHEREAS, in accordance with CMC Section 17.32.160.B, a determination of consistency for major alterations shall be prepared by a qualified professional; and

WHEREAS, Margaret Clovis, a qualified professional, prepared a Phase II Historic Assessment Addendum and found the project consistent with the Secretary's Standards provided specific recommendations were implemented; and

WHEREAS, the alterations, with recommendations incorporated, would not compromise the integrity of the historic resource or result in a substantial modification that would render the resource ineligible for continued listing on the Carmel Inventory of Historic Resources;

WHEREAS, on September 5, 2025, a notice of public hearing was published in the Carmel Pine Cone for the September 15, 2025, Historic Resources Board meeting in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before September 5, 2025, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before September 12, 2025, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on September 15, 2025, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the project, including without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Board at the hearing including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations, and testimony hereinabove set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, “CEQA”), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the “CEQA Guidelines”) and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is “not be a project” pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

BE IT FURTHER RESOLVED that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **ADOPT** a Determination of Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for after-the-fact revisions to a previous approval (DS 23396) that include the removal of horizontal wood siding, wood shingle siding, wood windows and French doors, roof, and a Carmel stone chimney, replaced with new at the historic "Rockwell House" located on the northeast corner of San Antonio and 12th Avenues in the Single-Family Residential (R-1) Zoning District, the Beach and Riparian (BR) Overlay District, and Coastal Commission Appeal Jurisdiction. APN 010-279-008-000, subject to the following conditions:

1. The project shall be implemented consistent with the representations described in the Phase II Historic Evaluation Addendum for the “Rockwell House” prepared by Meg Clovis on September 9, 2025.
2. The wood shingle siding on the additions shall be differentiated from the shingles on the original house, as described in the Phase II Historic Evaluation Addendum.
3. The chimney shall be restored to its original design and materials. The intersect with the roof eave shall be restored, the original dimensions shall be restored, and the original Carmel rubble stone shall be laid in an irregular pattern matching the original lay pattern as closely as possible.

PASSED, APPROVED, AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 19th day of June 2023, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Jordan Chroman
Chair

Shelby Gorman
Historic Resources Board Secretary

State of California -- The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD	Primary # _____ HRI # _____ Trinomial _____ NRHP Status Code _____ Other Listings _____ Review Code _____ Reviewer _____ Date _____
------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------

Page 1 of 9 *Resource Name or #: (Assigned by recorder) Rockwell House

P1. Other Identifier: Rockwell House

*P2. Location: Not for Publication Unrestricted *a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary)

*b. USGS 7.5' Quad Monterey Date 2012 T ; R ; 1/4 of 1/4 of Sec ; Mount Diablo B.M.

c. Address NE Corner San Antonio & 12th Ave. City Carmel by the Sea Zip 93921

d. UTM: (Give more than one for large and/or linear resources) Zone ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN 010-279-008, Block X; Lots 18, 20

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Constructed in 1923, the Craftsman style Rockwell House has a rear-facing U-shaped plan and is set back on a large lot that slopes down towards San Antonio Avenue. The cross-hipped roof system is covered with composite shingles and has wide over-hanging eaves with decorative notched rafters. The exterior walls of the first story are covered with staggered wood shingles while the finished basement (partially exposed at the west, north, and south elevations) is faced with horizontal shiplap siding. This was a common design treatment used by the home's designer/builder Michael J. Murphy to visually separate the foundation framing from the main living areas. Fenestration varies and includes square bays with multipaned fixed windows; single-light casement windows; French doors on the front (west) and rear elevations; sash windows; and one canted bay window on the south elevation (added in 1989). All of the windows are wood, and most have extended lintels and sills, a Craftsman design trait. A tripartite window, composed of a central multipaned fixed window flanked (continued p. 3)

*P3b. Resource Attributes: (List attributes and codes) HP2, Single family residence

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Front Elevation, 06/2022

*P6. Date Constructed/Age and

Sources: 1923 Historic

Prehistoric Both

Building Permit

*P7. Owner and Address:

Frances McKeon

14230 Warnerville Rd.

Oakdale, CA. 95361

*P8. Recorded by: (Name, affiliation, and address)

Meg Clovis

14024 Reservation Rd.

Salinas, CA 93908

*P9. Date Recorded: 06/2022

*P10. Survey Type: (Describe)

Intensive

*P11. Report Citation: (cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure and Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photograph Record Other (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code **HP2**

*Resource Name or # (Assigned by recorder) **Rockwell House**

- B1. Historic Name: Rockwell House
- B2. Common Name: Rockwell House
- B3. Original Use: Residence
- B4. Present Use: Residence

*B5. **Architectural Style:** Craftsman

*B6. **Construction History:** (Construction date, alteration, and date of alterations) Constructed in 1923, Enlarge kitchen (1950); Alter bathroom, construct new deck & steps, replace garage doors (1960); Add bay window (1989); Reroof (1994); Replace front deck (2002)

*B7. **Moved?** No Yes Unknown **Date:** _____ **Original Location:** _____

*B8. **Related Features:** None

B9a. Architect: M.J. Murphy (Designer)

b. Builder: M.J. Murphy

*B10. **Significance: Theme** Architectural Development **Area** Carmel by the Sea

Period of Significance 1923 **Property Type** Building **Applicable Criteria** CR 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Address integrity.)

In 1923 an article in the April 28th edition of the *Carmel Pine Cone* announced that contractor M.J. Murphy was constructing a residence for the Rockwells on the corner of 12th and San Antonio Avenues. This was a second home for the family as their principal home was in Pasadena. Frederick Clark Rockwell (1855-1928) had made his fortune as a pioneer wooden box manufacturer in Hartford, CN. He was also involved with real estate development in Hartford and served in the State legislature. Frederick and his wife Jennie retired to Pasadena in 1908 and are first recorded as visitors to Carmel in 1920. The following year Jennie purchased lots 17-20 in Block X from the Carmel Development Company, but they did not start construction of their new home until 1923. They split their time between Pasadena and Carmel until Frederick's death. Then Jennie made Carmel her permanent home, living in the house with her daughter and two grandchildren. She passed away in 1931.

The Rockwell's house was designed and constructed by Michael J. Murphy (1885-1959). Murphy first (continued on pg. 4)

B11. Additional Resource Attributes (List attributes and codes): HP2

*B12. **References:**

Carmel Context Statement & Historic Preservation Ordinance

Carmel Pine Cone: 2/5/1920, 1/27/1921, 4/28/1923

Building File, Carmel Planning Dept.

National Register Bulletin 15

Polk's City Directories, Harrison Memorial Library

U.S. Census & Voter Registration Records

F.C. Rockwell Obit., *Hartford Courant*, 12/13/1928, pg. 9

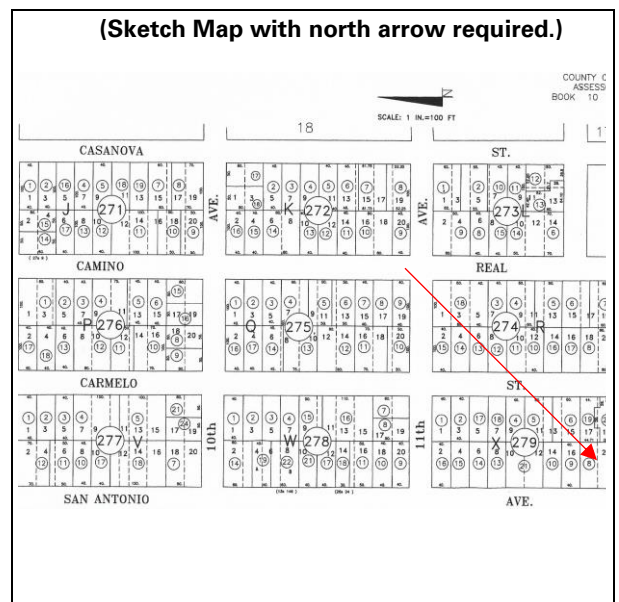
Seavey, Kent. Carmel: A History in Architecture

B13. Remarks

*B14. **Evaluator:** Meg Clovis

***Date of Evaluation:** 06/2022

(This space reserved for official comments.)



CONTINUATION SHEET

Primary # _____

HRI# _____

Trinomial _____

Page 3 of 9

*Resource Name or # Rockwell House

*Recorded by Meg Clovis

*Date 06/2022

Continuation Update

P3a. Description:

by two narrow casement windows, is located on the front elevation. The windows in the finished basement area, (located on the west and south elevations) are four-paned casement windows. The French doors on the front elevation open out to a TimberTech deck and railing with vertical balusters. The deck railing transitions to a decorative metal railing that borders the curved stairway to the driveway. The deck is located over the garage which has a non-historic overhead door. A single-leaf wood door that leads into the finished basement is located south of the garage door.

A brick patio is located between the two rear wings of the U plan. A large chimney at the east elevation, constructed of rough-cut rubble masonry, is a dominant feature of the patio. Two French doors accessed via single brick steps flank the chimney. Another French door which was installed as part of the kitchen remodel in 1950 opens to the north rear wing. A brick step leads to a single-leaf wood door which is located at an angle within the junction of the main block and the south rear wing. This acts as a main entrance into the house.

The house is located on a large, sloping lot on the northeast corner of San Antonio and 12th Avenues. A wood stake fence surrounds the perimeter of the property. The front yard appears recently landscaped but some mature bushes and abundant ferns are present. A brick path along the 12th Avenue elevation leads to the rear patio. In 2018 damaged stone and brick pathways were removed and replaced with sand-set brick pathways. Low rough cut rubble masonry retaining walls flank a brick-paved driveway that leads from San Antonio Avenue; the driveway was paved with brick at an unknown date.

No original plans are in the building file. Following is a description of the permitted changes to the property:

- **BP# 2058 (9/18/1950):** Comstock Associates enlarged the kitchen wing towards the rear lot line. A new window was installed in the rear wall and the original Dutch doors were reinstalled in the new wall. French doors were installed that opened out to the patio.
- **BP# 3488 (2/15/1960):** The bathroom was remodeled which included closing the original bathroom window and creating a new louvered window with obscure glass (since removed). Plans indicate that the original 3' wide porch (termed "lookout") on the front elevation was removed and replaced with a wider deck. Steps were constructed which connected the deck and the driveway.
- **BP# 89-205 (10/3/1989):** In 1989 two rotten windows on the south elevation were removed. One was replaced with a similar sash window (the bathroom window) and the other with a canted bay window atop a masonry foundation.
- **BP# 94-130 (7/11/1994):** Reroof with composite shingles.
- **BP# 18020 (1/17/2018):** Remove and replace walkways with brick.
- **BP# 02-150 (9/6/2002):** The 1960s deck was replaced with a TimberTech deck and railing. The stone wall and steps (added in 1960) to the driveway were retained.

The owners of the property applied for a rooming house permit in 1984 and the basement was one of the rented spaces. There is no record of when the basement was converted into livable space. The small windows that light the basement were presumably installed when the basement was remodeled. The front porch French doors are replacements.

Character Defining Features

Character refers to all the visual aspects and physical features that comprise the appearance of a historic building. Character-defining features include the overall shape of the building, its materials, craftsmanship, decorative details, and the various aspects of its site and environment. The Rockwell House exhibits many of the design traits that characterize Carmel's Craftsman style homes, as described in Carmel's Historic Context Statement. Character-defining features include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed windows
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
- Masonry chimney
- Hipped roof system
- Decorative notched exposed rafters
- Dutch door

Integrity

Integrity is defined as the ability of a property to convey its significance. There are seven aspects of integrity and to retain integrity, a property must retain several, if not most aspects. Despite some changes over time, the Rockwell House still retains integrity:

- Location: the Rockwell House is still in its original location.
- Design: the Rockwell House has retained its U-shaped plan and original roof configuration.
- Setting: the Rockwell House is still located in a residential setting.
- Materials: the Rockwell House retains the majority of its materials, including wood shingle and shiplap siding, wood windows, French Doors, Dutch door, and masonry chimney.
- Workmanship: the Rockwell House still displays Murphy's workmanship, such as the decorative notched rafters.
- Feeling: the Rockwell House retains the physical features that convey its historic character, i.e., an early Craftsman house in Carmel.
- Association: association is only applicable for properties eligible under Criteria 1 and 2.

Since the Rockwell House possesses the defined characteristics required to strongly represent its context, it is not necessary to compare it against other examples of Murphy-designed Craftsman homes.

B10. Significance:

came to Carmel in 1902. Two years later Frank Devendorf hired him to do the building for the Carmel Development Company. Murphy went on to become the most prolific builder in the history of Carmel, with the Pine Inn, Highlands Inn, La Playa Hotel, Sundial Court, Tor House, Harrison Memorial Library, and numerous houses to his credit. In 1914 Murphy established his own contracting company and in 1924 he opened the M.J. Murphy Company which sold building supplies, did rock crushing and concrete work, and operated a lumber mill and cabinet shop located between San Carlos and Mission.

CONTINUATION SHEET

Primary # _____

HRI# _____

Trinomial _____

Page 5 of 9

*Resource Name or # Rockwell House

*Recorded by Meg Clovis

*Date 06/2022

Continuation Update

Evaluation for Significance

Historians use National Register Bulletin 15¹ as a guide when evaluating a property's significance whether on a local, state, or national level. As a first step, to determine whether or not a property is significant, it must be evaluated within its historic context and the City of Carmel's Historic Context Statement² provides this context. The City of Carmel's Historic Preservation Ordinance (Section 17.32.040) reiterates the role of *National Register Bulletin 15* in the evaluation of historic resources. Adopted eligibility criteria is modeled on the California Register's four criteria with the addition of specific qualifications for criterion 3 (Section 17.32.040.D).

The Rockwell House is not eligible under **Criterion One (Event)** as no specific event led to the construction of this building and no important event took place in the building.

The Rockwell House is not eligible under **Criterion Two (Person)** as Mr. and Mrs. Rockwell are not individually significant within Carmel's historic context. Mr. Rockwell was a successful business man, real estate developer and member of the Connecticut legislature, however these accomplishments during his productive life would be best represented by his former home or factory in Hartford.

The Rockwell House is eligible for listing in the Carmel Inventory under **Criterion Three (Architecture)** because it was designed and built by Michael J. Murphy, a builder-designer who is recognized as significant in Carmel's Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(1)). In addition, it is a good example of the Craftsman style which characterizes Carmel's architectural legacy during the town's formative years. Murphy himself is credited with laying the foundation of Carmel's early Arts and Crafts aesthetic with his Craftsman houses. The Craftsman style is recognized as significant in the Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(3)).

To be eligible for the Carmel Inventory a resource must represent a theme in the Context Statement, retain substantial integrity, be at least 50 years old, and meet at least one of the four criteria for listing in the California Register. The Rockwell House represents the theme of Architectural Development, it retains substantial integrity, and it is over 50 years old. It meets Criterion Three of the California Register on the local level because it is representative of Carmel's architectural chronology, specifically the Craftsman style, as described on page 46 of the Context Statement. The Rockwell House reflects the aesthetic characteristics of the Craftsman style through its horizontal proportions; wood shingle siding; windows framed by extended lintels and sills; stone chimney; exposed rafters; and U-shaped plan around a patio.

In summary, the Carmel Context Statement, the Carmel Historic Preservation Ordinance, and the historical record support the eligibility of the Rockwell House for the Carmel Historic Inventory.

¹ National Register Bulletin 15. *How to Apply the National Register Criteria for Evaluation*. National Park Service. 1998.

² *Historic Context Statement: Carmel-by-the-Sea (updated)*. Adopted by the City Council September 9, 2008.



Figure 1: View of back patio, looking SW



Figure 2: View NE of south elevation with added bay window, indicated with red arrow

CONTINUATION SHEET



Figure 3: View NE from corner of San Antonio and 12th



Figure 4: Basement windows on south elevation



Figure 5: View of extended lintels and sills and decorative notched rafters



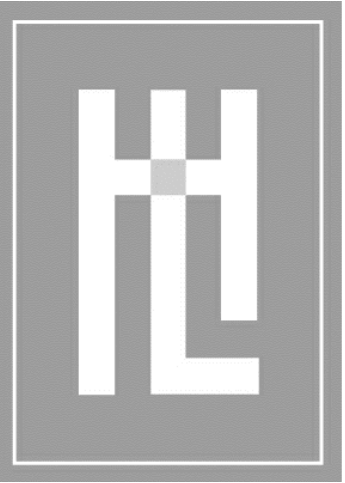
Figure 6: View NW of patio and French doors added in 1950, indicated with red arrow

CONTINUATION SHEET



Figure 7: View of rock stairs added in 1960 and decorative railing added in 2002.

RAMOS Residence



HOLDREN+LIETZKE
ARCHITECTURE

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

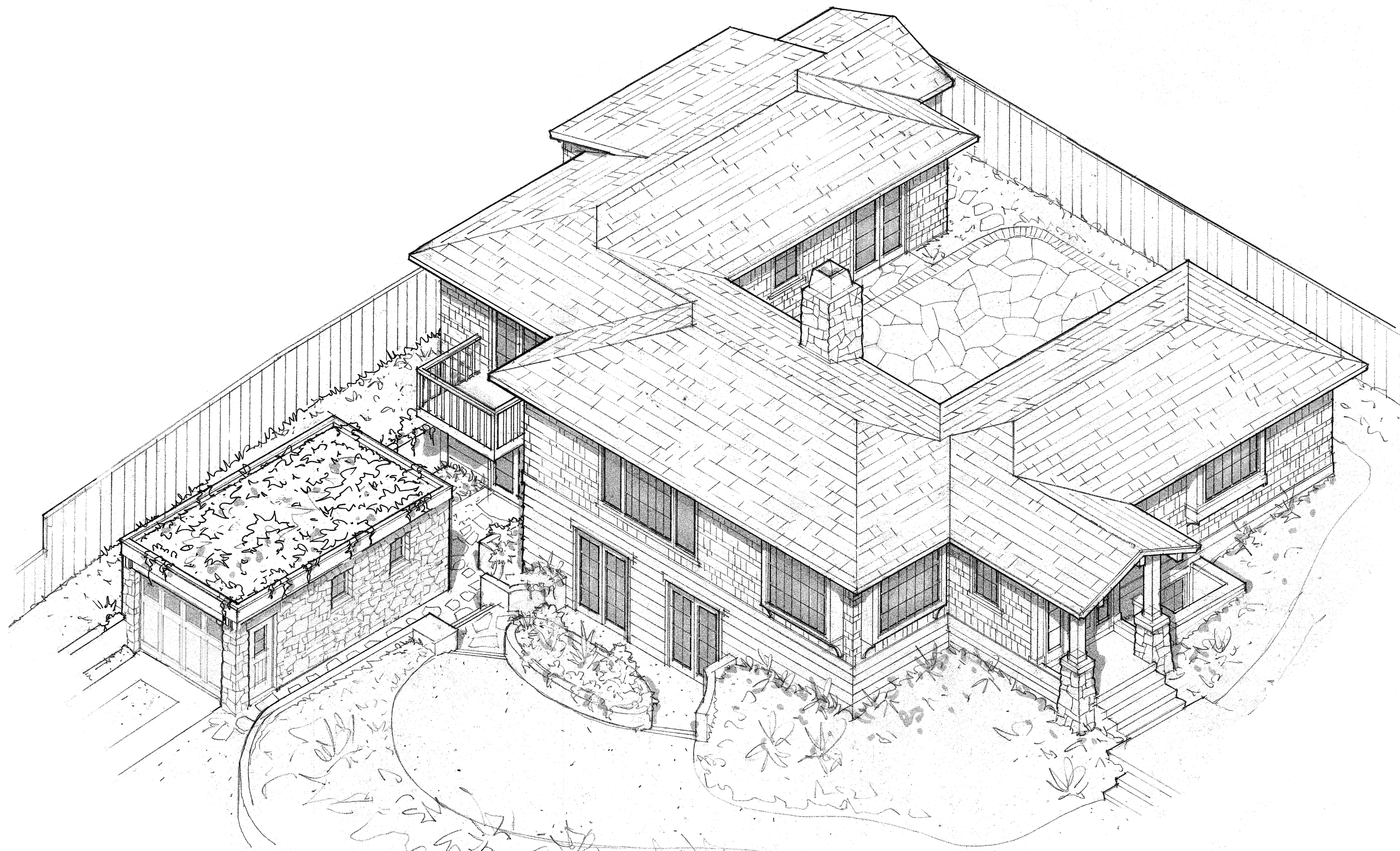
DATE: MAY 23, 2023

SCALE: N.T.S.

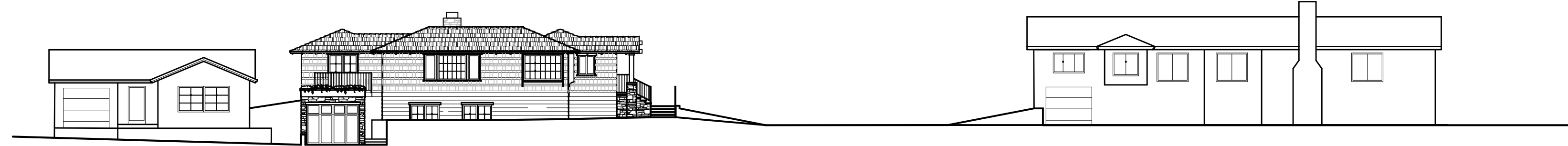
DRAWN: JM

JOB NUMBER:

REVISION



3D ELEVATION
FOR ILLUSTRATION PURPOSES ONLY



STREET PROFILE

PROJECT DATA

FLOOR AREA CALCULATIONS:

MAIN FLOOR AREA	
(E) FLOOR AREA	1441
(N) FLOOR AREA ADDITION	138
TOTAL	1579

LOWER FLOOR AREA	
(E) LOWER FLOOR	694
(N) ADDITION	398
(N) GARAGE	253
TOTAL	1345

TOTAL FLOOR AREA :	
MAIN FLOOR	= 1579 S.F.
LOWER FLOOR / GARAGE	= 1345 S.F.
TOTAL	= 2,924 S.F.
MAX. ALLOWED	= 2,960 S.F.

SITE COVERAGE CALCULATIONS:

EXISTING SITE COVERAGE	
WALKWAYS	1125
DRIVEWAY	756
TOTAL	1881

PROPOSED SITE COVERAGE	IMPERMEABLE	SEMI-PERMEABLE
WINDOW WELL #1		20
FRONT PATHWAY AND STEPS	106	107
(E) REAR PATHWAY TO BE REPLACED WITH PAVERS		87
BACK PATIO	364	
WINDOW WELL #2		80
DRIVEWAY		108
WOOD DECK		82
STEPPING STONES	14	
DRIVEWAY (MULCH)		
PATHWAY (MULCH)		
TOTAL IMPERMEABLE	484	484
TOTAL (IMPERMEABLE + SEMI-PERMEABLE)		968
MAX. ALLOWED W/ BONUS :		= 971 S.F.

WALL ANALYSIS:

	EXISTING WALLS	EXISTING WALLS TO BE REMOVED	NEW WALLS TO BE ADDED
MAIN FLOOR	486 L.F.	132 L.F.	157 L.F.
LOWER FLOOR	297 L.F.	74 L.F.	193 L.F.
TOTAL	783 L.F.	206 L.F.	350 L.F.

PERCENTAGE OF WALLS TO BE REMOVED AND ADDED, TO EXISTING WALLS = (206 + 350) / 783 = 71 %

HEIGHT ANALYSIS:

	1ST (LOWER) FLOOR		2ND (MAIN) FLOOR	
	PLATE HEIGHT	RIDGE HEIGHT	PLATE HEIGHT	RIDGE HEIGHT
EXISTING	7'-5"		15'-8"	19'-3"
PROPOSED	7'-5"		15'-8"	19'-3"
MAXIMUM	12'-0"	18'-0"	18'-0"	24'-0"

SHEET INDEX

- A0.1 COVER SHEET
- 1 OF 2 TOPOGRAPHIC SITE SURVEY
- 2 OF 2 TOPOGRAPHIC SITE SURVEY
- A1.0 EXISTING SITE / DEMOLITION PLAN
- A1.1 PROPOSED SITEPLAN / EXTERIOR LIGHTING PLAN
- A2.0 EXISTING / DEMOLITION FLOOR PLANS
- A2.2 PROPOSED FLOOR PLANS
- A2.3 PROPOSED ROOF PLAN / WINDOW AND DOOR SCHEDULE
- A2.4 REFLECTED CEILING PLANS
- A3.0 EXISTING ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A3.3 PROPOSED ELEVATIONS
- A3.4 BUILDING SECTIONS
- A3.5 BUILDING SECTIONS

SCOPE OF WORK:

- CONSTRUCTION OF 231 S.F. DETACHED GARAGE
- ADDITION OF 138 S.F. FLOOR AREA TO MAIN FLOOR, IN-KIND REPLACEMENT OF WOOD SHAKE ROOFING, NEW ENTRY ADDITION WITH WOOD COLUMN AND STONE BASE.
- RELOCATE EXISTING WINDOWS AND NEW WINDOWS AND DOORS TO MATCH EXISTING
- NEW LOWER FINISH FLOOR AND 398 S.F. EXPANSION
- ALL NEW EXTERIOR MATERIALS AND FINISH TO MATCH EXISTING.

TREES TO BE REMOVED: NONE

PROJECT ADDRESS: NE CORNER OF 12TH ST. AND SAN ANTONIO AVE.
CARMEL-BY-THE-SEA, CA

A.P.N.: 010-279-008

ZONING: R-1

LOT SIZE: 8,000 S.F.

CURRENT USE: RESIDENTIAL

OCCUPANCY GROUP: R-3/U

CONSTRUCTION TYPE: V-B

SPRINKLER: YES

PROJECT TEAM

OWNER:
CATHERINE & TIM RAMOS
16 DARLENE CT
ALAMO, CA 94507
PH: (925) 963-4100

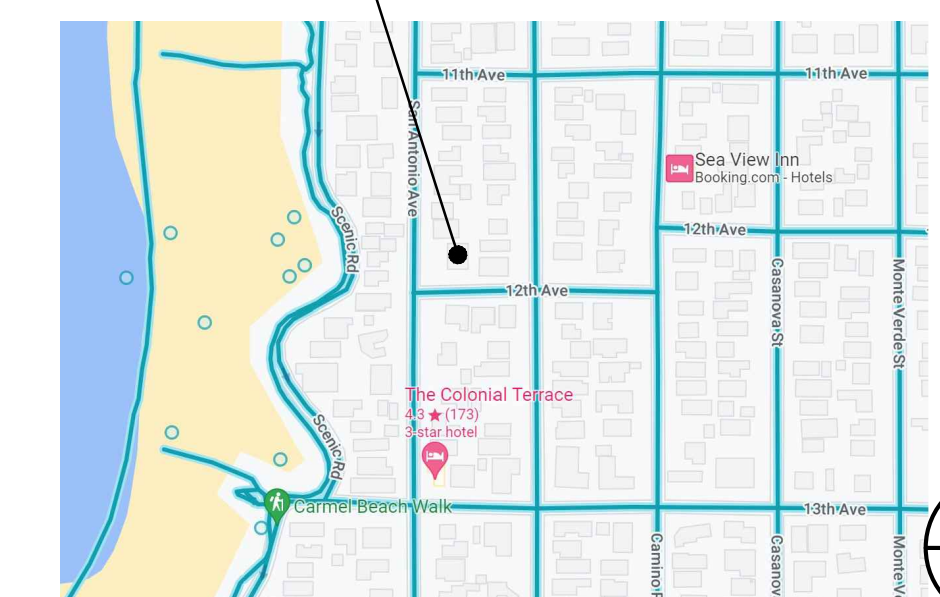
PROJECT ADDRESS:
NE CORNER OF 12TH STREET AND SAN ANTONIO AVE.
CARMEL-BY-THE-SEA, CALIFORNIA

ARCHITECT:
HOLDREN + LIETZKE ARCHITECTURE
225 CANNERY ROW - A
MONTEREY, CA 93940
PH: (831) 649-6001
CONTACT: CRAIG HOLDREN

SURVEYOR:
LUCIDO SURVEYORS
2 SAUCITO AVENUE
DEL REY OAKS, CA 93940
PH: 831-620-5032

VICINITY MAP

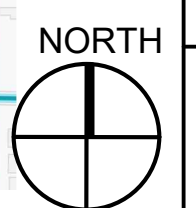
PROJECT LOCATION



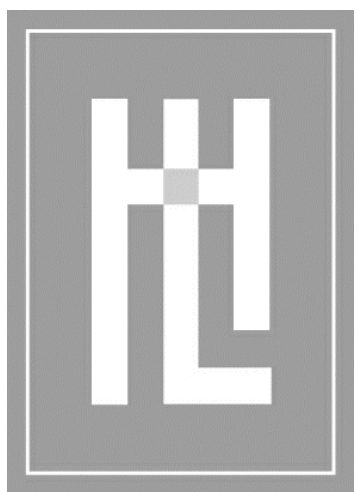
COVER SHEET

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A0.1



SCALE: N.T.S.



**HOLDREN+LIETZKE
ARCHITECTURE**

225 CANNERY ROW - SUITE A
MONTEREY, CA 93940
Ph: 831.649.6001
Fax: 831.649.6003
www.hl-arc.com

DATE: MAY 16, 2023

SCALE:

DRAWN:

JOB NUMBER:

REVISION

DATE: MAY 16, 2023

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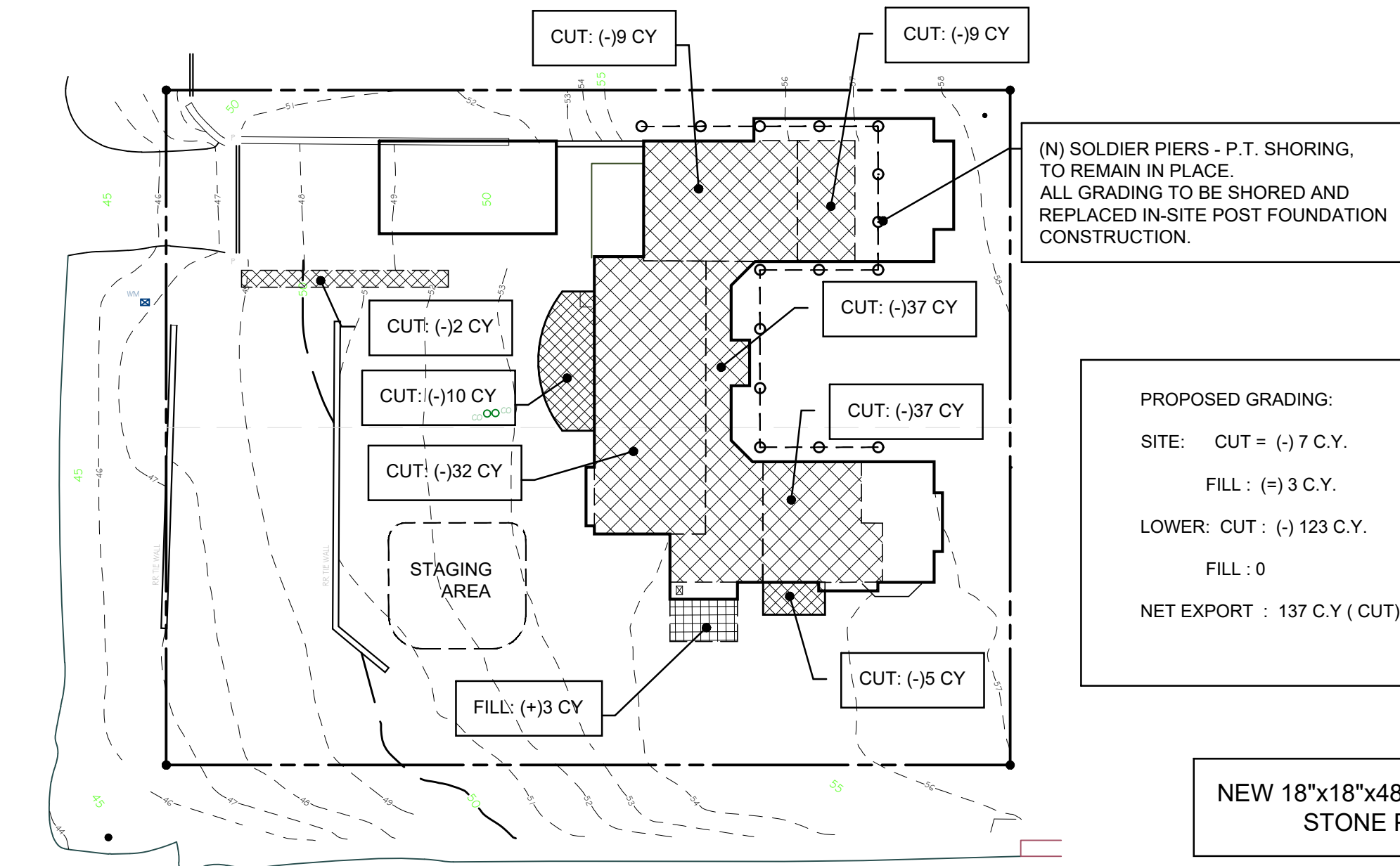
DATE: MAY 16, 2023

SCALE:

DRAWN:

JOB NUMBER:

REVISION



PRELIMINARY GRADING PLAN

SCALE: 1/16" = 1'-0"

TREE PROTECTION MEASURES

- PRIOR TO GRADING, EXCAVATION, OR CONSTRUCTION, THE CONTRACTOR SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
- EXCAVATION WITHIN 6 FEET OF A TREE TRUNK IS NOT PERMITTED
- NO ATTACHMENT OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE
- NO MATERIAL MAY BE STORED WITHIN THE DRIPLINES OF A PROTECTED TREE TO INCLUDE THE DRIPLINES OF TREES ON NEIGHBORING PARCELS.
- **TREE PROTECTION ZONE:** THE TREE PROTECTION ZONE SHALL BE EQUAL TO DRIPLINES OR 18" RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. MINIMUM OF 4 FOOT HIGH TRANSPARENT FENCING IS REQUIRED UNLESS OTHERWISE APPROVED BY THE CITY FORESTER. TREE PROTECTION SHALL NOT BE RESIZED, MODIFIED, REMOVED, OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL. THE FENCING MUST BE MAINTAINED UPRIGHT AND TAUGHT FOR THE DURATION OF THE PROJECT. NO MORE THAN 4 INCHES OF WOOD MULCH SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE. WHEN THE TREE PROTECTION ZONE IS AT OR WITHIN THE DRIP LINE, NO LESS THAN 6 INCHES OF WOOD MULCH SHALL BE INSTALLED 18 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE OUTSIDE OF FENCING.
- **THE STRUCTURAL ROOT ZONE:** STRUCTURAL ROOT ZONE SHALL BE BY 6 FEET FROM THE TRUNK OR 6 INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT 4.5 FEET ABOVE THE SOIL LINE, WHICHEVER IS GREATER. ANY EXCAVATION OR CHANGES TO THE GRADE SHALL BE APPROVED BY THE CITY FORESTER PRIOR TO WORK. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE SHALL BE PERFORMED WITH PNEUMATIC EXCAVATOR, HYDROVAC AT LOW PRESSURE, OR OTHER METHOD THAT DOES NOT SEVER ROOTS.
- IF ROOTS GREATER THAN 2 INCHES IN DIAMETER OR LARGER ARE ENCOUNTERED WITHIN THE APPROVED STRUCTURAL ROOT ZONE THE CITY FORESTER SHALL BE CONTACTED FOR APPROVAL TO MAKE ANY ROOT CUTS OR ALTERATIONS TO STRUCTURES TO PREVENT ROOTS FROM BEING DAMAGED
- IF ROOTS LARGER THAN 2 INCHES IN DIAMETER ARE CUT WITHOUT PRIOR CITY FORESTER APPROVAL OR ANY SIGNIFICANT TREE IS ENDANGERED AS A RESULT OF CONSTRUCTION ACTIVITIES, THE BUILDING PERMIT WILL BE SUSPENDED AND ALL WORK STOPPED UNTIL AN INVESTIGATION BY THE CITY FORESTER HAS BEEN COMPLETED AND MITIGATION MEASURES HAVE BEEN PUT IN PLACE

EXTERIOR / LANDSCAPE LIGHTING LEGEND

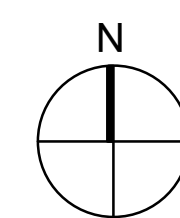
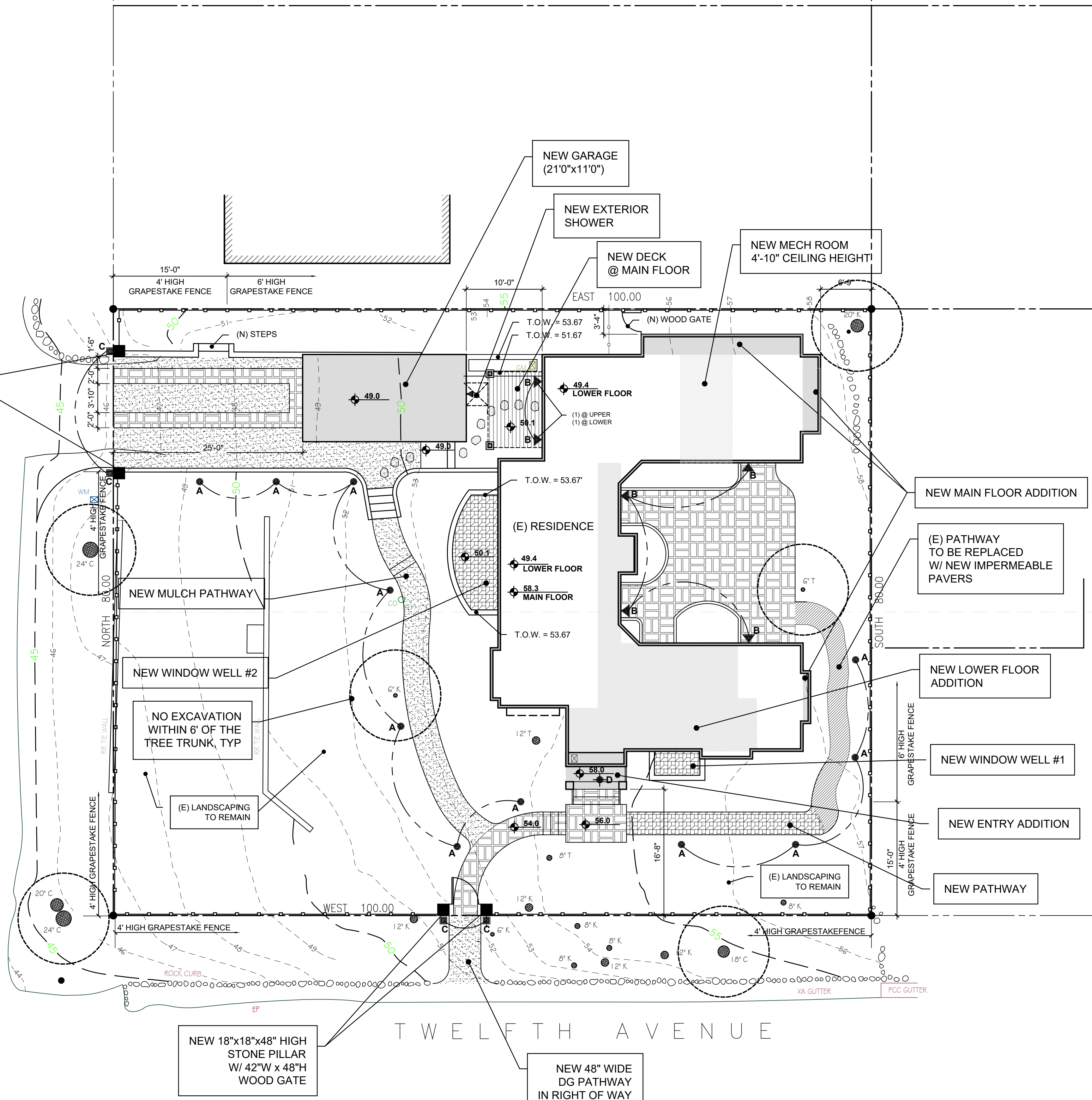
- A** BOLLARD : LAMP PLUS "2C494" COPPER
3W / 200 LUMENS (11 TOTAL)
- B** SCONCE : WAC LIGHTING "SODOR"
12W LED / 314 LUMENS (DELIVERED) (6 TOTAL)
- C** WALL LIGHT : VISUAL COMFORT "ESKER ENVELOPE"
12W LED / 325 LUMENS (4 TOTAL)
- D** PENDANT : VISUAL COMFORT "BARN LIGHT"
9W LED (1 TOTAL)

AREA LEGEND:

- (N) MAIN FLOOR AREA ADDITION
- (N) LOWER FLOOR AREA ADDITION
- IMPERMEABLE STONE PAVERS
- (N) SEMI-PERMEABLE SAND-SET STONE PAVERS
- (N) WOOD DECK AT MAIN LEVEL ABOVE
- (N) MULCH
- (N) STEPPING STONES
- REPLACE (E) BRICK PAVERS WITH NEW SEMI-IMPERMEABLE SAND-SET STONE PAVERS

SAN ANTONIO AVENUE

TWELFTH AVENUE



SITEPLAN / EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

PROPOSED SITEPLAN

RAMOS RESIDENCE
 NE CORNER OF 12th STREET and SAN ANTONIO
 CARMEL, CA 93923
 A.P.N. 010-279-008

A1.1

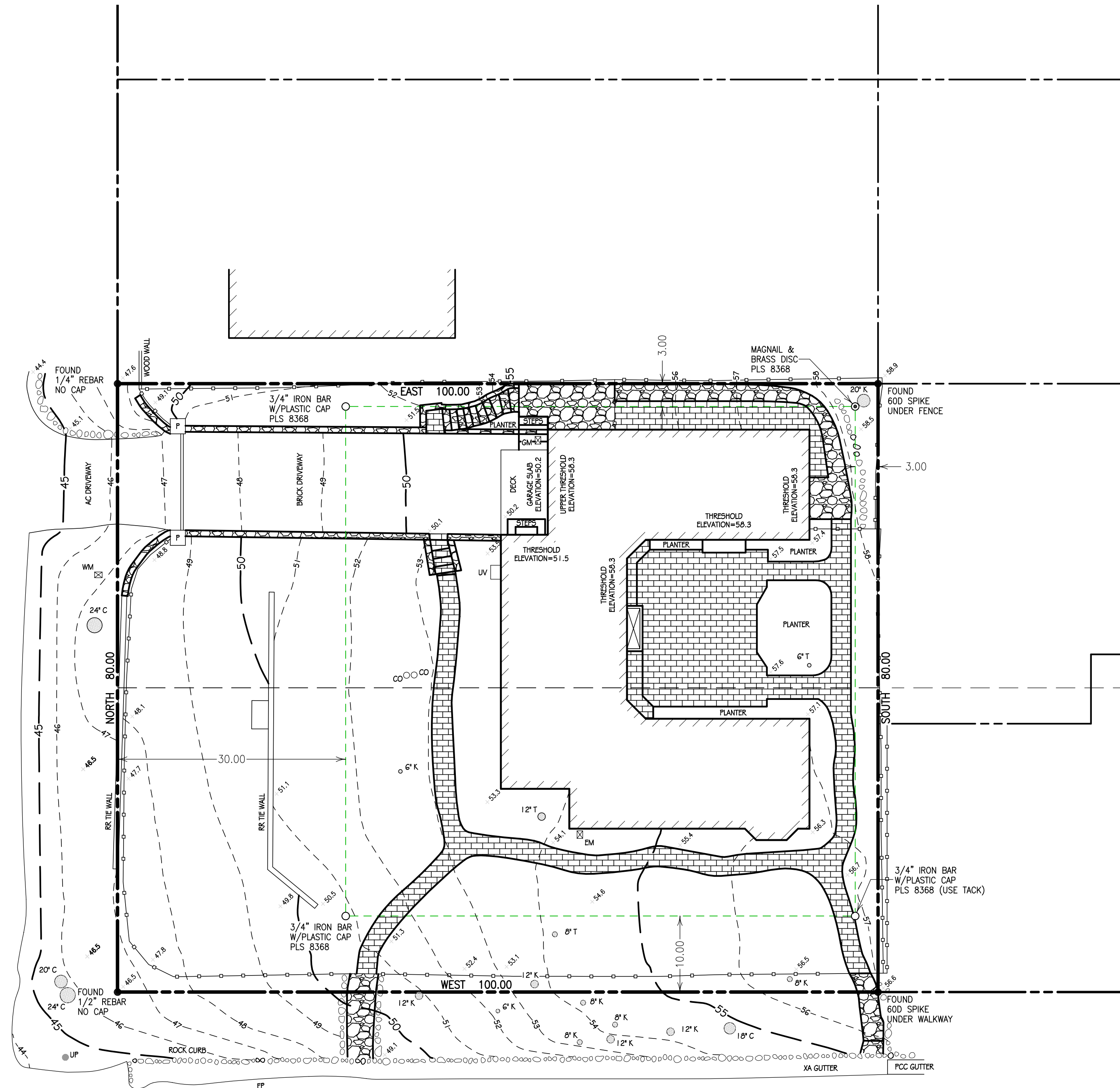
LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- REFERENCE LINE
- OLD RECORD LINE
- PROJECT BENCHMARK
- 50' CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EDGE OF PAVEMENT
- LIP OF GUTTER
- FACE OF CURB
- BACK OF CURB
- BACK OF SIDEWALK
- EDGE OF DRIVEWAY
- BUILDING OUTLINE
- CHIMNEY
- APPROXIMATE FLOOR ELEVATION
- DECK
- CONCRETE PAD
- STEP
- PLANTER
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- UTILITY POLE
- GUY WIRE
- ELECTRIC VAULT
- UTILITY VAULT
- ELECTRIC METER
- STREET LIGHT
- LAMP POST
- GAS METER
- TELEPHONE STANDARD
- CABLE TELEVISION BOX
- WOOD FENCE
- STREET SIGN
- SIGN POST
- MAIL BOX
- PILLAR
- BLOCK RETAINING WALL
- ROCK RETAINING WALL
- STACKED BLOCK WALL
- STONE WALKWAY AND/OR WALL
- EDGE OF FOLIAGE
-

ABBREVIATIONS:

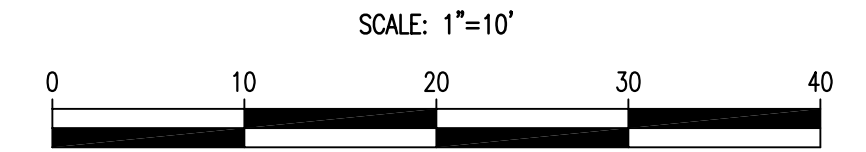
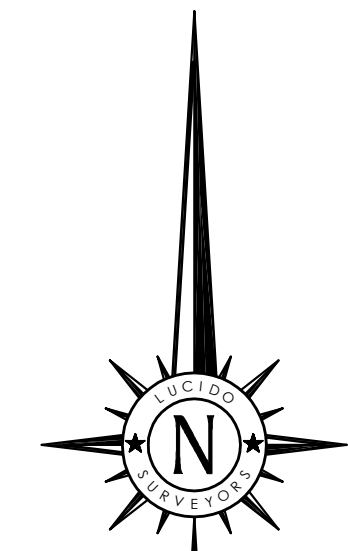
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- CS CRAWL SPACE
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- CP CONCRETE PAD
- DG DECOMPOSED GRANITE
- XA EXPOSED AGGREGATE
- HDPE HIGH DENSITY POLY ETHYLENE
- PCC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- PVC POLY VINYL CHLORIDE
- RCF REINFORCED CONCRETE PIPE
- TE TRASH ENCLOSURE

SAN ANTONIO AVENUE
(A 50 FOOT WIDE CITY STREET)



TWELFTH AVENUE
(A 50 FOOT WIDE CITY STREET)

PROJECT BENCHMARK
SURVEY MARK & ALUMINUM DISC
ELEV=50.0



BENCHMARK:

ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 50.0 HAS BEEN ASSIGNED TO A SURVEY MARK & ALUMINUM DISC SET IN THE PAVEMENT NEAR THE SOUTHERLY BOUNDARY LINE OF THE SUBJECT PROPERTY AS SHOWN HEREON.

NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY - NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
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3. DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
4. CONTOUR INTERVAL = ONE FOOT.
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6. POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC. SQUARE FOOTAGE OF BUILDINGS (IF ANY) IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
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8. THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN AUGUST OF 2022.

TOPOGRAPHIC SITE SURVEY

OF
LOTS 18 & 20, BLOCK "X"

IN
VOLUME 1, C&T PAGE 45 1/2

Records of Monterey County

PREPARED FOR

William W. Moritz

BY

LUCIDO SURVEYORS

Boundary and Construction Surveys · Topographic and Planimetric Mapping
ALTA Surveys and GIS Database Management · Land Planning and Consulting

2 Saucito Avenue
DEL REY OAKS, CALIFORNIA 93940



info@lucidosurveyors.com
(831) 620-5032



SCALE: 1"=10'

PROJECT No. 3041

SEPTEMBER 2022

CITY OF CARMEL

COUNTY OF MONTEREY

STATE OF CALIFORNIA

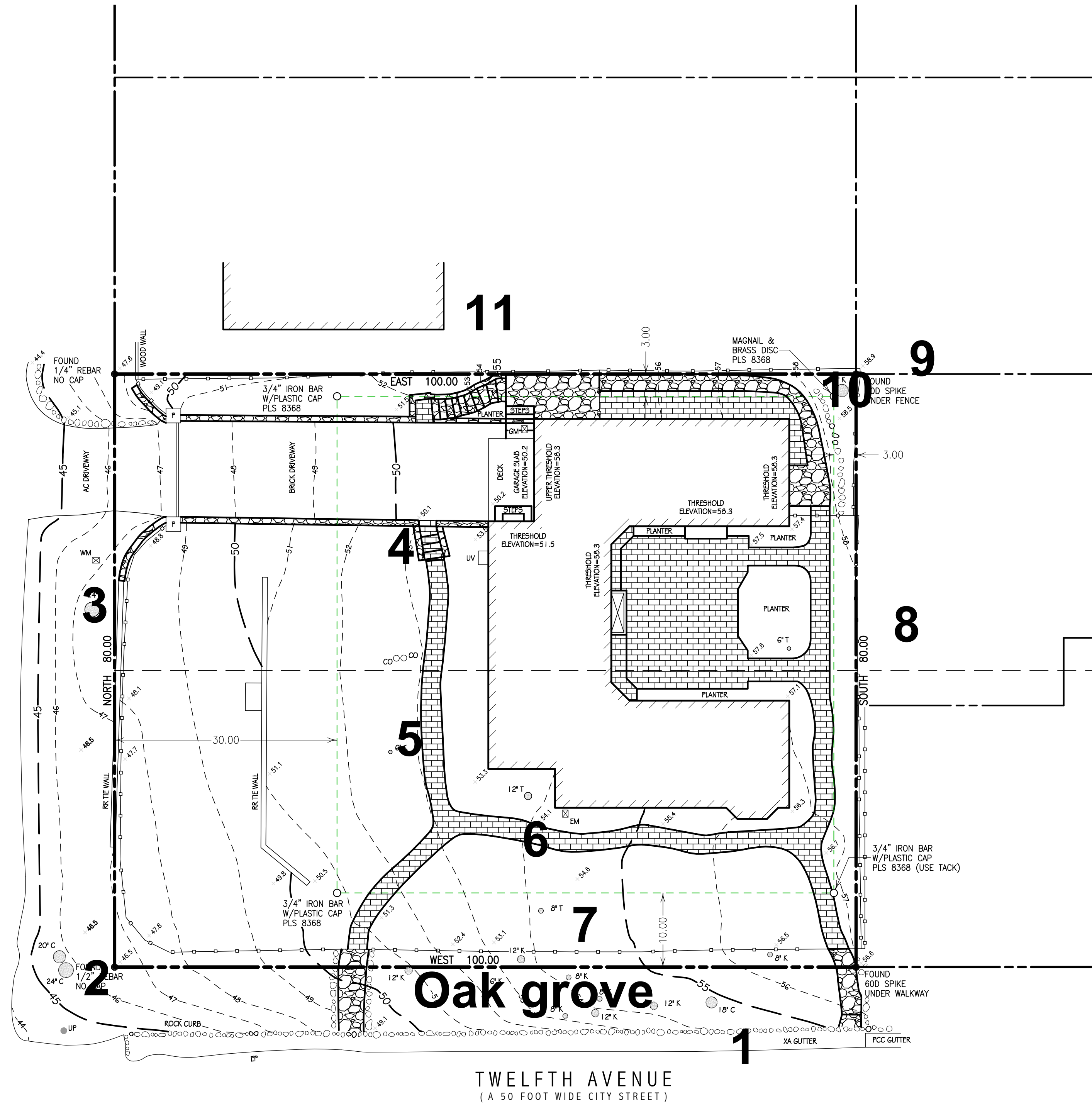
LEGEND:

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- REFERENCE LINE
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- 50--- CONTOUR (MAJOR)
- CONTOUR (MINOR)
- EP --- EDGE OF PAVEMENT
- LIP OF GUTTER
- FACE OF CURB
- BACK OF CURB
- BACK OF SIDEWALK
- EDGE OF DRIVEWAY
- BUILDING --- BUILDING OUTLINE
- CHIMNEY
- THRESHOLD ELEVATION --- APPROXIMATE FLOOR ELEVATION
- DECK --- DECK
- CONC PAD --- CONCRETE PAD
- STEP --- STEP
- PLANTER --- PLANTER
- ⊙ W V --- WATER VALVE
- ⊙ W M --- WATER METER
- ⊙ F H --- FIRE HYDRANT
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- ⊙ C T V B --- CABLE TELEVISION BOX
- WOOD FENCE
- WIRE FENCE
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- ⊙ P --- PILLAR
- BLOCK WALL --- BLOCK RETAINING WALL
- ROCK WALL --- ROCK RETAINING WALL
- STACKED BLOCK WALL
- STONE WALKWAY AND/OR WALL
- EDGE OF FOLIAGE
- ⊙ 12" T --- TREE WITH SIZE AND TYPE
- E EUCALYPTUS
- C CYPRESS
- K OAK
- M PALM
- P PINE
- R REDWOOD
- T TREE
- 8.0 SPOT ELEVATION

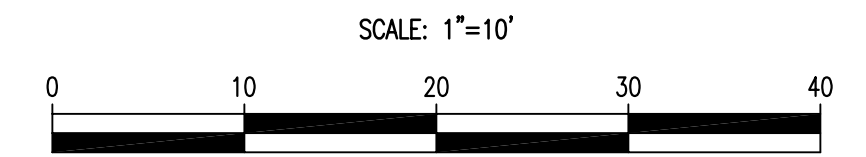
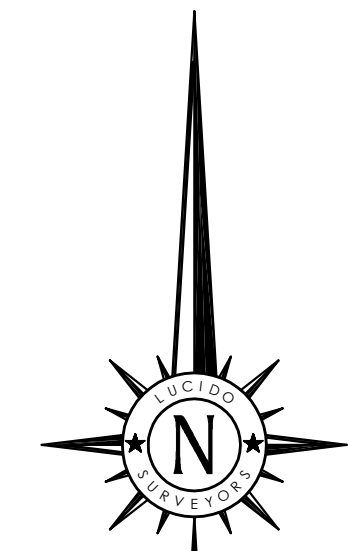
ABBREVIATIONS:

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SAN ANTONIO AVENUE
(A 50 FOOT WIDE CITY STREET)



PROJECT BENCHMARK
SURVEY MARK & ALUMINUM DISC
ELEV=50.0



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SCALE: 1"=10'

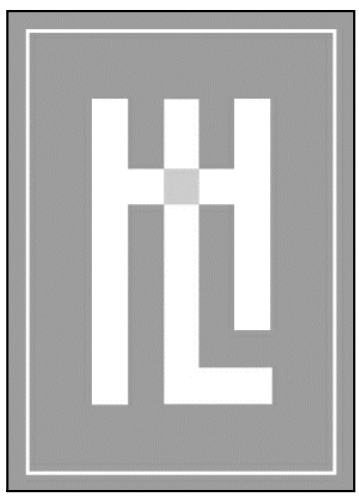
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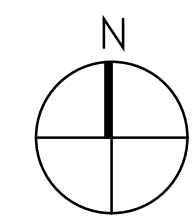
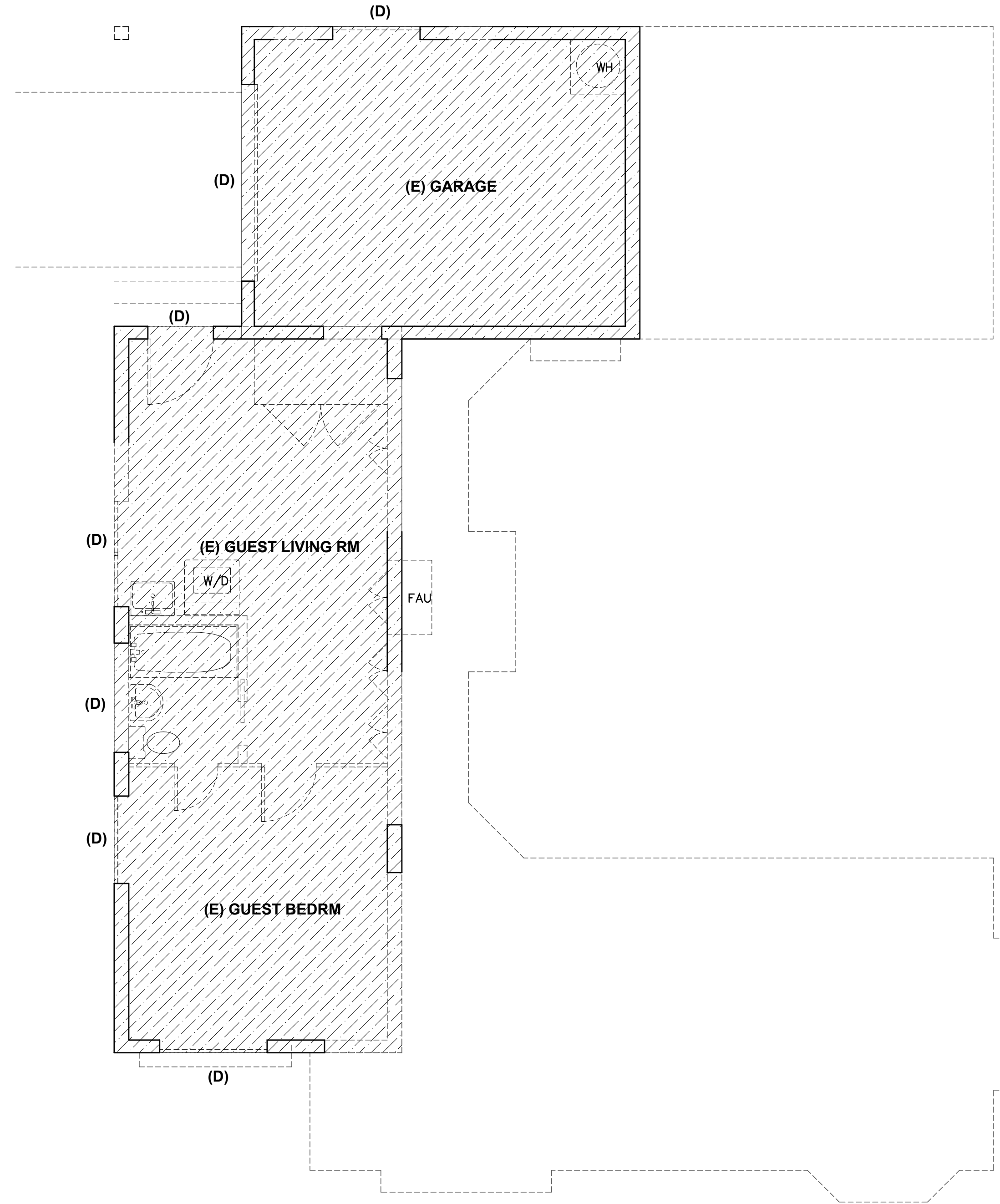
DATE: MAY 16, 2023

SCALE: 1/4" = 1'-0"

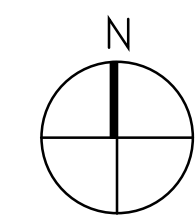
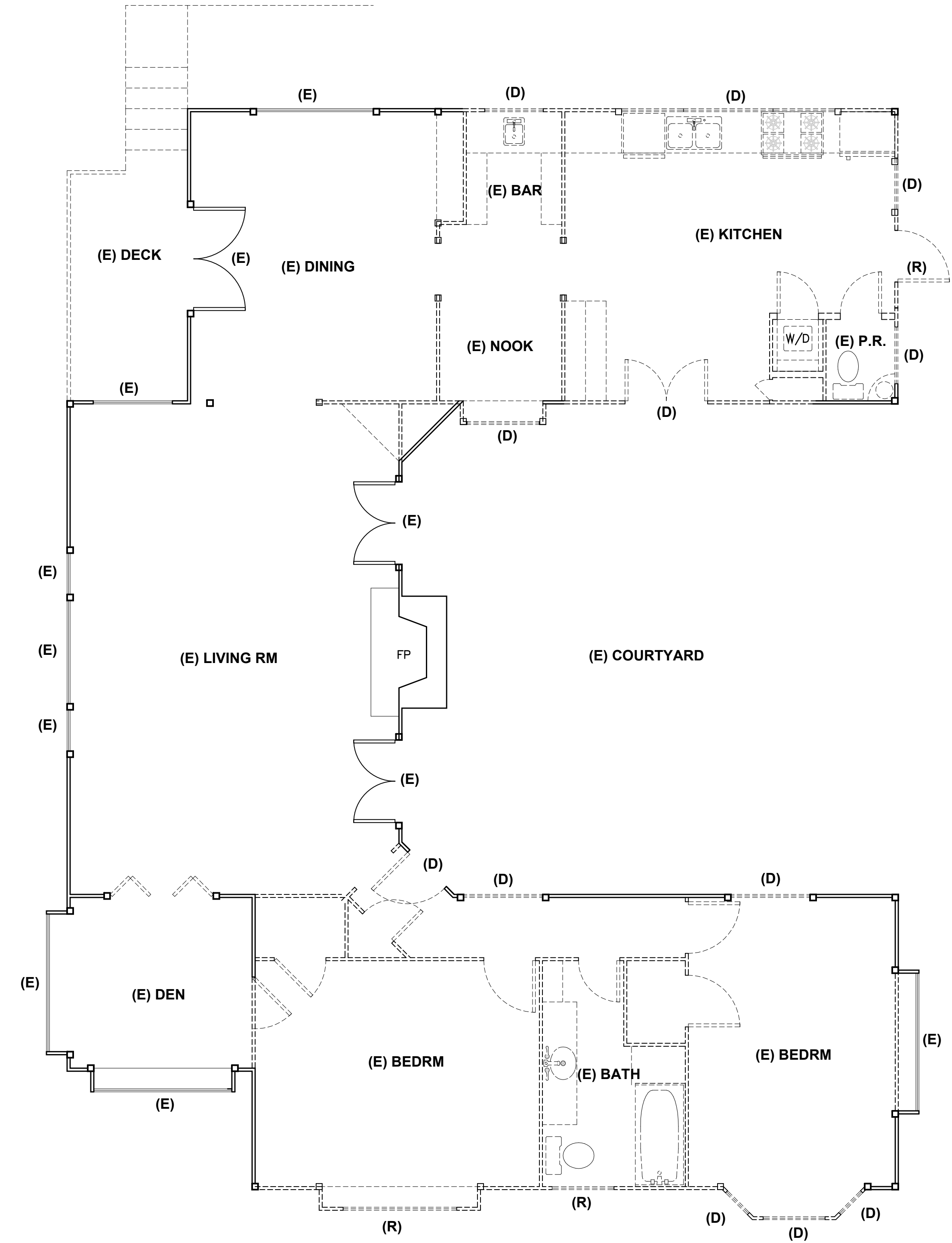
DRAWN: JM

JOB NUMBER:

REVISION



EXISTING / DEMOLITION LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING / DEMOLITION MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

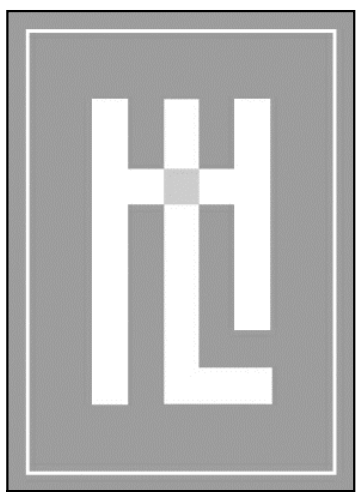
WALL LEGEND:

- (E) SINGLE WALL TO REMAIN
- (E) SINGLE WALL TO BE REMOVED
- (E) (E) EXTERIOR DOORS, WINDOW TO REMAIN
- (D) (E) EXTERIOR DOORS, WINDOW TO BE REMOVED
- (R) (E) EXTERIOR DOORS, WINDOW TO BE RELOCATED
- (E) PLUMBING FIXTURES, APPLIANCES, CASEWORKS & OTHER ITEMS TO BE REMOVED
- (E) RETAINING WALL TO BE REMOVED
- (E) CONCRETE SLAB TO BE REMOVED

EXISTING / DEMOLITION PLAN

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

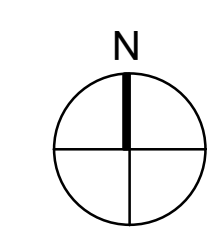
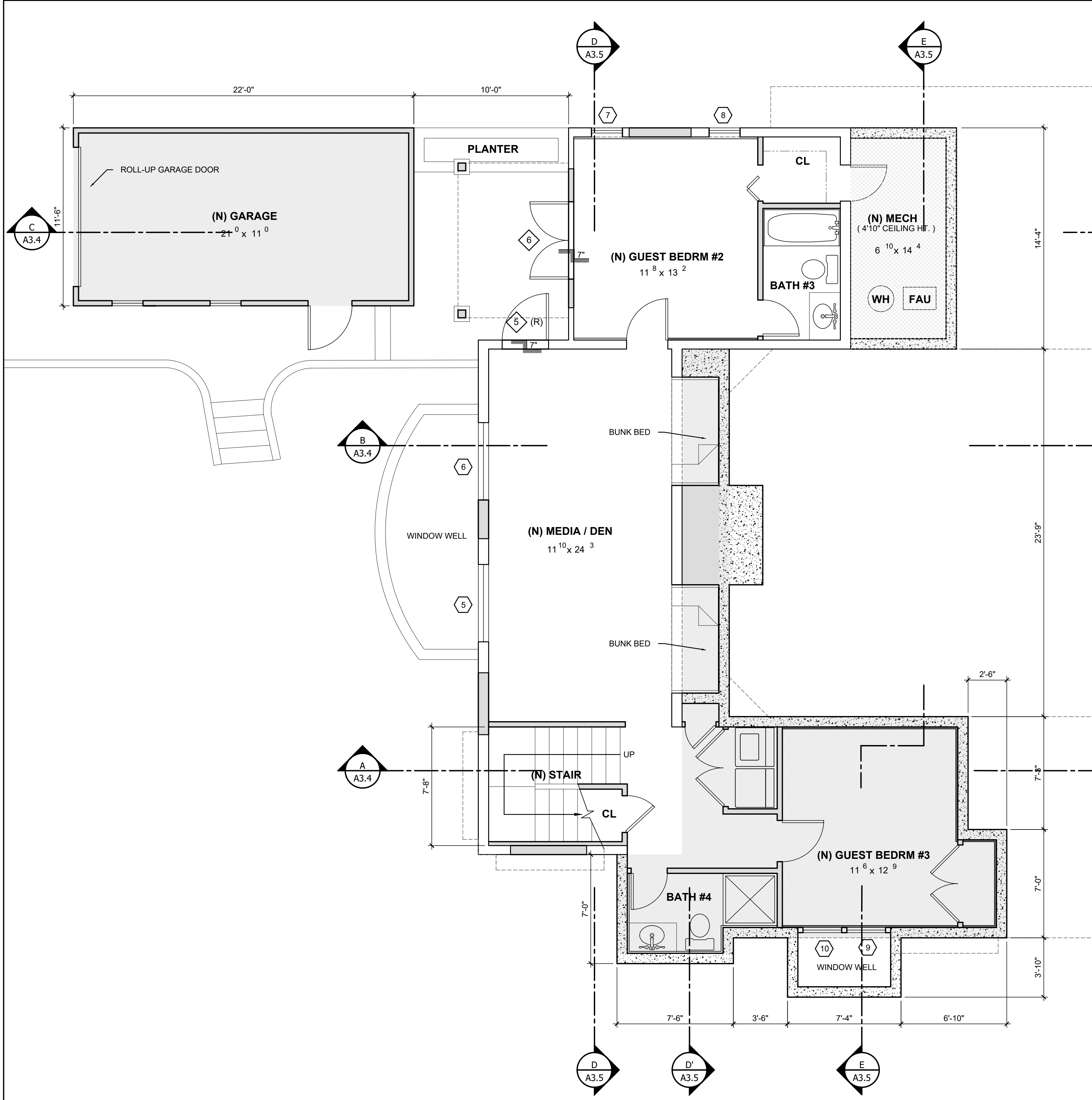
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**HOLDREN+LIETZKE
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Ph: 831.649.6001
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DATE: MAY 16, 2023
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DRAWN: JM
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REVISION

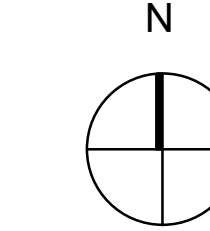
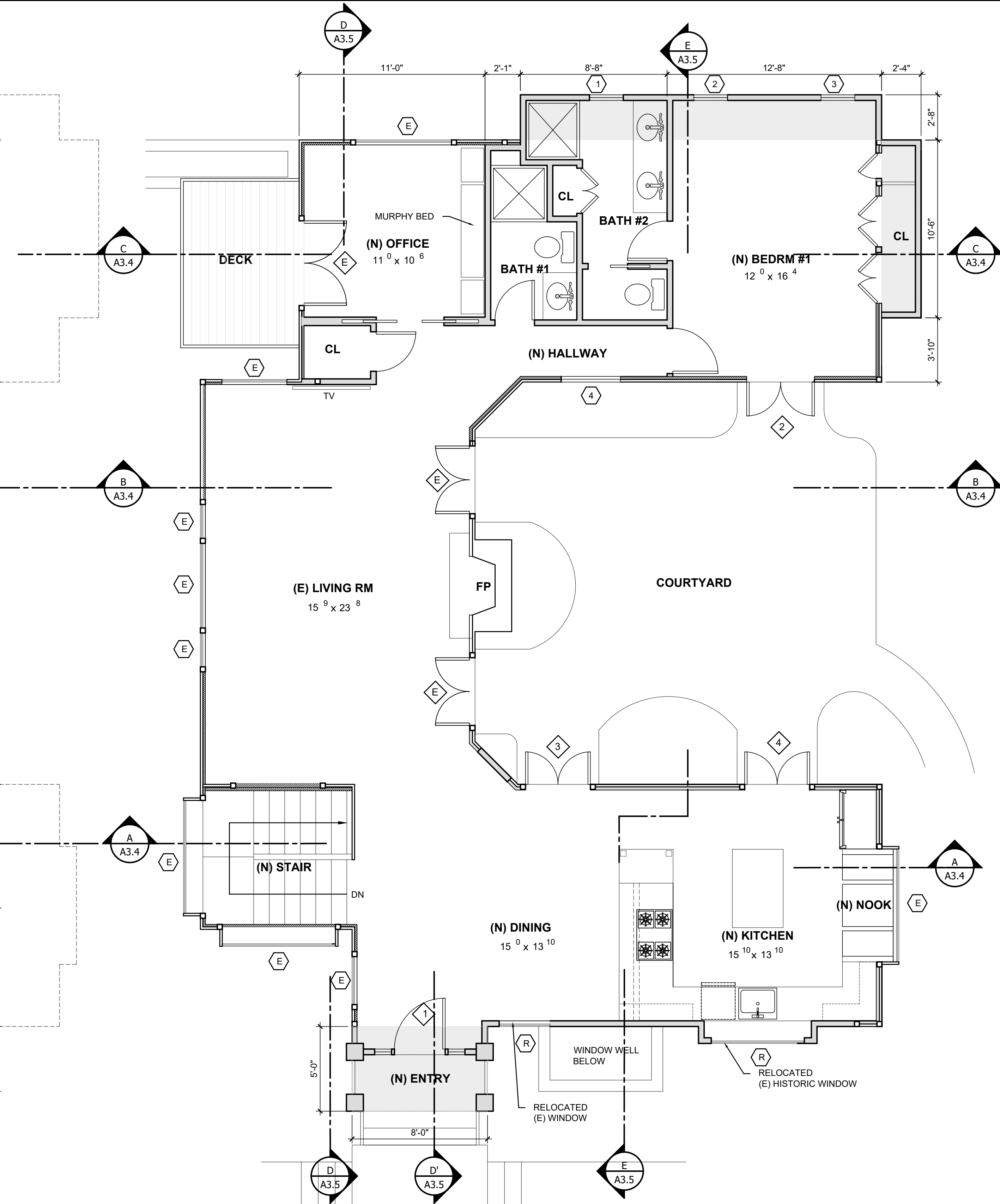


PROPOSED LOWER FLOOR / GARAGE PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA:

- (E) BASEMENT = 694 S.F.
- (N) ADDITION = 398 S.F.
- (N) GARAGE = 231 S.F.
- TOTAL = 1,323 S.F.**



PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA:

- (E) = 1,441 S.F.
- (N) = 138 S.F.
- TOTAL = 1,579 S.F.**

LEGEND:

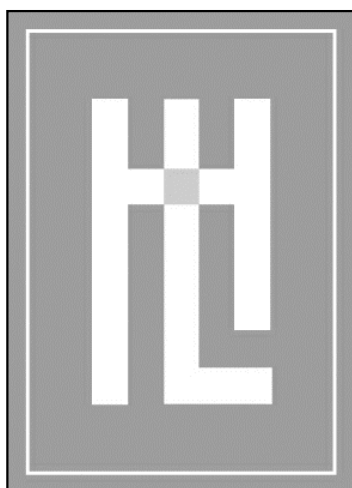
- (E) WALL TO REMAIN
- (N) INTERIOR STUD WALL
- (N) AREA OF ADDITION

NOTE:
SEE DEMOLITION PLAN
FOR WALLS TO BE REMOVED

PROPOSED FLOOR PLAN

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.2



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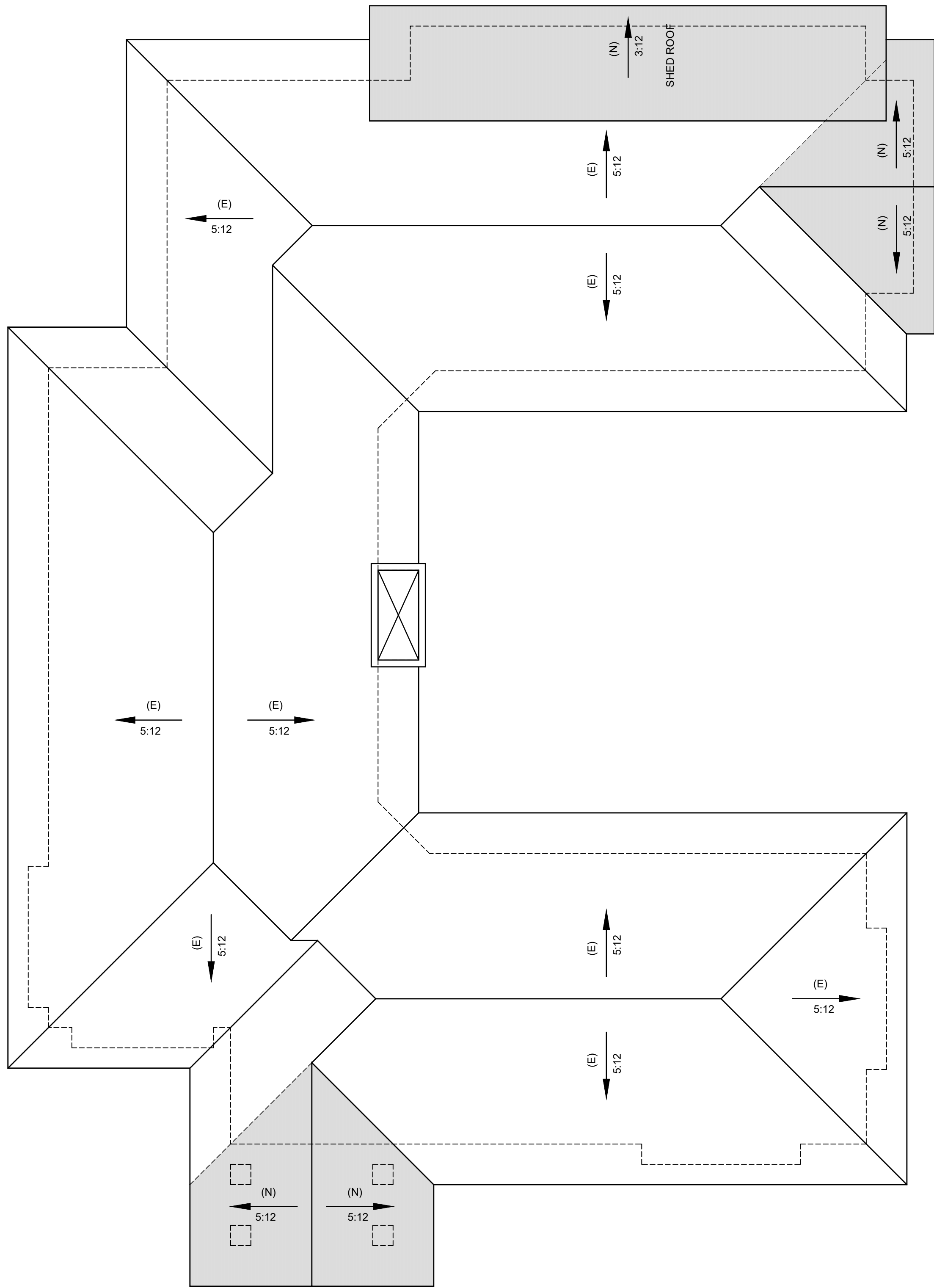
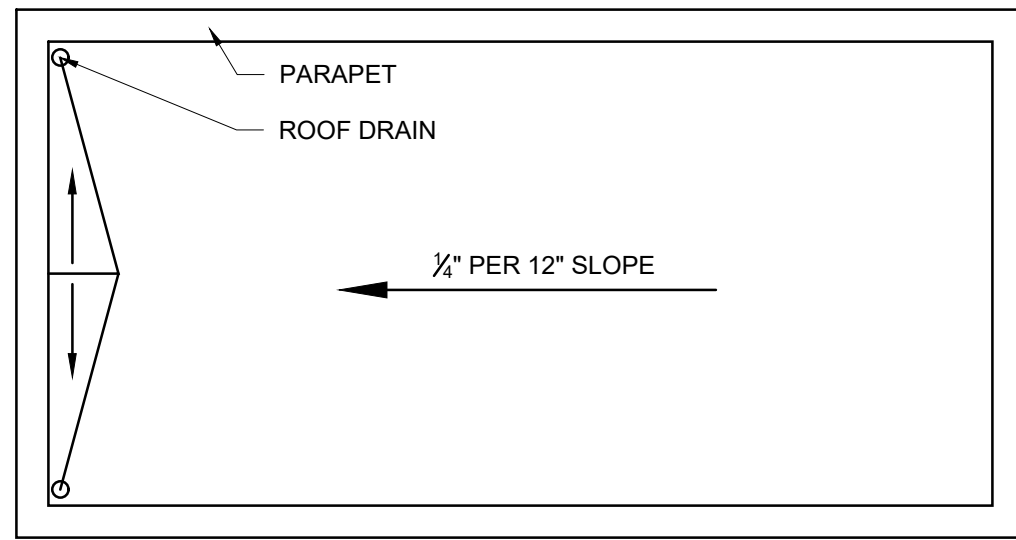
DATE: MAY 16, 2023

SCALE: 1/4"=1'-0"

DRAWN: JM

JOB NUMBER:

REVISION



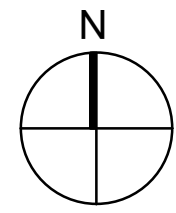
WINDOW SCHEDULE

NOTE: ALL NEW WINDOWS ARE TO MATCH EXISTING WINDOW WITH TRUE-DIVIDED LIGHTS.

MARK	TYPE	NOMINAL DIMENSIONS		HEAD HEIGHT (ABOVE FIN. FLR.)	FRAME	REMARKS
		WIDTH	HEIGHT			
(E)						EXISTING WOOD WINDOWS TO REMAIN WITH TRUE DIVIDED LIGHTS
(R)						EXISTING WOOD WINDOWS TO BE RELOCATED WITH TRUE DIVIDED LIGHTS
1	CASEMENT	2'-0"	3'-6"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
2	CASEMENT	2'-0"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
3	CASEMENT	2'-0"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
4	FIXED	4'-0"	4'-6"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
5	DBL. CASEMENT	5'-0"	6'-8"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
6	DBL. CASEMENT	5'-0"	6'-8"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
7	FIXED	2'-0"	2'-0"	6'-8"	WOOD	
8	FIXED	2'-0"	2'-0"	6'-8"	WOOD	
9	CASEMENT	2'-6"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT
10	CASEMENT	2'-6"	4'-0"	6'-8"	WOOD	TRUE-DIVIDED LIGHT

EXTERIOR DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	CORE	REMARKS
1	EXTERIOR	3'-0"	6'-8"	SOLID WOOD CORE	MAIN ENTRY WOOD DOOR WITH TRUE-DIVIDED SIDELIGHTS
2	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS
3	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS
4	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS
5	EXTERIOR	3'-0"	6'-8"	SOLID WOOD CORE	DUTCH DOOR - RELOCATED FROM (E) KITCHEN
6	EXTERIOR	PR. 2'-6"	6'-8"	SOLID WOOD CORE	FRENCH DOOR WITH TRUE-DIVIDED LIGHTS



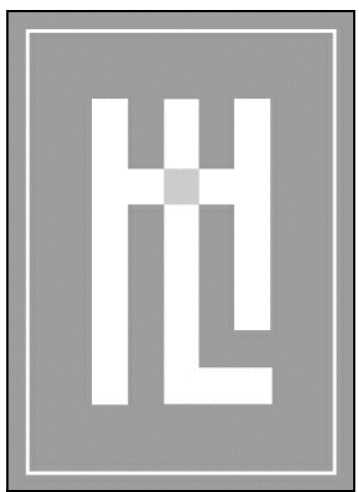
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

PROPOSED ROOF PLAN / WINDOW , DOOR SCHEDULE

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.3



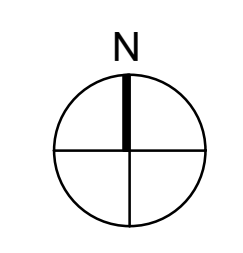
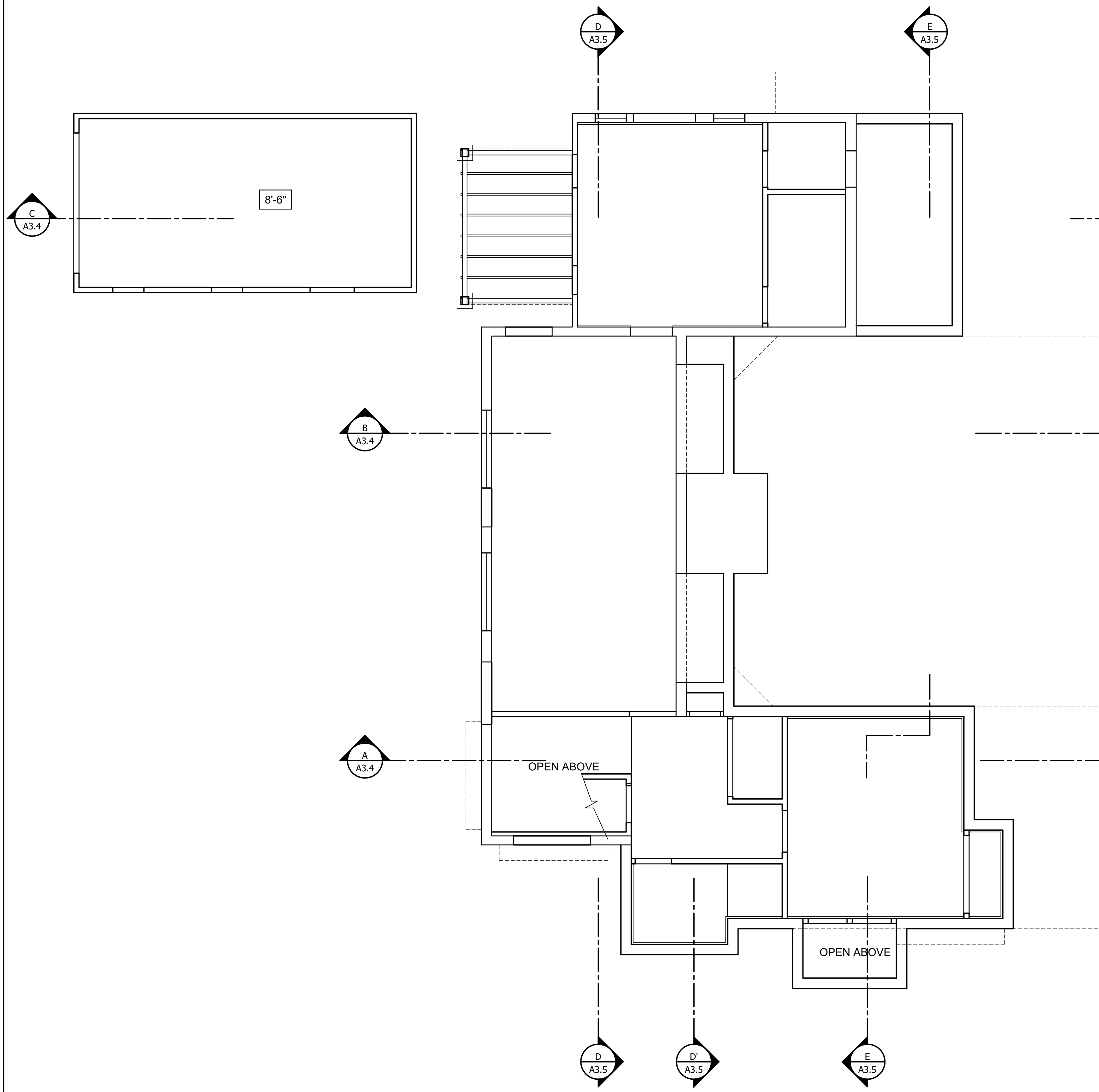
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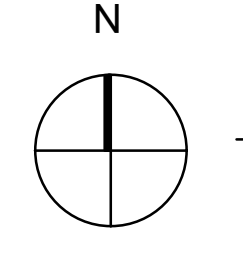
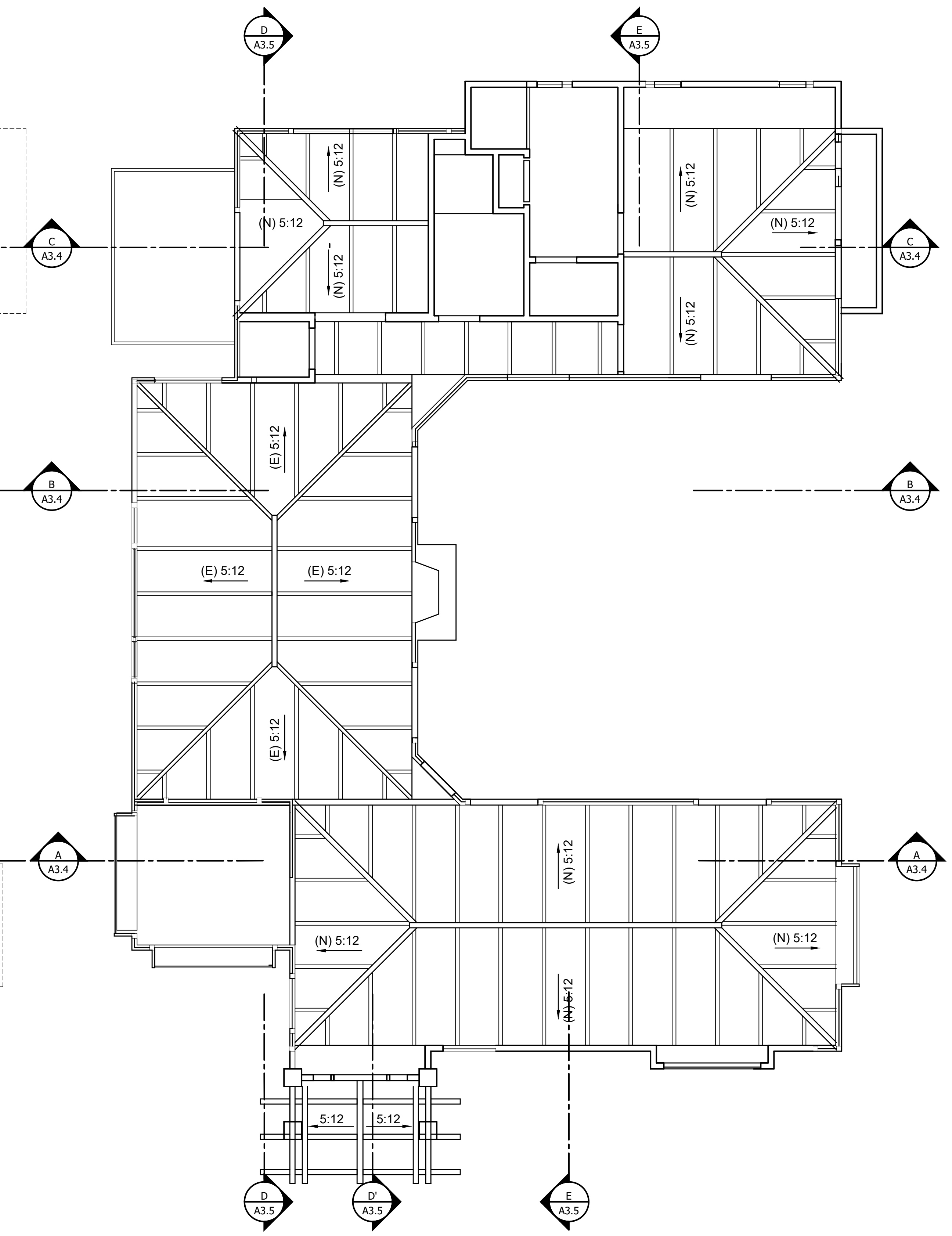
DATE: MAY 16, 2023
SCALE: 1/4"=1'-0"
DRAWN: JM
JOB NUMBER:
REVISION:

PROPOSED REFLECTED CEILING PLAN
RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

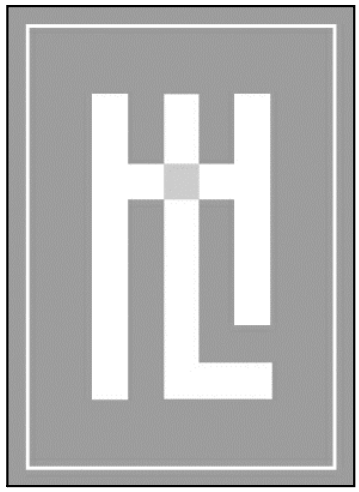
A2.4



LOWER FLOOR / GARAGE REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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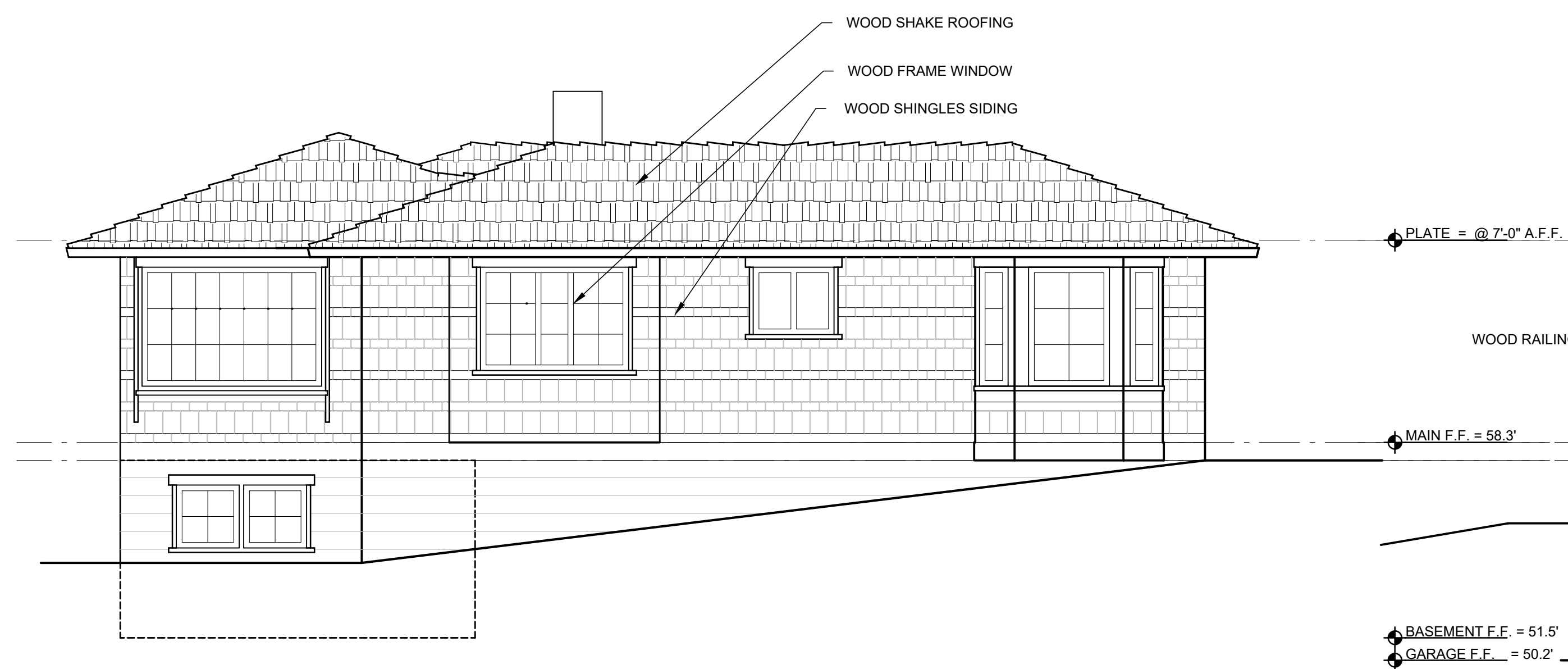
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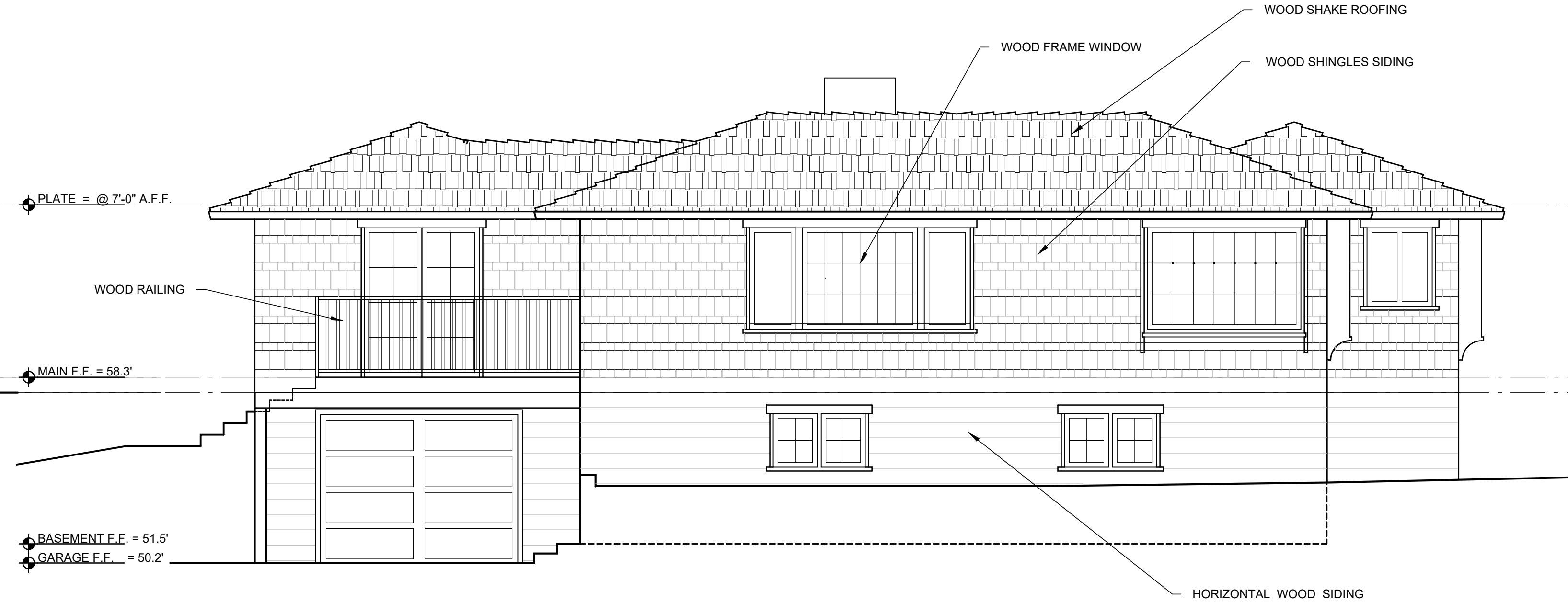
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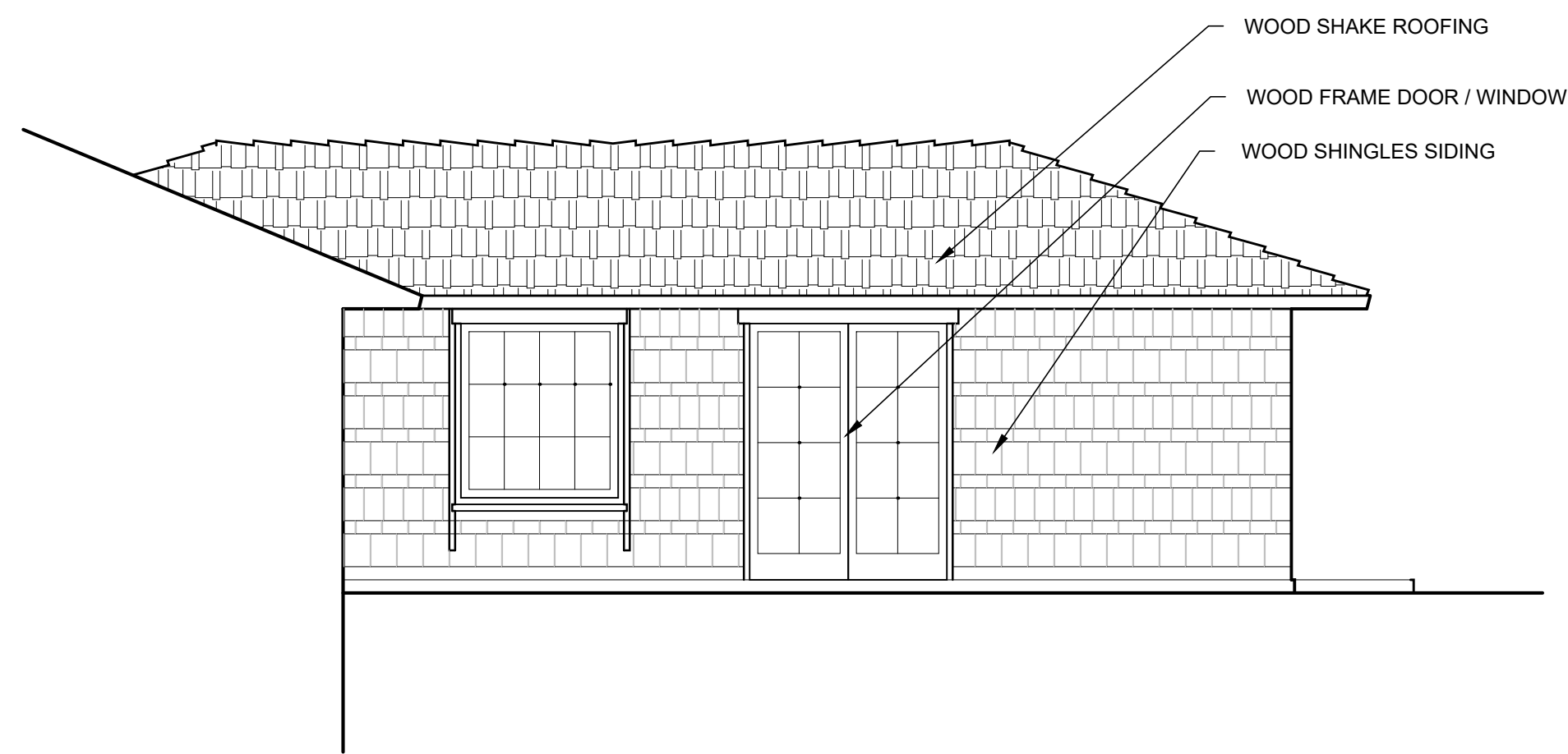
REVISION



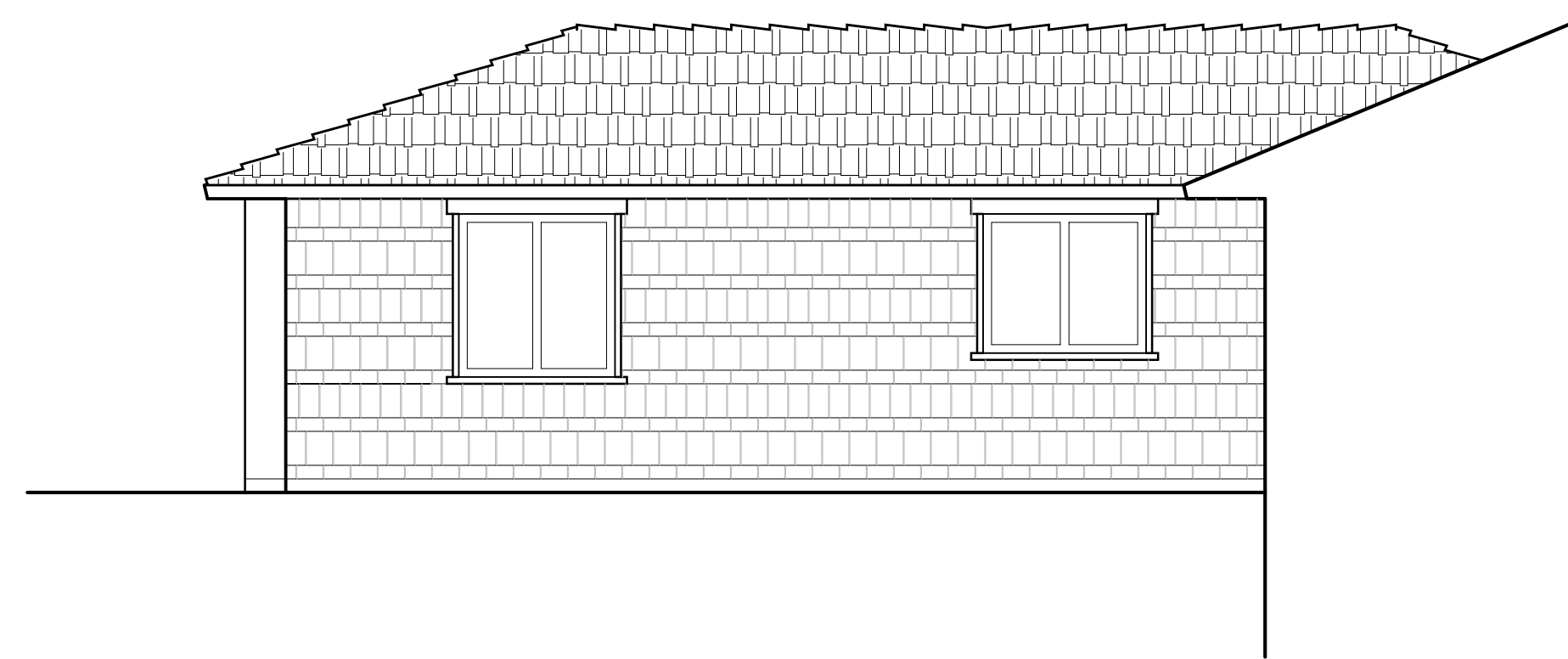
(E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



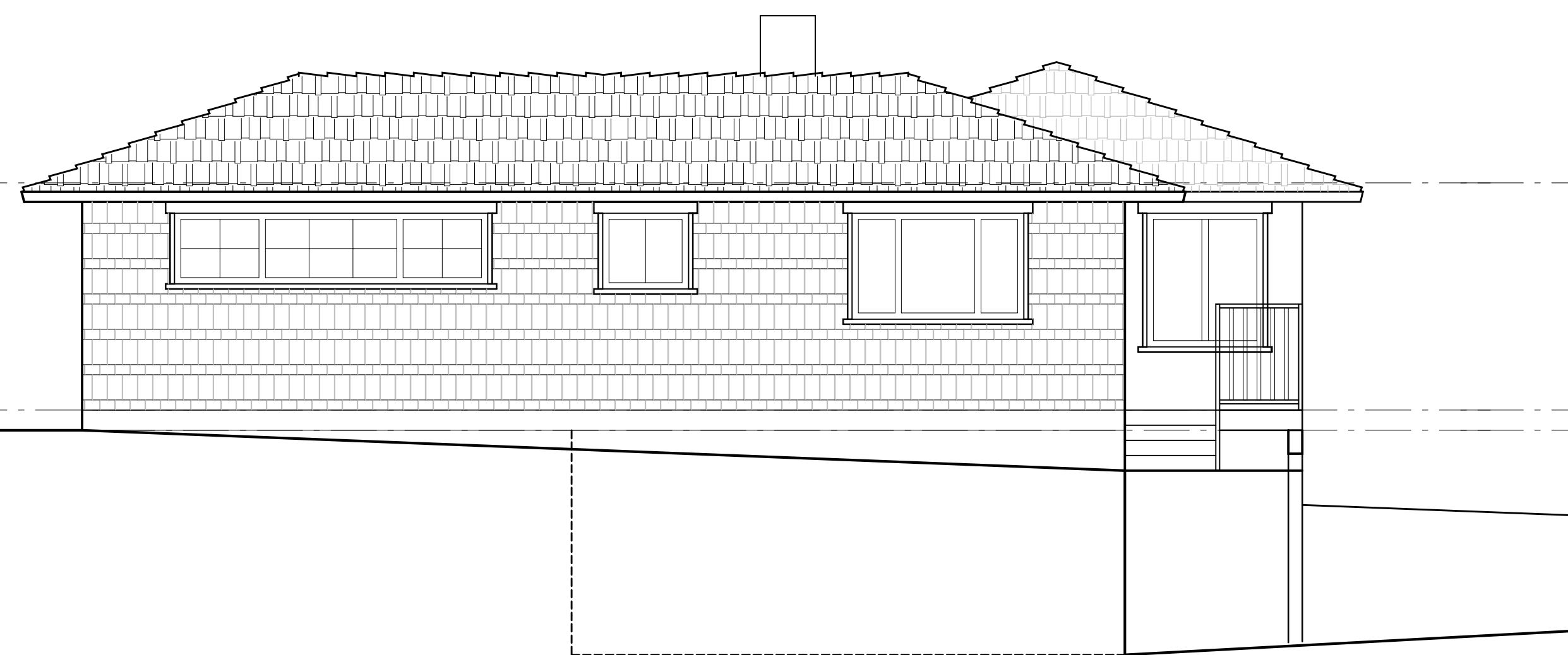
(E) WEST ELEVATION
SCALE: 1/4" = 1'-0"



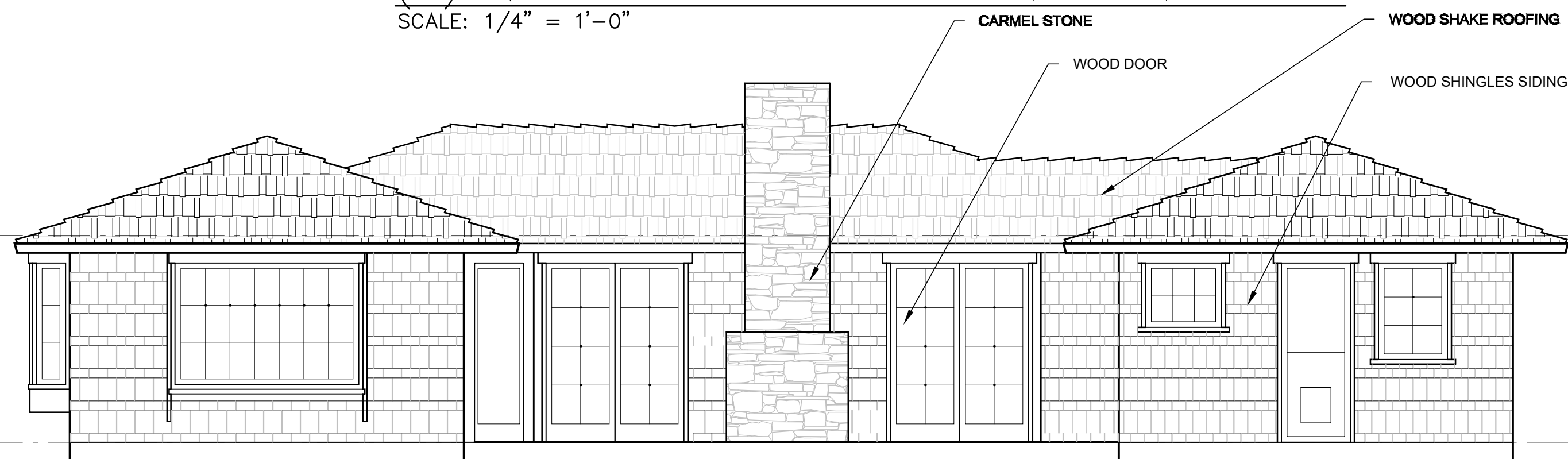
(E) SOUTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"



(E) NORTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"



(E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"

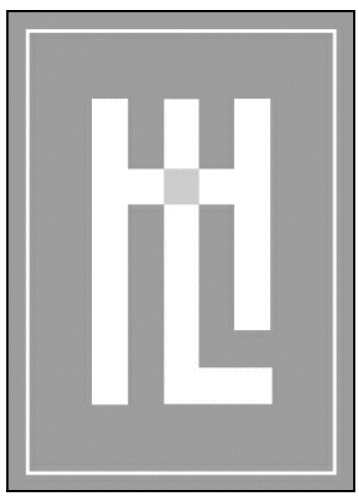


(E) EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING ELEVATION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

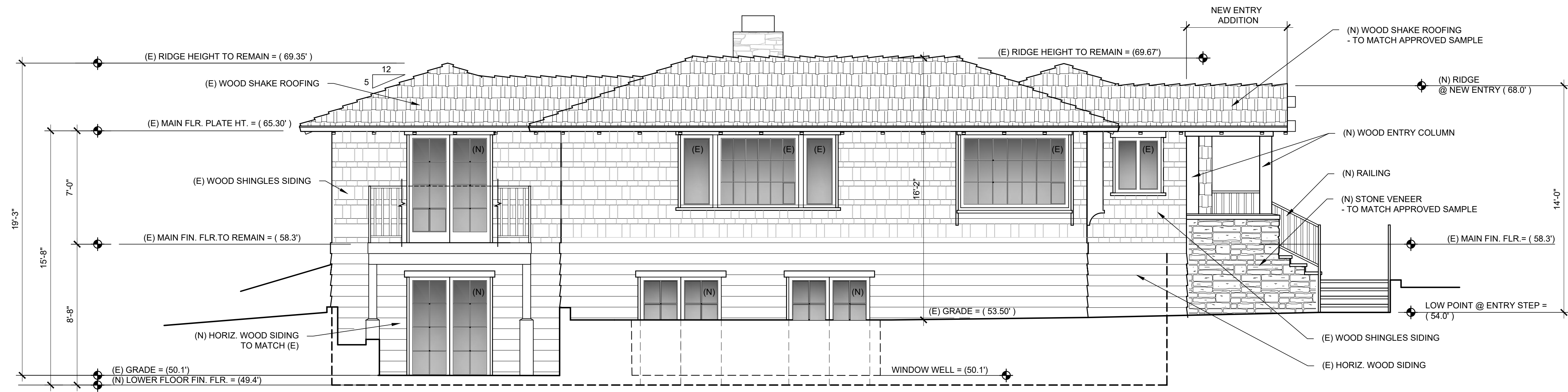
A3.0



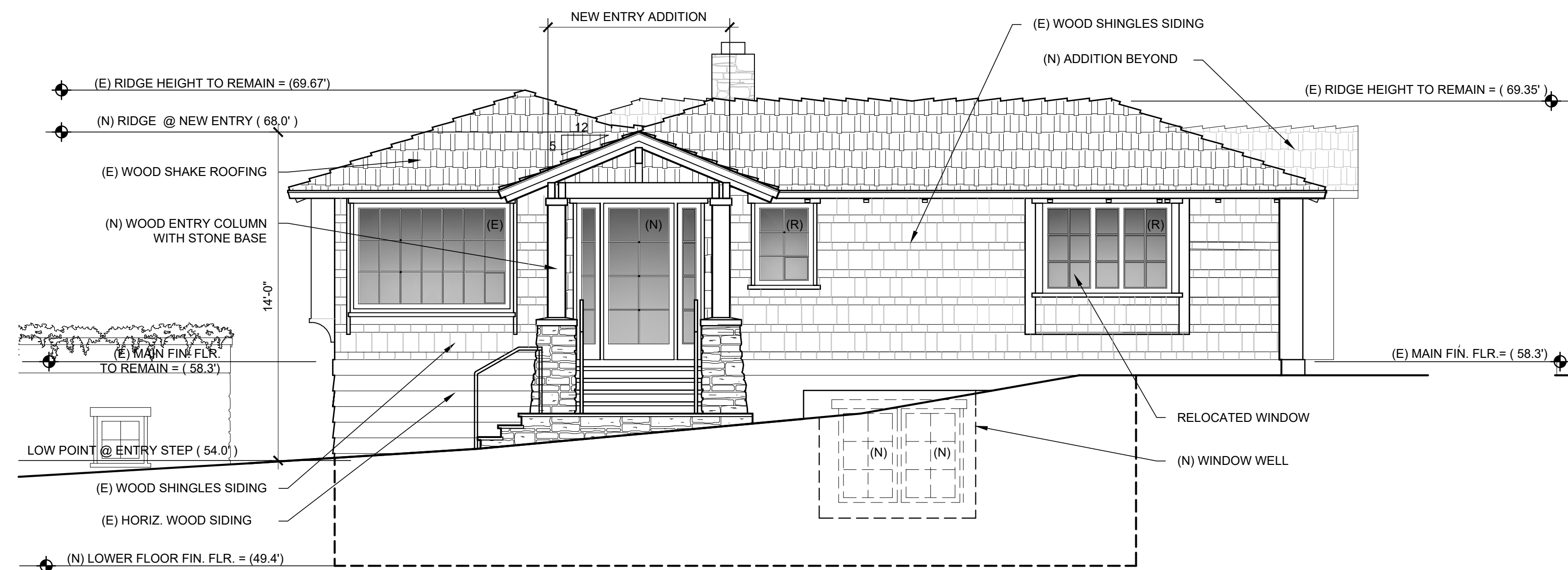
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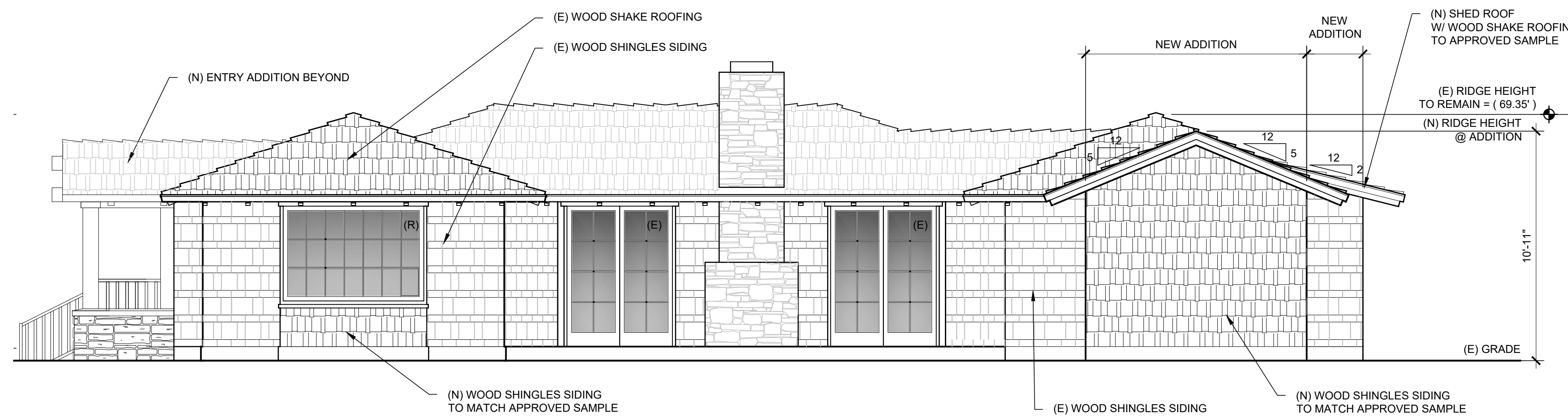
DATE: MAY 16, 2023
SCALE: 1/4" = 1'-0"
DRAWN: JM
JOB NUMBER:
REVISION:



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

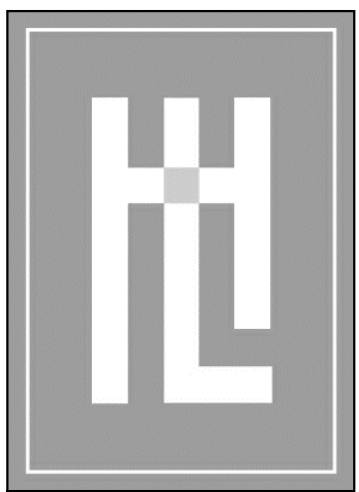


EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED ELEVATION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

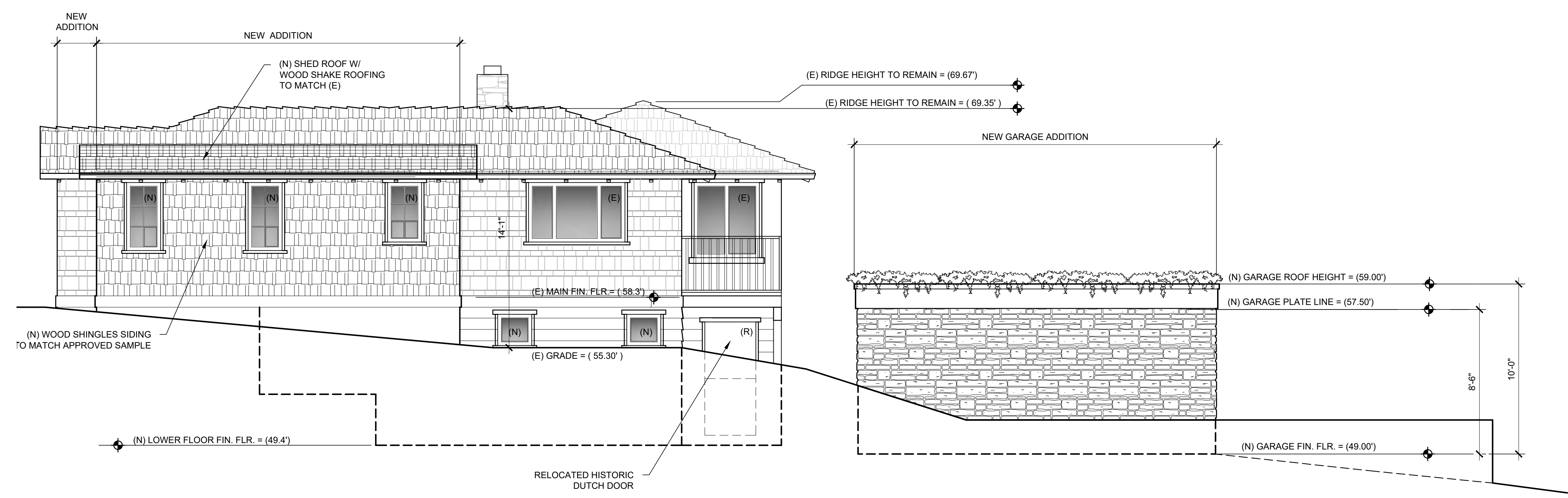
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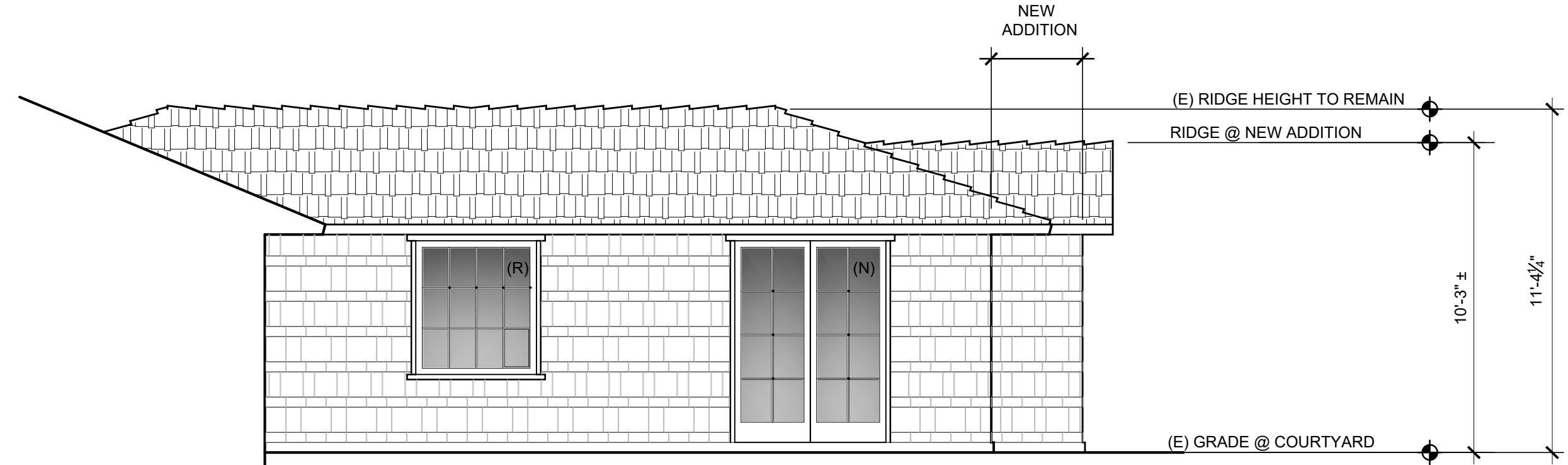
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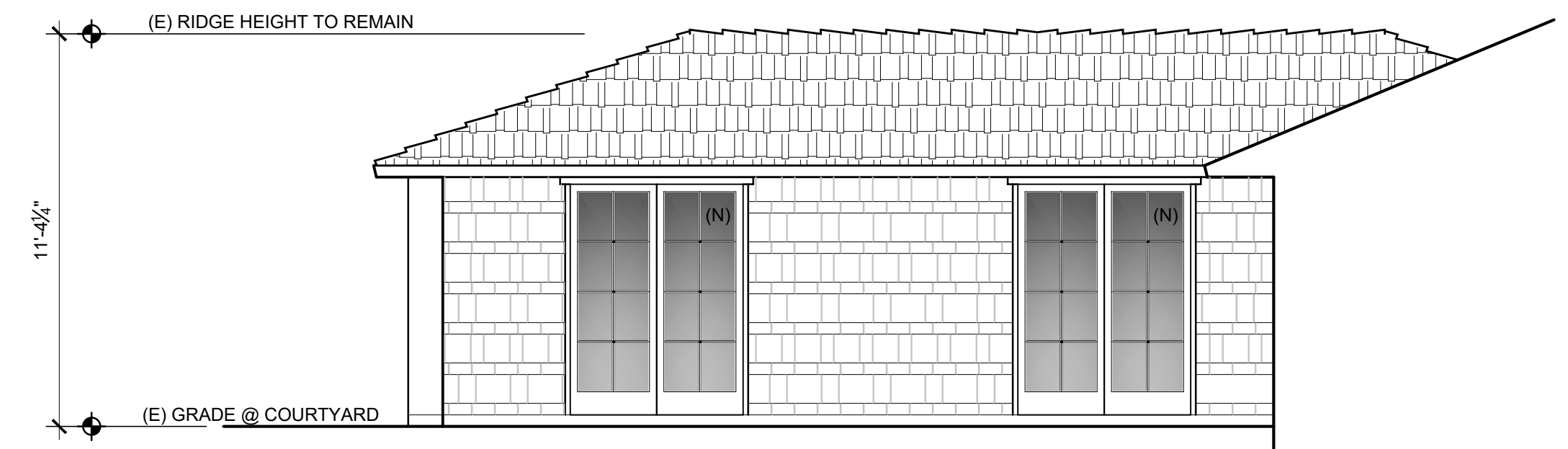
DATE: MAY 16, 2023
SCALE: 1/4" = 1'-0"
DRAWN: JM
JOB NUMBER:
REVISION:



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



COURTYARD NORTH ELEVATION
SCALE: 1/4" = 1'-0"



COURTYARD SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



STONE
EXISTING CARMEL STONE
AT RETAINING WALL DRIVEWAY



WOOD DOORS
MATCH EXISTING
WITH TRUE-DIVIDED LIGHTS



WOOD WINDOWS
MATCH EXISTING
WITH TRUE-DIVIDED LIGHTS



WOOD WINDOWS
MATCH EXISTING



HORIZONTAL WOOD SIDING
EXISTING

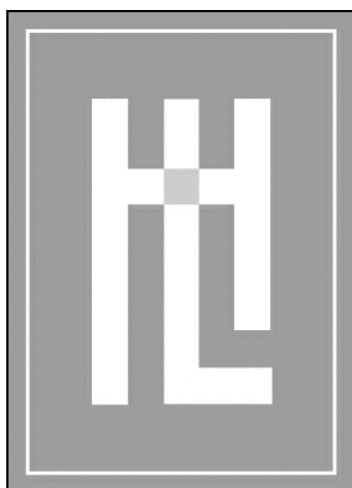


WOOD SHINGLES SIDING
EXISTING

PROPOSED ELEVATION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
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A3.2



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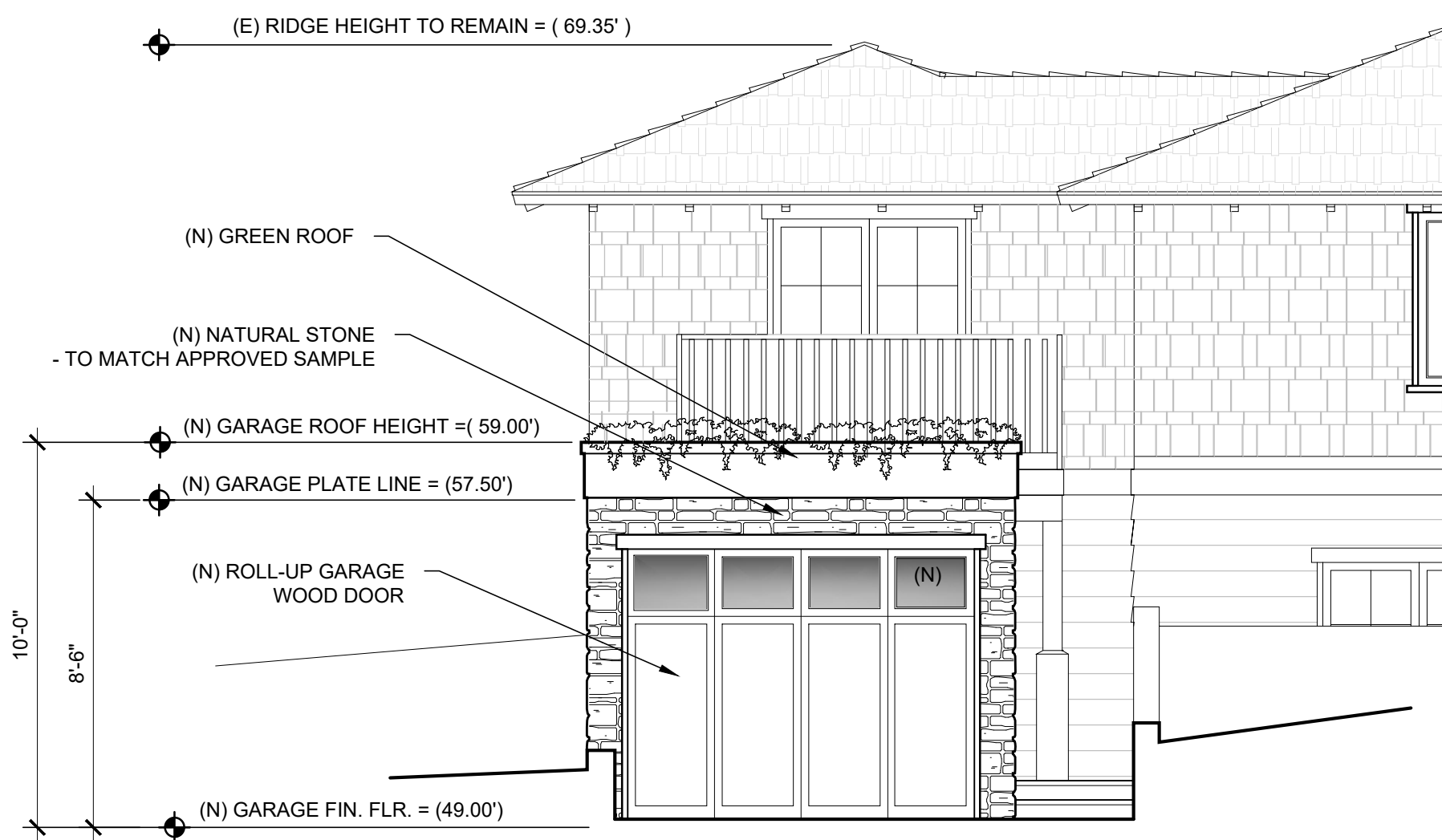
DATE: MAY 16, 2023

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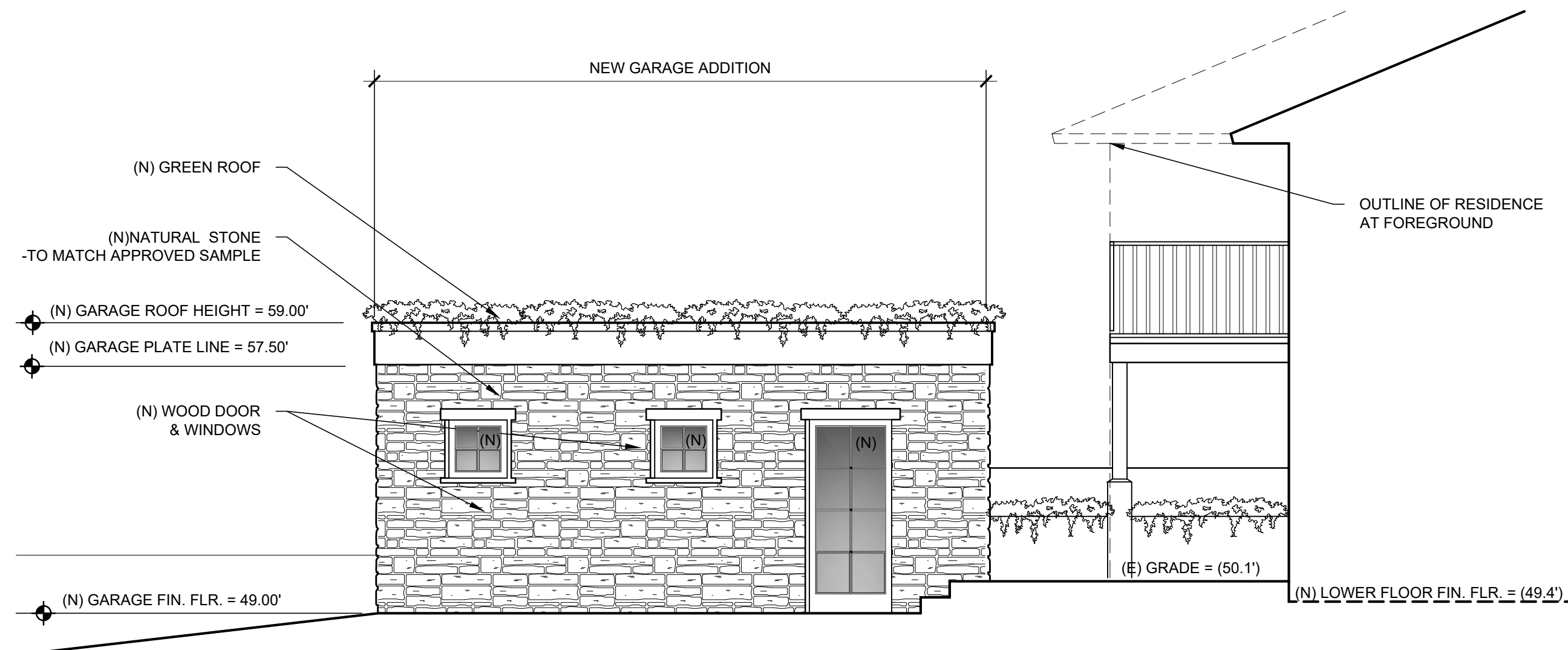
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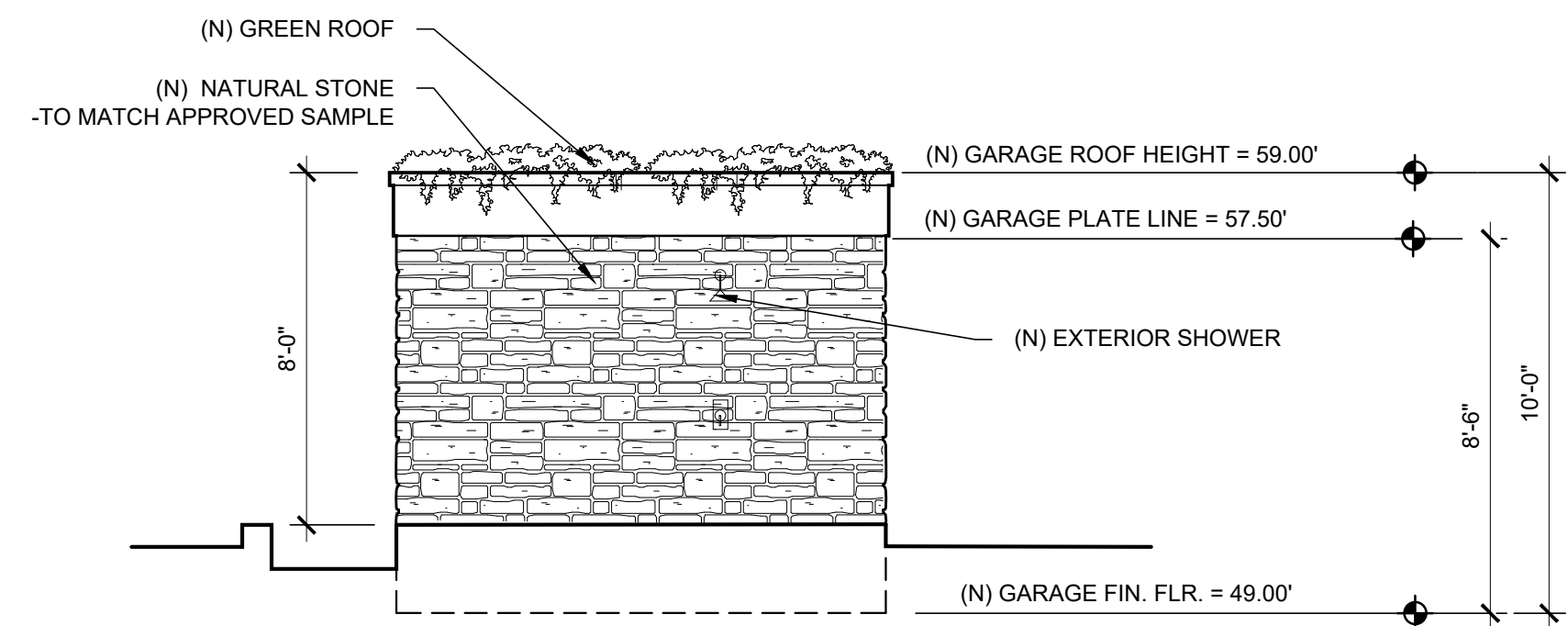
REVISION



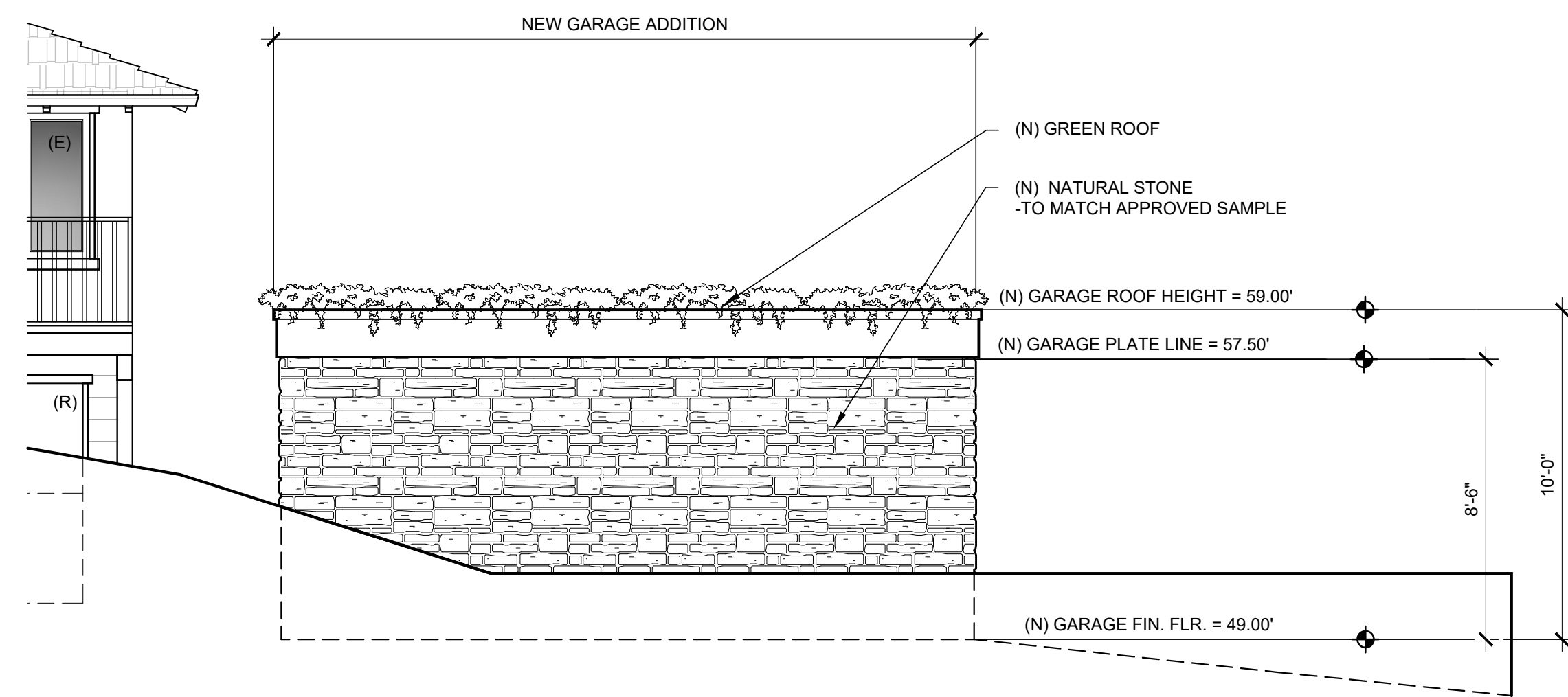
PARTIAL WEST ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"



PARTIAL SOUTH ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"



PARTIAL EAST ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"

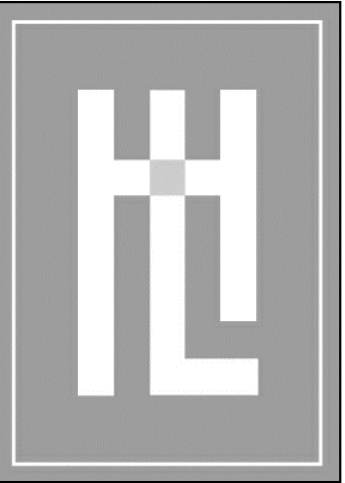


PARTIAL NORTH ELEVATION (@ GARAGE)
SCALE: 1/4" = 1'-0"

PROPOSED GARAGE ELEVATIONS

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NE CORNER OF 12th STREET and SAN ANTONIO
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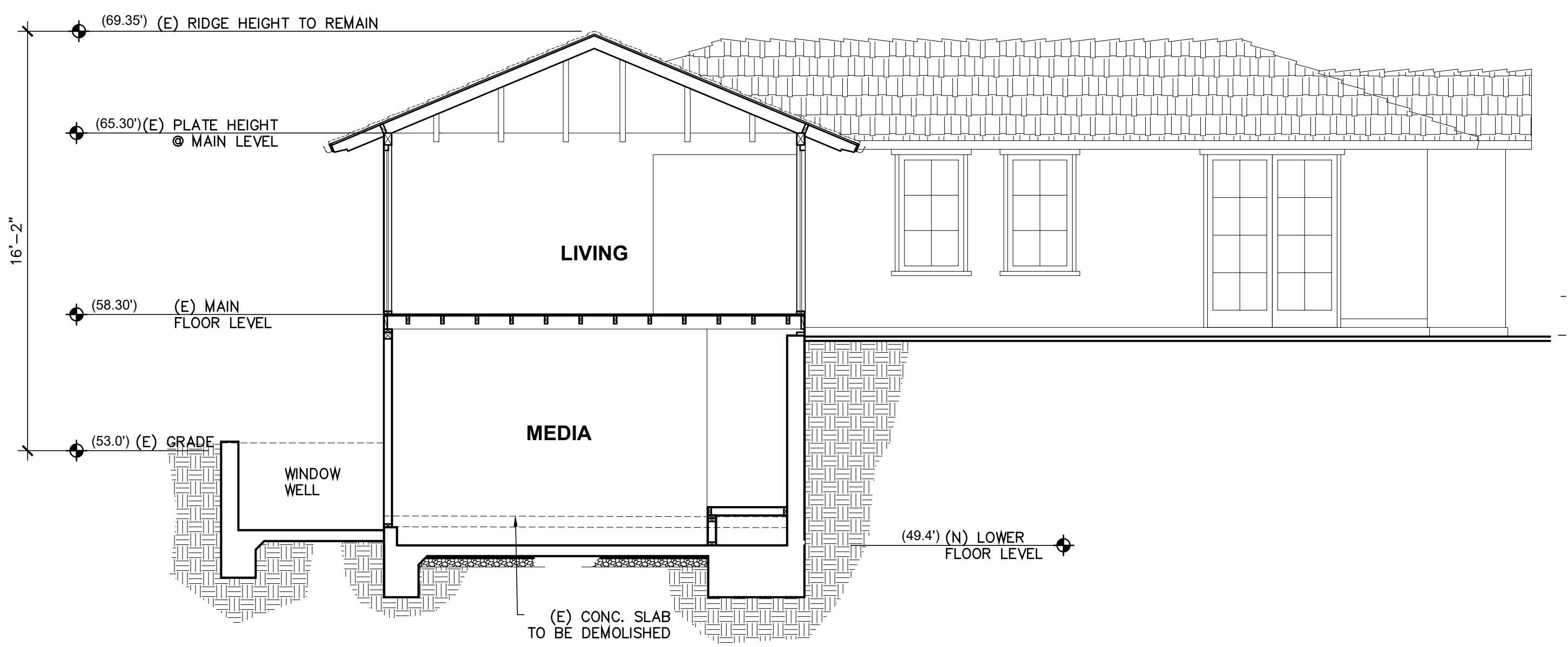
A3.3



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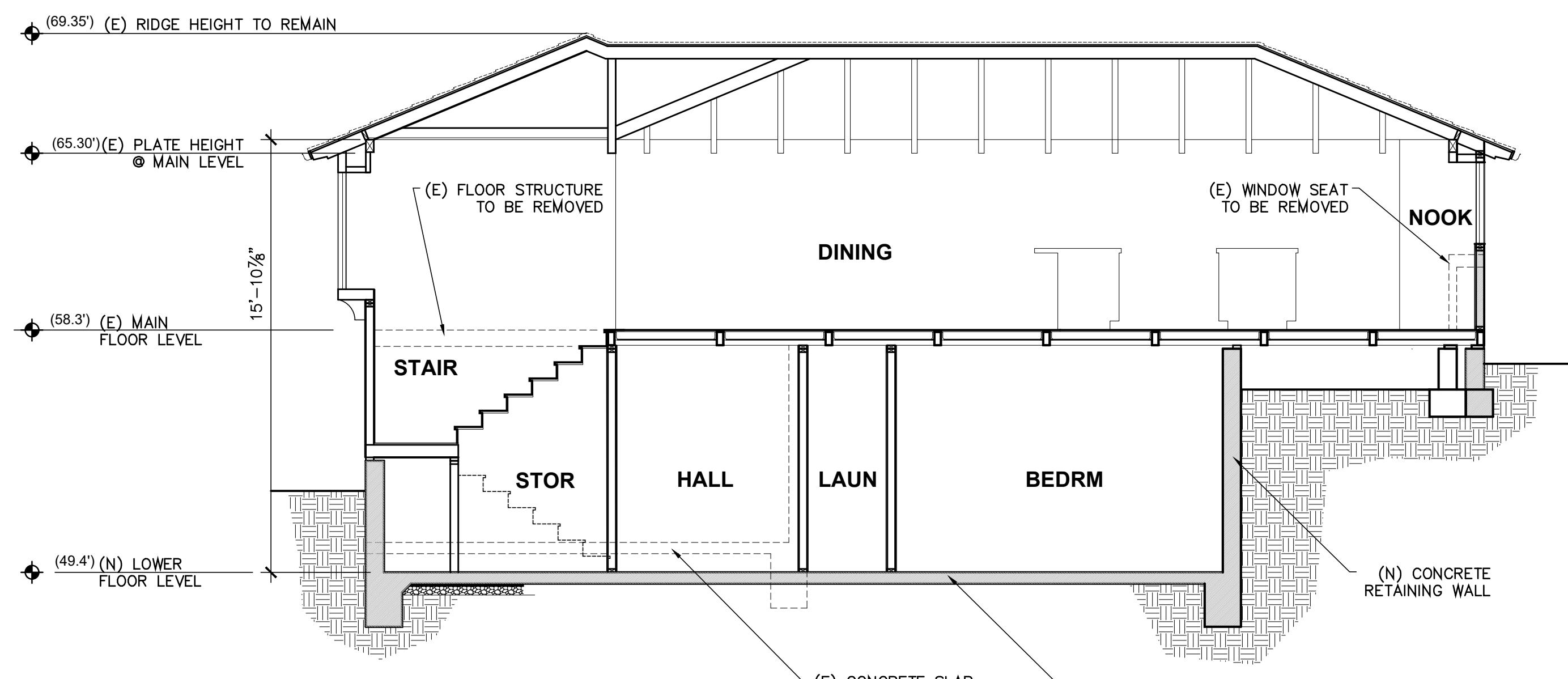
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DATE: MAY 16, 2023
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REVISION



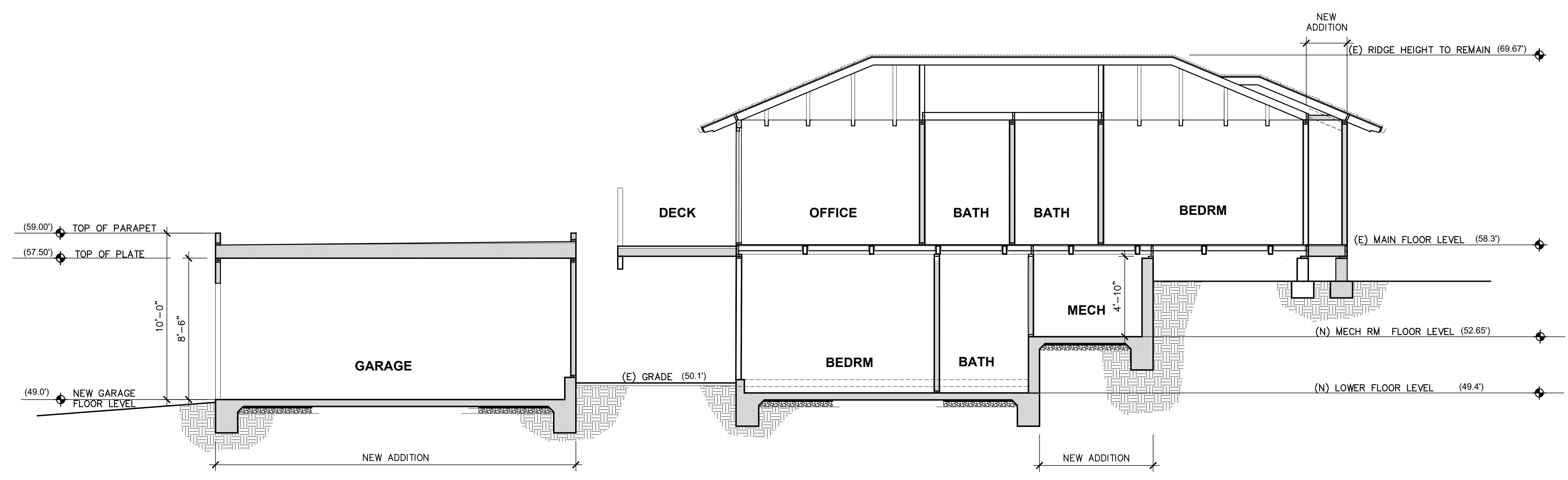
SECTION B-B

SCALE: 1/4" = 1'-0"



SECTION A-A

SCALE: 1/4" = 1'-0"



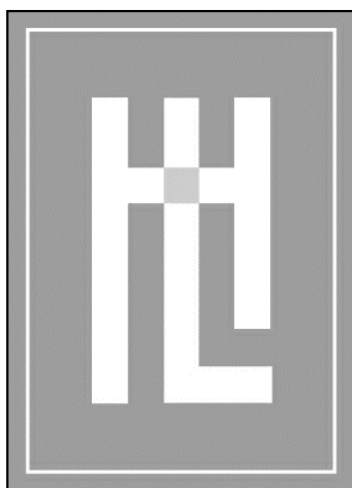
SECTION C-C

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

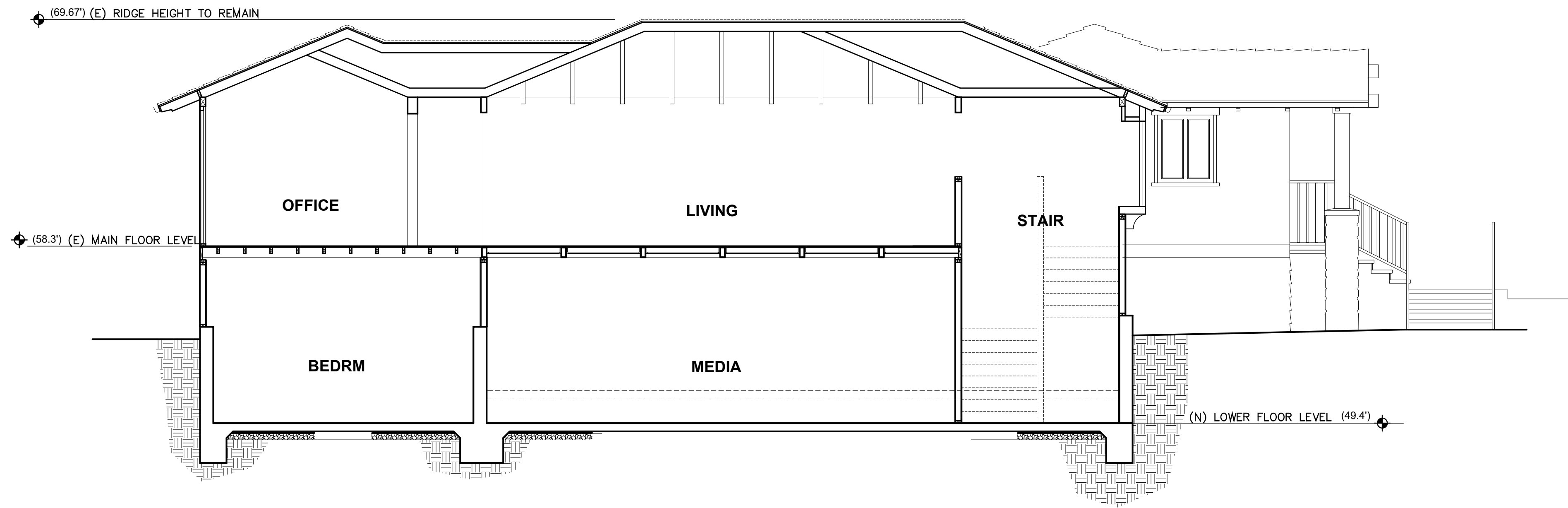
A3.4



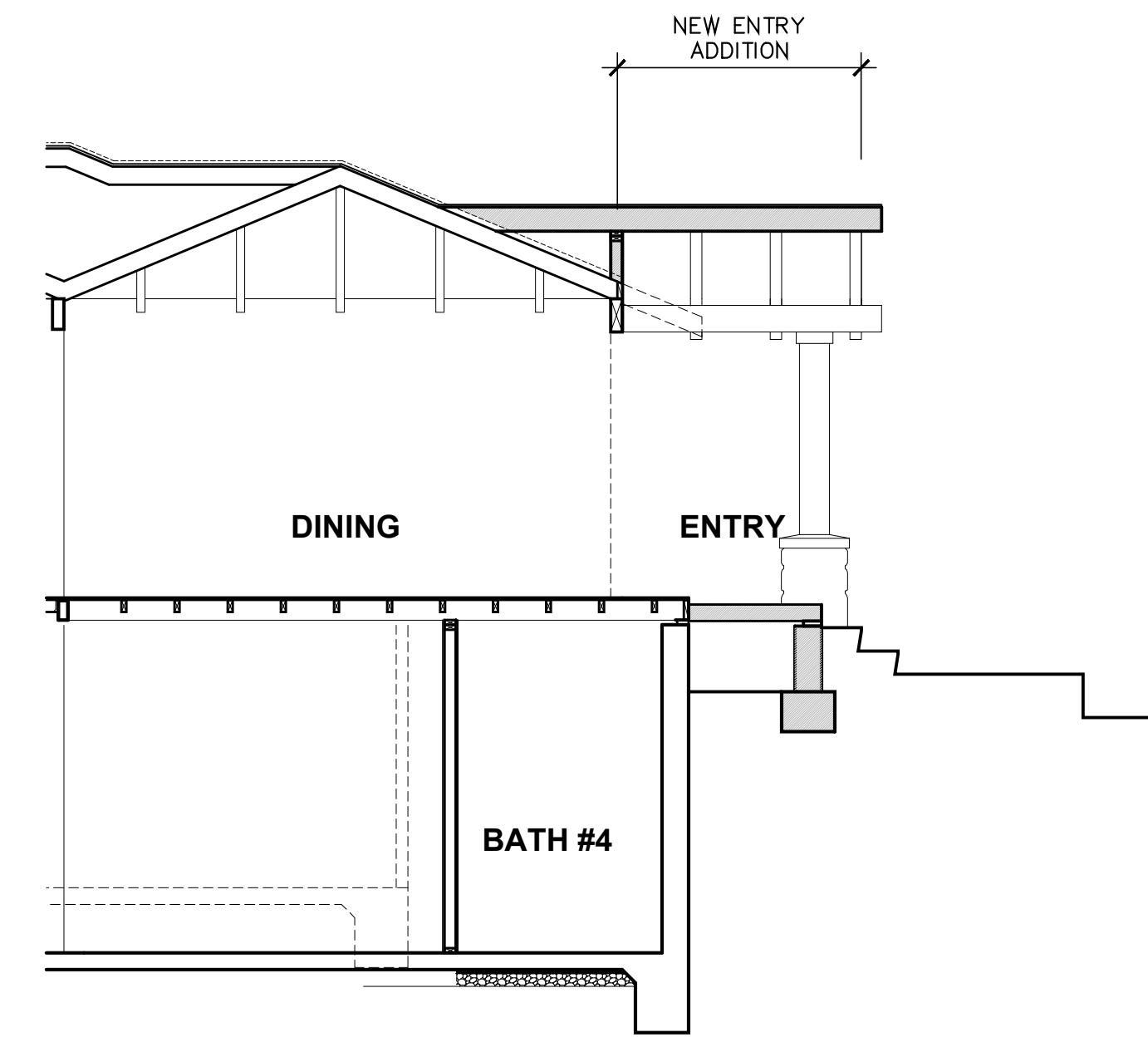
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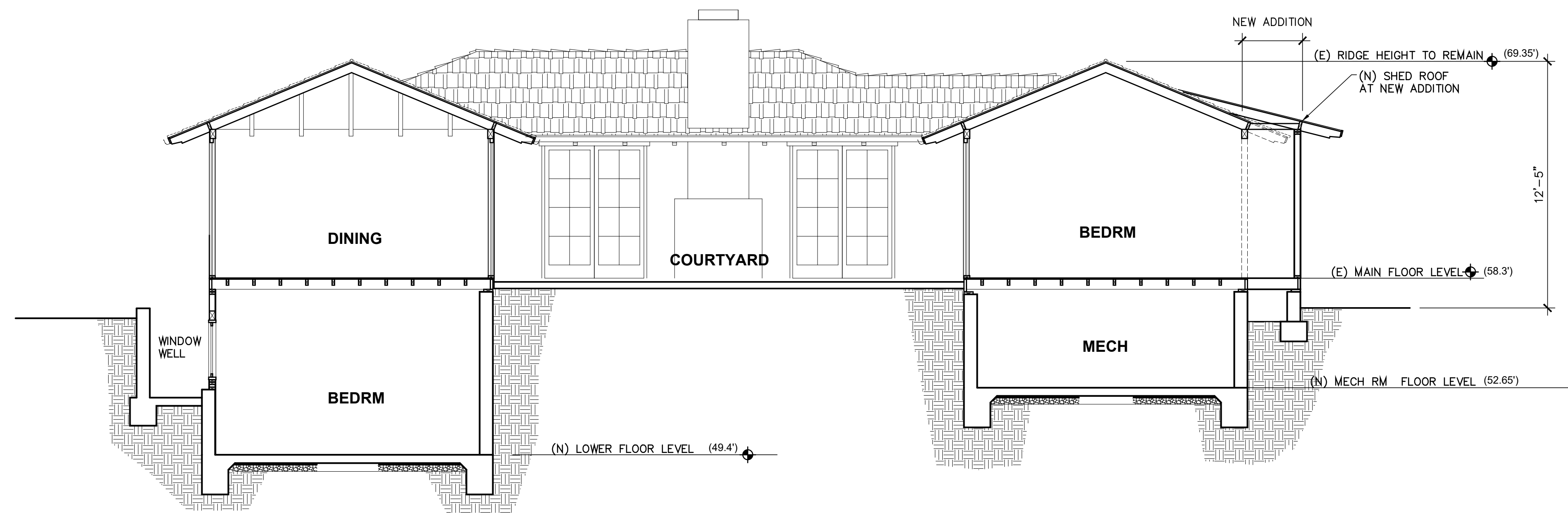
DATE:	MAY 16, 2023
SCALE:	1/4"=1'-0"
DRAWN:	JM
JOB NUMBER:	
REVISION:	



SECTION D-D
SCALE: 1/4" = 1'-0"



SECTION D'
SCALE: 1/4" = 1'-0"



SECTION E-E
SCALE: 1/4" = 1'-0"

BUILDING SECTION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
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A3.5

May 5, 2023

Phase Two Report for the Rockwell House (APN 010-279-008), Carmel-by-the-Sea, CA.

Executive Summary

The Rockwell House is located at the northeast corner of San Antonio and 12th Avenue. In 2022 the property was evaluated for historical significance using the California Register for Historic Resources criteria and found eligible for listing under Criterion Three (Architecture) within the historic context theme of Architectural Development. The property was listed on the Carmel Inventory of Historic Resources on June 20, 2022.

The house was built in 1923 as the vacation home of Frederick and Jennie Rockwell. Mr. Rockwell had made his fortune as a pioneer wooden box manufacturer in Hartford, Connecticut. The historical evaluation (recorded on DPR523 A & B survey forms) states that, “The Rockwell House is eligible for listing in the Carmel Inventory under Criterion Three (Architecture) because it was designed and built by Michael J. Murphy, a builder-designer who is recognized as significant in Carmel’s Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(1)). In addition, it is a good example of the Craftsman style which characterizes Carmel’s architectural legacy during the town’s formative years. Murphy himself is credited with laying the foundation of Carmel’s early Arts and Crafts aesthetic with his Craftsman houses. The Craftsman style is recognized as significant in the Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(3)). The survey form notes the following additions and alterations to the house:

- **BP# 2058 (9/18/1950):** Comstock Associates enlarged the kitchen wing towards the rear lot line. A new window was installed in the rear wall and the original Dutch doors were reinstalled in the new wall. French doors were installed that opened out to the patio.
- **BP# 3488 (2/15/1960):** The bathroom was remodeled which included closing the original bathroom window and creating a new louvred window with obscure glass (since removed). Plans indicate that the original 3’ wide porch (termed “lookout”) on the front elevation was removed and replaced with a wider deck. Steps were constructed which connected the deck and the driveway.
- **BP# 89-205 (10/3/1989):** In 1989 two rotten windows on the south elevation were removed. One was replaced with a similar sash window (the bathroom window) and the other with a canted bay window atop a masonry foundation.
- **BP# 94-130 (7/11/1994):** Garden walkways, the driveway and rear patio were replaced with brick.
- **BP# 02-150 (9/6/2002):** The 1960s deck was replaced with a TimberTech deck and railing. The stone wall and steps (added in 1960) to the driveway were retained.

Character-Defining Features

A character-defining feature is an aspect of a building’s design, construction, or detail that is representative of the building’s function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing,

materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Rockwell House is 1923.

In order for an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. The Rockwell House is a good example of the Craftsman style. Its character-defining features include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed window
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
- Masonry chimney
- Hipped roof system
- Decorative notched exposed rafters
- Dutch door



Figure 1: Arrows indicate the deck, steps and garage that will be removed/remodeled.

Proposed Project Description

Following is the project description included in the proposed plans (Sheet A0.1):

1. Construct a 231 sq. ft. garage (the garage will be constructed in front of the current garage)
2. Add 138 sq. ft. to the main floor (the new area will be added to the north elevation and at the rear of each wing)
3. In-kind replacement of wood shake roofing
4. New entry addition on the south elevation with two wood columns with stone bases
5. Relocate existing windows; add new windows; demolish existing windows; add new doors (these changes will be described in detail below)
6. New lower finish floor and 398 square foot expansion
7. All additions will have new exterior materials and finish to match existing

Following are further changes to the property as shown in the plans:

Hardscape

1. Remove the stone posts at the driveway entrance and replace them with new stone pillars at the driveway entrance.
2. Remove the brick driveway and replace it with a semi-permeable driveway.
3. Remove the stone and brick pavers with permeable paver pathways and a mulch pathway on the front elevation.
4. Remove the stone steps and planters on the front elevation and the planters around the courtyard.
5. Remove the brick courtyard pavers and replace them with impermeable stone pavers.
6. Add window wells on the front and south elevations.
7. Add a wood gate in the grape stake fence on the south elevation and a pathway to the new front entrance on the south elevation.

West (Front) Elevation

1. The lower level including the garage will be remodeled into two bedrooms, two bathrooms, a mechanical room and den. This will include a 398 sq. ft. expansion. Exterior changes will include new French doors in the former location of the garage door and the removal of the current basement level windows. The latter will be replaced with double casement windows. A window well will be built in front of these windows so they will not be fully visible from the street.
2. New, horizontal wood siding, to match the existing siding, will be added to the former garage area.
3. A new, wood deck will replace the current deck on the main level.

South Elevation

1. A new front entry porch with wood columns on stone bases will be constructed where a square bay window is currently located.
2. The canted bay window and bathroom window will be removed and replaced with relocated windows in new window openings.
3. A window well will be constructed which will conceal a new window on the lower level.

North Elevation

1. A new addition with a shed roof will be built on the north elevation. A strip of windows in the kitchen and a smaller window will be removed. There will be three new windows in the addition. The addition will be covered with wood shingle siding to match the existing shingles.
2. Two new windows will be added to the lower level.

East (Rear) Elevation

1. A new addition with a gable roof will be added to the rear of the north wing. This addition will remove the Dutch door and two windows.

Courtyard Interior

1. Two new French doors will replace the current French door and window on the south courtyard elevation.
2. A relocated window and new French doors will replace two windows on the north courtyard elevation.
3. The current front door, located at an angle between the south wing and main block, will be removed and filled in.



Figure 2: Arrows indicate window and French doors that will be removed on the north side of the courtyard.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Rockwell House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the proposed work on the Rockwell House is reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Rehabilitation is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." (36 CFR 67.2(b)).

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The Rockwell House has been a single-family residence since it was constructed in 1923. The proposed project does not change the historic use of the house. The proposed work is consistent with Standard One.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The majority of the character-defining features listed on page 2 will be retained. Some of the window openings will be filled in. Some windows will be relocated, and some will be replaced. Since the house is located on a corner lot, both the west and south elevations are visible from the street. On the west (front) elevation the majority of windows on the main level will be retained. The garage door (a non-character-defining feature) and two small lower-level windows will be removed. The new lower-level windows will be screened by a window well and will only be partially visible from the street. A new French door will replace the garage door, but it will not be visible from the street due to the new garage which will be located in front of it.

A new entrance will be constructed on the south elevation which will remove one of the square bay windows. Although not ideal, the loss of a single window will not affect the building's integrity as a whole. The non-original canted bay window will be removed and replaced with a relocated window. The bathroom window opening will be filled in. A new window opening will be created next to the entry porch. The removal of the canted bay window and bathroom window does not affect the integrity of the house since they are not original. The proposed work is consistent with Standard Two.



Figure 3: Arrow indicates location of new entrance.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history are planned for the project. This Standard is not applicable.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Changes were made to the property in 1950, 1960, 1989, 1994, 2002, and 2018, however none of the changes have acquired historical significance in their own right. This Standard is not applicable.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The distinctive materials, such as the staggered wood shingles, and examples of craftsmanship, such as the notched rafters and extended lintels and sills, will be preserved. The proposed work is consistent with Standard Five.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The deteriorated wood shake roof will be replaced with new wood shakes that match. The proposed work is consistent with Standard Six.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for this project. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place.

No archeological resources have been located on the site. This Standard is not applicable.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

New construction includes additions to the north elevation, the rear of the north wing, and the new entry on the south elevation. The new construction will remove existing window openings in the north wing and the Dutch Door. A kitchen addition expanded the north wing in 1950, and so these windows are outside the period of significance (1923). The Dutch door was relocated to its current position in 1950 however it is considered a character-defining feature. It is suggested that it be reused in another section of the house.

The entrance addition was discussed in Standard Two with respect to the removal of distinctive materials. Its design does reference the Craftsman style and these references should be kept to a minimum. One consideration is to remove the battered profile from the stone bases. In addition, the stone should not match the chimney's rough-cut masonry.

A new deck will be constructed in the same location as the current TimberTech deck. The current deck is the third deck in this location, and it is not considered a character-defining feature. Its removal will not destroy historic materials.

A new garage will be constructed in front of the current garage. It will have a flat, green roof and the exterior walls will be covered with a Carmel stone veneer. Due to the sloping site, the garage will not block the view of the residence's main level from the street (see the street profile on Sheet A0.1). The garage is compatible with the historic building.

Any new siding used in the additions should be differentiated from the existing siding, so the additions are clearly discernable from any historic fabric. Coursed shingles could be used rather than staggered wood shingles.



The original front door, set at an angle between the south wing and main block, will be removed. This door was not listed as a character-defining feature; therefore, its removal will not impair the building's integrity.

Project plans should indicate that any shingle siding or stone masonry used in new construction should not match the original. Rather, in order to meet Standard Nine, all materials used in new construction should be differentiated.

Figure 4: Corner door will be removed.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The new construction planned for the north wing will be located on a section of the building that was added in 1950. The loss of the windows in the north wing will not affect the integrity of the building.

The new entrance addition on the south elevation will remove a historic window, however the building's integrity is not dependent on that window and the building will still be able to convey its significance.

The new garage, if removed in the future, will not affect the essential form and integrity of the historic house and its environment will not be impaired.

New hardscape is proposed for the lot (see site plan details on Sheet A1.1). The stairs that currently lead from the driveway to the deck were built in 1960. The present brick driveway and pathways were installed in 2018. Both the stairs and brick hardscape are outside the period of significance and their removal will not affect the site's integrity. If removed in the future, the new permeable and impermeable pavers will not affect the integrity of the site.

The proposed work is consistent with Standard Ten.



Figure 5: The existing grape stake fence will be retained.

Conclusion

The proposed project meets Standards One, Two, Five, Six, and Ten of the Secretary of the Interior's Standards and Guidelines for Rehabilitation. Standards Three, Four, Seven, and Eight are not applicable. To be consistent with Standard Nine plans should indicate that new materials used in any additions will be differentiated.

Respectfully Submitted,

Margaret Clovis

**CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

HISTORIC RESOURCES BOARD RESOLUTION NO. 2023-007-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA ADOPT A FINDING OF COMPLIANCE WITH THE SECRETARY OF THE INTERIOR’S STANDARDS FOR SITE ADDITIONS, ALTERATIONS, AND SITE MODIFICATIONS, INCLUDING A 138-SQUARE-FOOT ADDITION TO THE REAR AND A NEW ENTRY AT THE NORTH ELEVATION, A 398-SQUARE-FOOT LOWER LEVEL/BASEMENT EXPANSION, CREATION OF A WINDOW WELL AT THE FRONT ELEVATION, WINDOW RELOCATION, AND MODIFICATIONS, AND NEW 231-SQUARE-FOOT DETACHED GARAGE LOCATED IN THE FRONT TO THE HISTORIC "ROCKWELL HOUSE" LOCATED AT THE NORTHEAST CORNER OF 12TH AND SAN ANTONIO AVENUES (APN: 010-279-008)

WHEREAS, on February 24, 2023, Craig Holdren (“Applicant”) submitted an application on behalf of Tim and Catherine Ramos (“Owners”) requesting the approval of a Design Study “DS 22-396” described herein (“Application”); and

WHEREAS, the Application has been submitted for the 8,000 –square-foot property located on the northeast corner of 12th and San Antonio Avenue in the Single-Family Residential (R-1) District, Beach & Riparian (BR) Overlay District, and Coastal Commission Appeal Jurisdiction (Block X, Lot 18 & 20); and

WHEREAS, the subject residence, known as the Rockwell House, is listed on the Carmel Inventory of Historic, and is significant under California Register Criteria #3 as a home constructed in the Craftsman style by designer/builder Michael J. Murphy; and

WHEREAS, the applicant is proposing a 138-square-foot addition to the rear and a new entry at the north elevation, a 398-square-foot lower level/basement expansion, creation of a window well at the front elevation, window relocation, and modifications, and new 231-square-foot detached garage, and new landscaping and site improvements; and

WHEREAS, in accordance with CMC Section 17.32.160.A.3, additions exceeding two percent of existing floor area are considered major alterations; and

WHEREAS, in accordance with CMC Section 17.32.160.B, determinations of consistency for major alterations shall be prepared by a qualified professional;

WHEREAS, Margaret Clovis, a qualified professional, prepared a Phase II Historic Assessment and found the project consistent with the Secretary’s Standards if certain recommendations were implemented and additional information provided to the Historic Resources Board; and

WHEREAS, the alterations would not compromise the integrity of the historic resource or result in a substantial modification that would render the resource ineligible for continued listing on the Carmel Inventory of Historic Resources;

WHEREAS, on June 9, 2023, a notice of public hearing was published in the Carmel Pine Cone for the June 19, 2023, Historic Resources Board meeting in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before June 9, 2023, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before June 16, 2023, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on June 19, 2023, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the project, including without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Board at the hearing including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations, and testimony hereinabove set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the project is categorically exempt pursuant to Section 15331 (Historical Resource Restoration/Rehabilitation) and Section 15301 (Existing Facilities), and no exceptions to the exemption exist pursuant to section 15300.2 of the CEQA Guidelines; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

BE IT FURTHER RESOLVED that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **ADOPT** a Determination of Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties for site additions, alterations, and site modifications, including a 138-square-foot addition to the rear and a new entry at the north elevation, a 398-square-foot lower level/basement expansion, creation of a window well at the front elevation, window relocation, and modifications, and new 231-square-foot detached garage located in the front to the historic "Rockwell House" located at the northeast corner of 12th and San Antonio Avenue in the Single-Family Residential (R-1) and the Beach and Riparian Overlay District (APN: 010-279-008), subject to the following conditions:

1. The project shall be implemented consistent with the representations described in the Phase II Report for the 'Rockwell House' prepared by Meg Clovis on May 5, 2023.
2. New siding & roof materials shall be slightly differentiated but compatible with the old siding & roof materials.
3. **South elevation** - Prior to the approval of the Design Study, the applicant shall show and provide samples that the proposed entrance shall have a different aesthetics regarding the siding, roof, and columns to differentiate it from the original house.
4. ~~Dutch door~~ ~~Prior to the approval of the Design Study, the applicant shall repair the original Dutch door currently in the east elevation and reuse it, and, if repair is not possible, provide photos and written documents showing that the original Dutch door cannot be preserved and provide material, dimensions, and a color sample of the original prior to in-kind replacement.~~

PASSED, APPROVED, AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 19th day of June 2023, by the following vote:

AYES: Chair Chroman; Vice Chair Hall; Board Member Goodhue

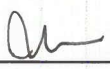
NOES:

ABSENT: Board Member Pomeroy

ABSTAIN: Board Member Dyar

APPROVED:

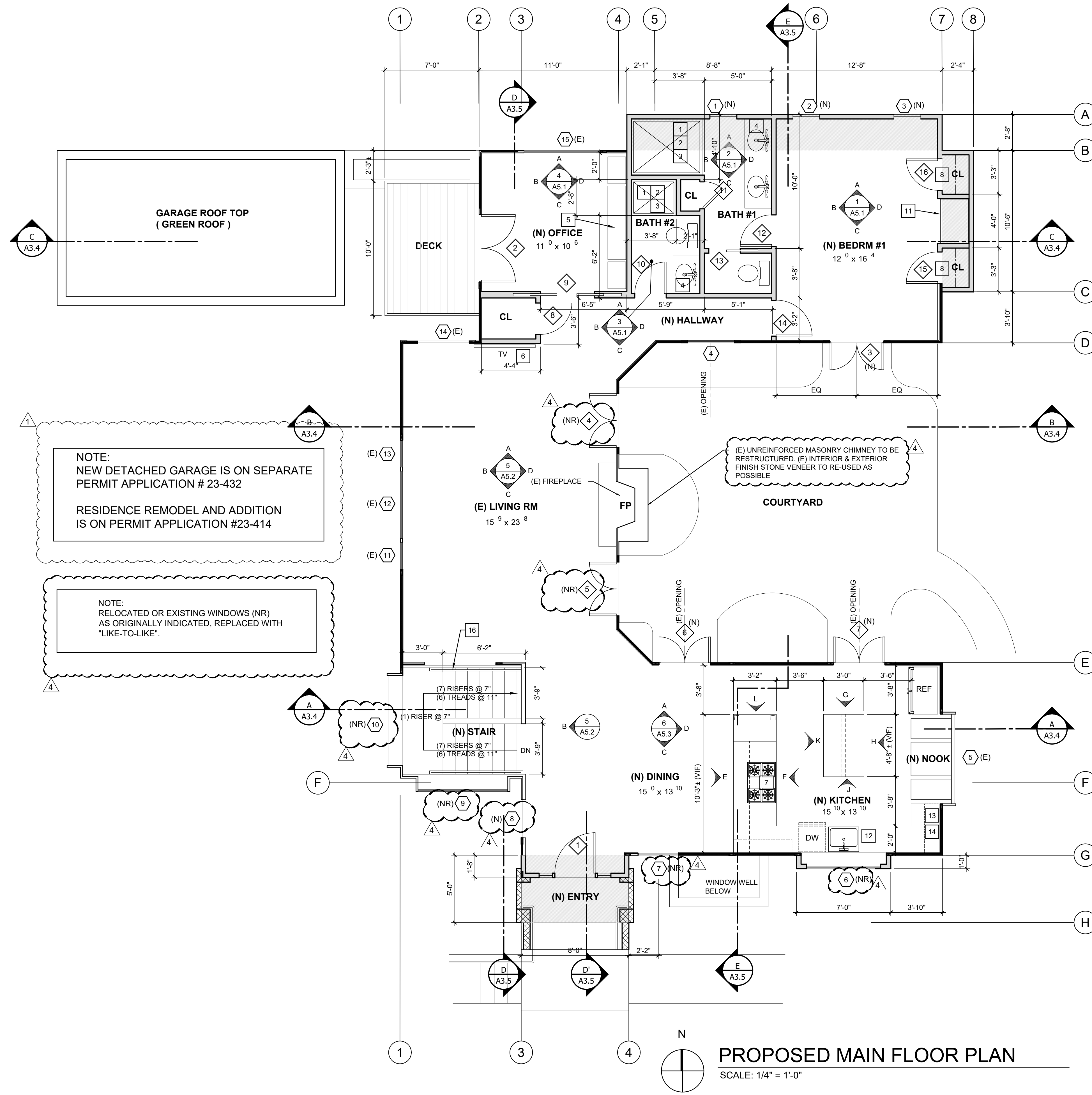
ATTEST:



 Jordan Chroman
 Chair



 Brandon Swanson
 Historic Resources Board Secretary



NOTE:
NEW DETACHED GARAGE IS ON SEPARATE PERMIT APPLICATION # 23-432

RESIDENCE REMODEL AND ADDITION IS ON PERMIT APPLICATION #23-414

NOTE:
RELOCATED OR EXISTING WINDOWS (NR) AS ORIGINALLY INDICATED, REPLACED WITH "LIKE-TO-LIKE".

PROPOSED MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR AREA:

(E) = 1,441 S.F.
(N) = 138 S.F.

TOTAL = 1,579 S.F.

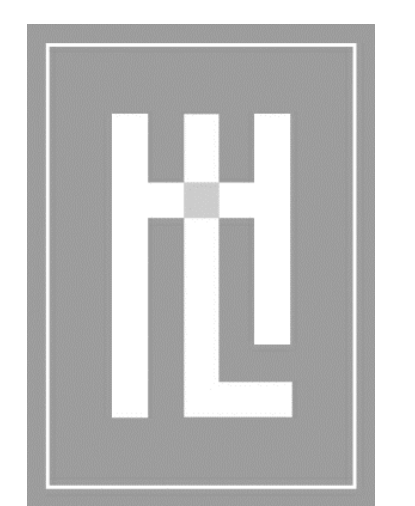
KEY NOTES:

- 1 TILED SHOWER PAN - SLOPE TO DRAIN
- 2 TEMPERED GLASS SHOWER ENCLOSURE - PROVIDE CONTINUOUS RIGID ANCHORING AT TOP & BOTTOM
- 3 TILE TO MIN. 72" A.F.F. IN ALL SHOWERS - USE DENSshield TILE BACKER BY: GEORGIA PACIFIC @ ALL TILE SURFACES
- 4 MIN. 14" W. X 24" H. X 3" D. MEDICINE CHEST
- 5 MURPHY BED - SEE INTERIOR ELEVATION
- 6 WALL MOUNT - T.V. SCREEN
- 7 VENT HOOD THROUGH ROOF
- 8 POLE W/SHELF ABOVE - PAINT TO MATCH WALLS
- 9 CLOSET SYSTEM BY OTHERS - SEE INTERIOR ELEVATIONS FOR ADDL. INFORMATION
- 10 RECESS WALL FOR PLUMBING & VENT REOMTS.
- 11 RE-USE (E) CABINET- VERIFY DIMENSIONS
- 12 PROVIDE REVERSE OSMOSIS SYSTEM & FAUCET AT KITCHEN SINK
- 13 CABINET - UPPERS OR SHELVES ABOVE IN SOME LOCATIONS - PROVIDE BLOCKING AS REQ'D. - FINAL DESIGN TO BE APPROVED BY OWNER
- 14 CABINET W/ WATERPROOF COUNTERTOP - PROVIDE BLOCKING AS REQ'D FOR CABINET AND FINISH INSTALLATION - FINAL DESIGN TO BE APPROVED BY OWNER
- 15 1/2" TYPE 'X' GYP. BD. @ ALL WALL, CEILING & STRUCTURAL SURFACES
- 16 HANDRAIL - 34" FROM STAIR NOSING, SEE DET. 15/A8.2
- 17 DRYER VENT TO OUTSIDE
- 18 42" HIGH CABINET / DRAWER
- 19 36" HIGH KITCHEN ISLAND

NOTE:
SEE DEMOLITION PLAN FOR WALLS TO BE REMOVED

LEGEND:

- (E) WALL TO REMAIN
- (N) INTERIOR STUD WALL
- (N) AREA OF ADDITION

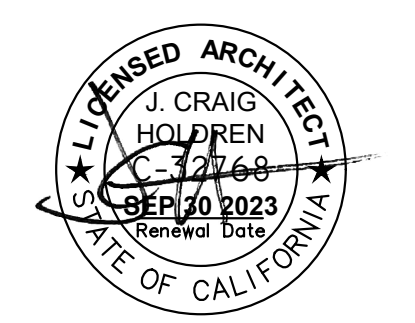


HOLDREN+LIETZKE ARCHITECTURE

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DATE:	
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DRAWN:	JM
JOB NUMBER:	22.08
REVISION	
1	PLAN CHECK 23-OCT-2023

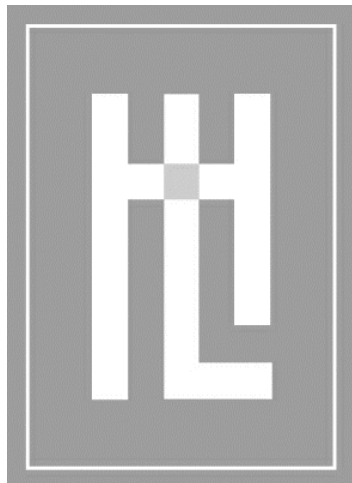
4 PLAN REVISION
07-AUG-2025



MAIN FLOOR PLAN

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.1

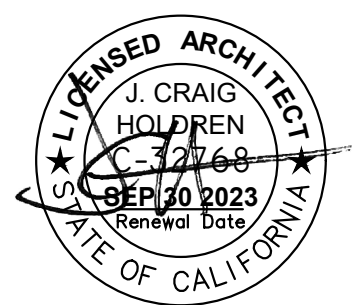


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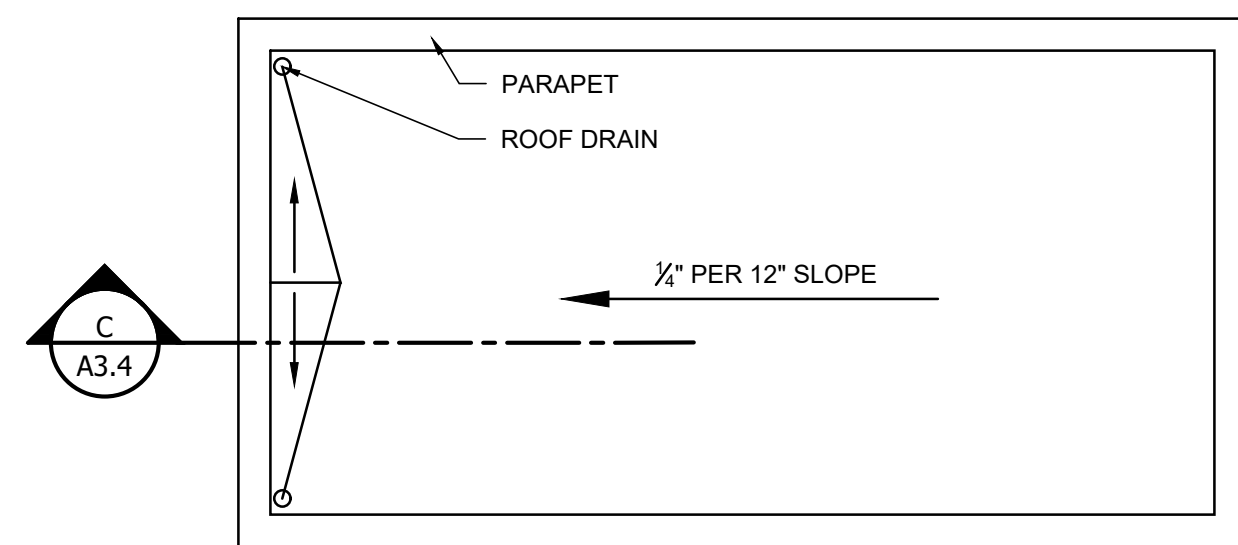
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REVISION

4 PLAN REVISION
07-AUG-2025



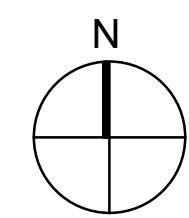
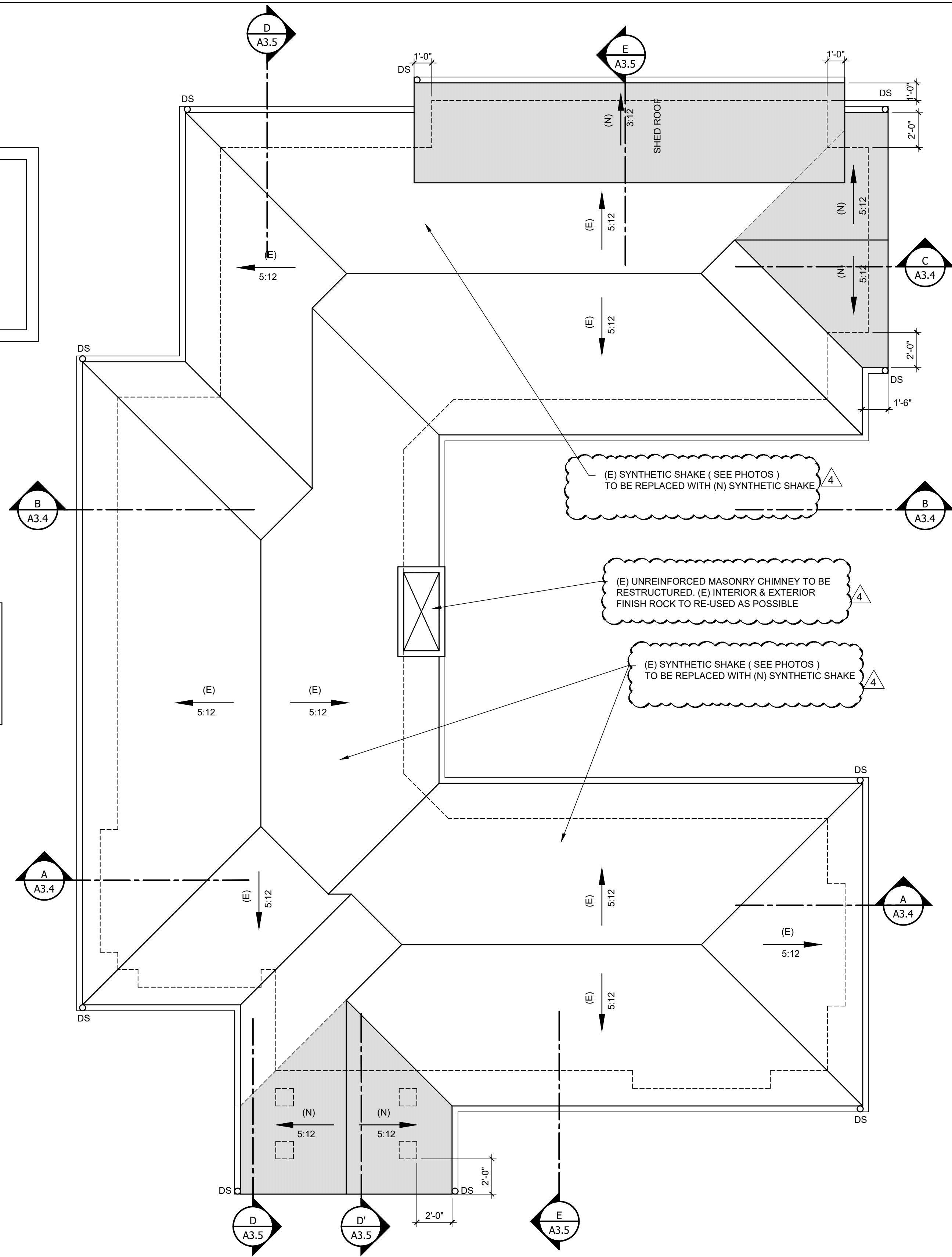
PROPOSED ROOF PLAN
RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

A2.3



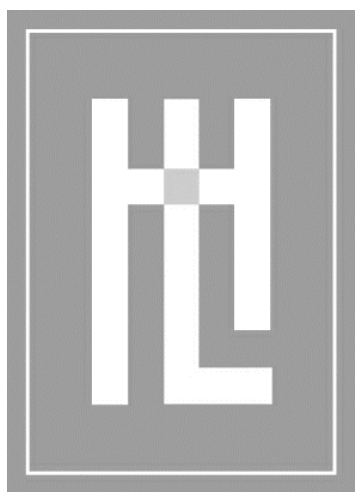
NOTE:
NEW DETACHED GARAGE IS ON SEPARATE
PERMIT APPLICATION # 23-432

RESIDENCE REMODEL AND ADDITION
IS ON PERMIT APPLICATION #23-414



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



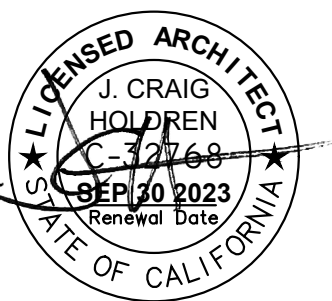
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REVISION

3 PLAN REVISION
22-NOV-2024

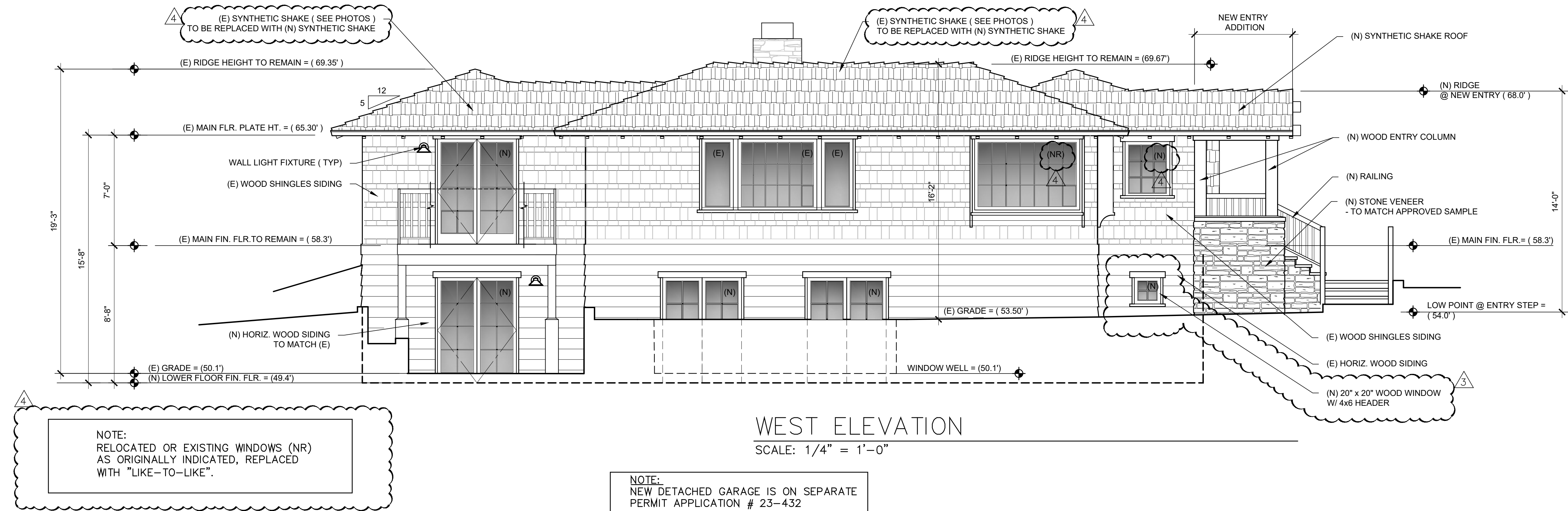
4 PLAN REVISION
07-AUG-2025



PROPOSED ELEVATION

RAMOS RESIDENCE
NE CORNER OF 12th STREET and SAN ANTONIO
CARMEL, CA 93923
A.P.N. 010-279-008

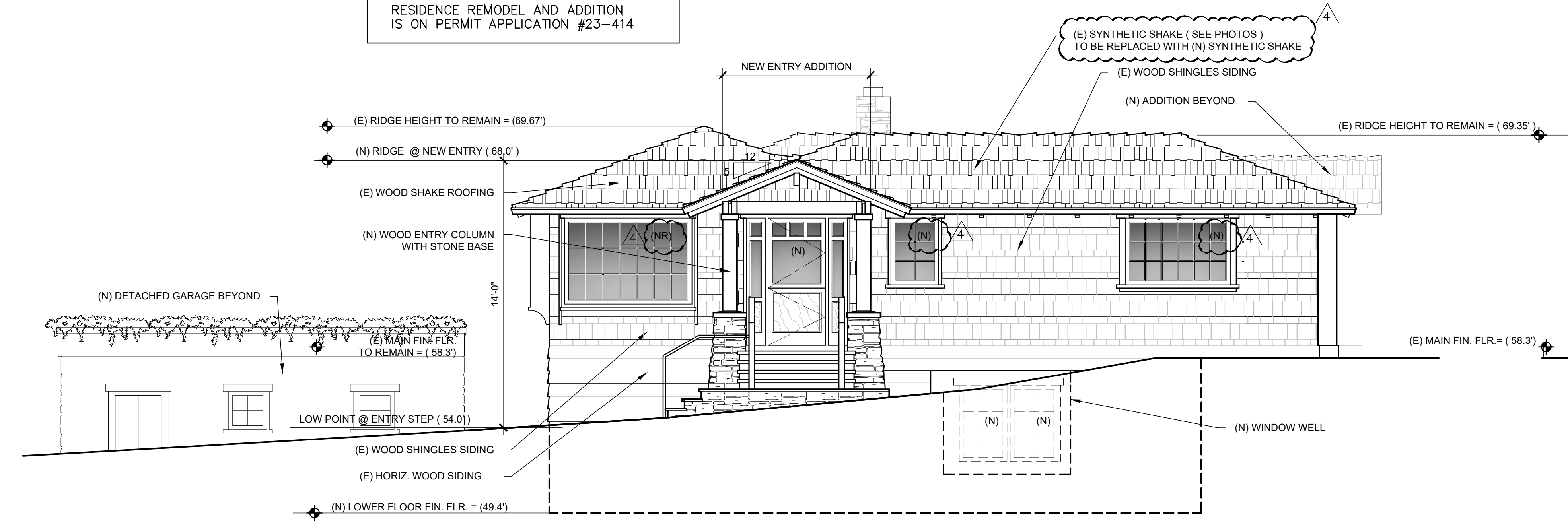
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WEST ELEVATION

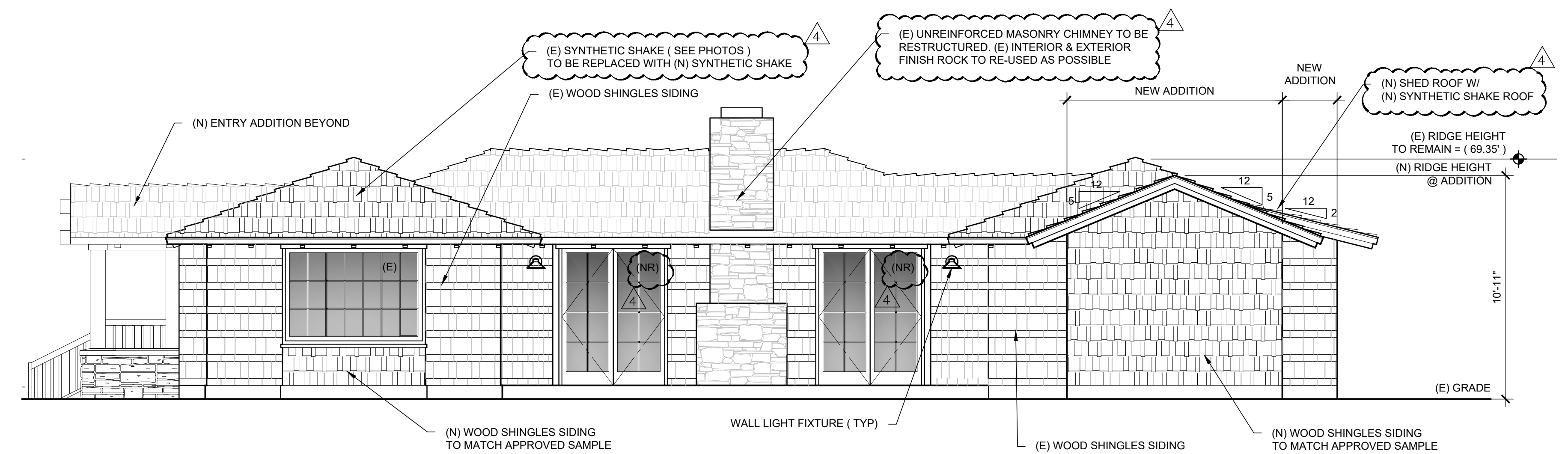
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NOTE:
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PERMIT APPLICATION # 23-432
RESIDENCE REMODEL AND ADDITION
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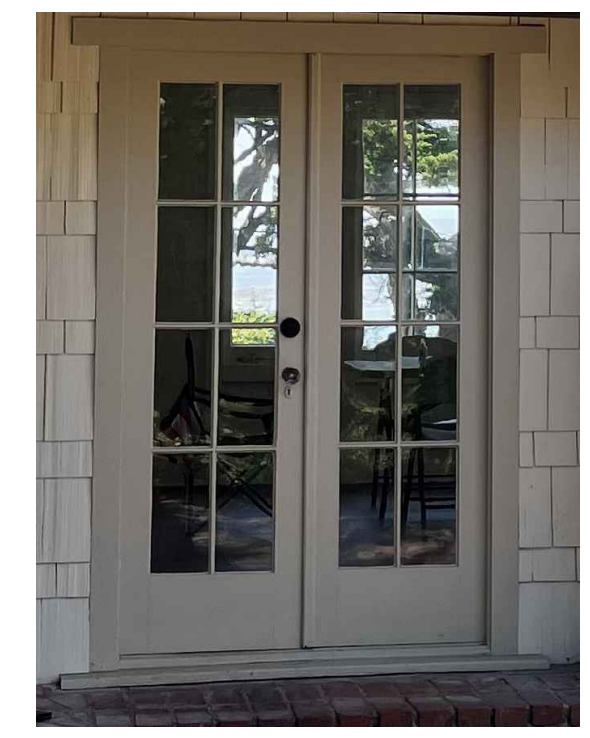
SOUTH ELEVATION

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EAST ELEVATION

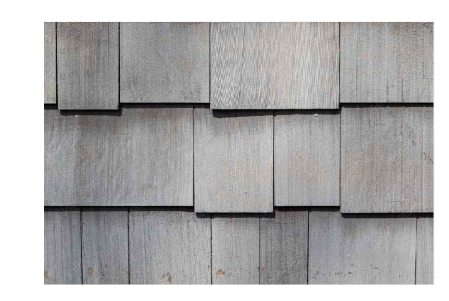
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WOOD DOORS MATCH EXISTING WITH TRUE-DIVIDED LIGHTS



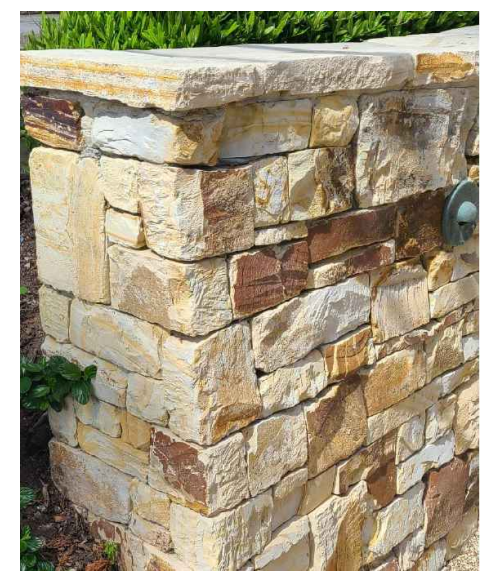
WOOD WINDOWS MATCH EXISTING WITH TRUE-DIVIDED LIGHTS



NEW WOOD SHINGLES AT NEW ADDITION



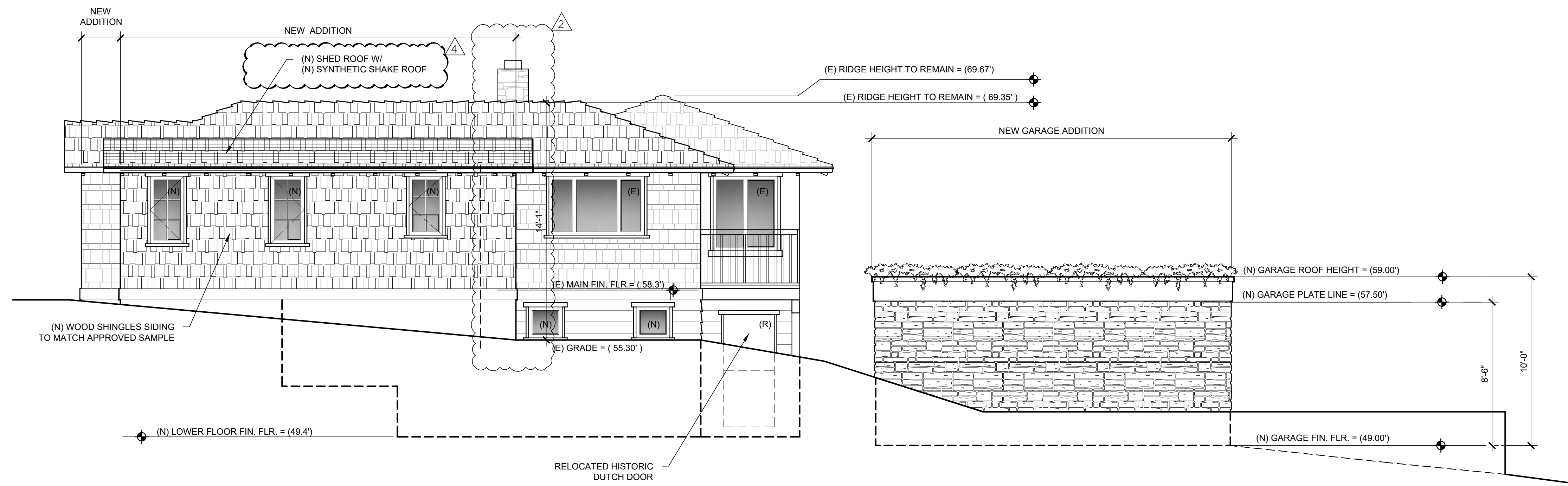
EXISTING WOOD SHINGLES / ROOF SHAKES



NEW STONE AT ENTRY COLUMN / GARAGE

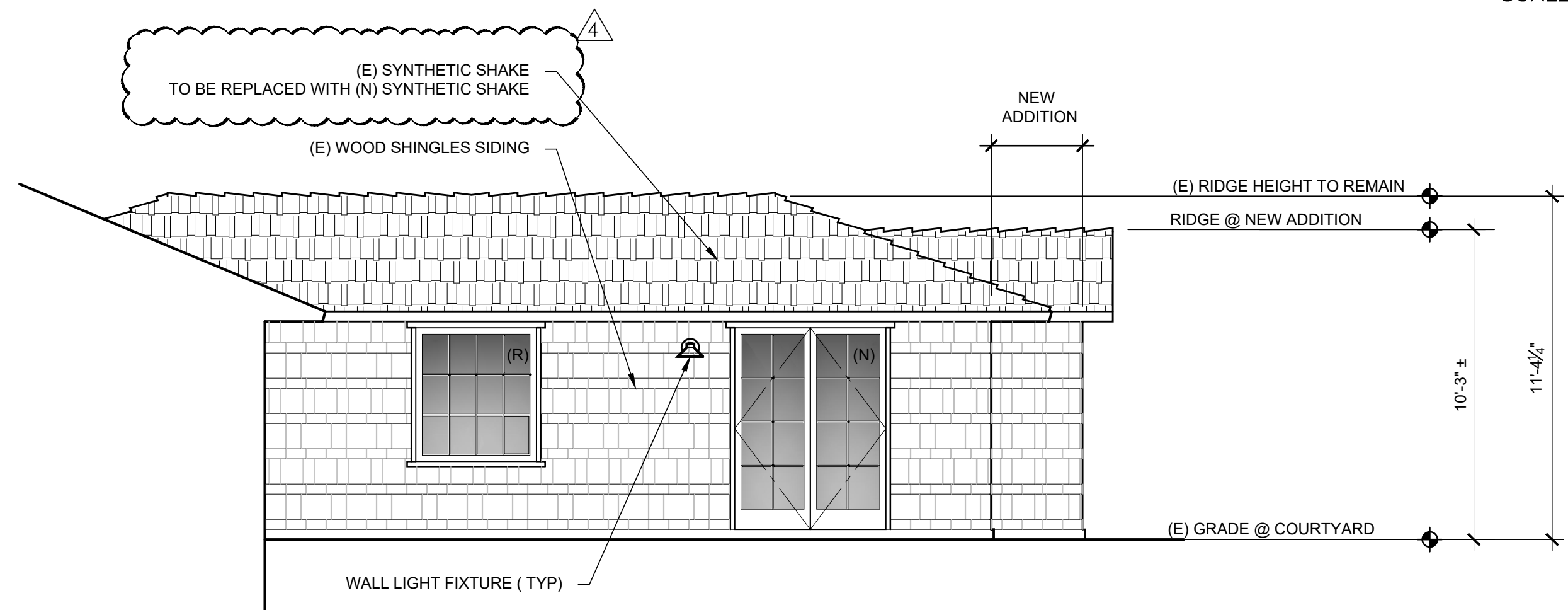


EXISTING CARMEL STONE AT RETAINING WALL DRIVEWAY



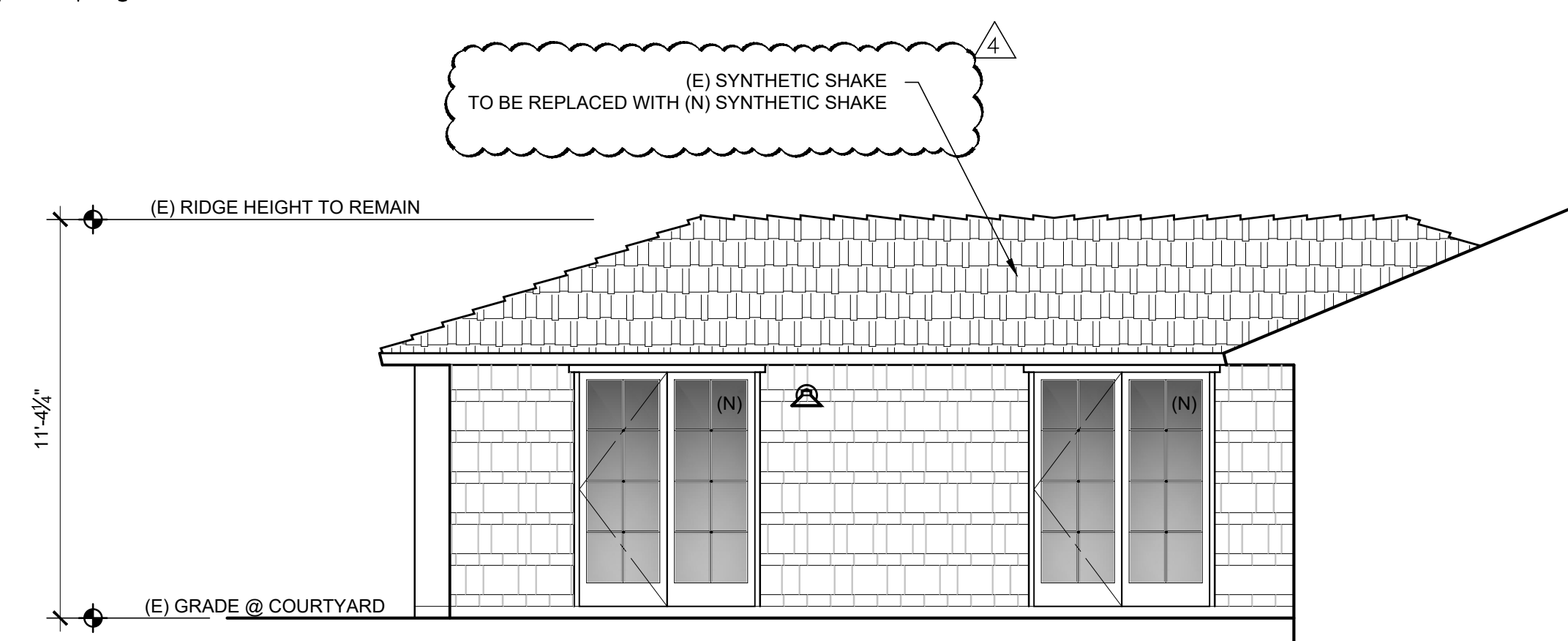
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



COURTYARD NORTH ELEVATION

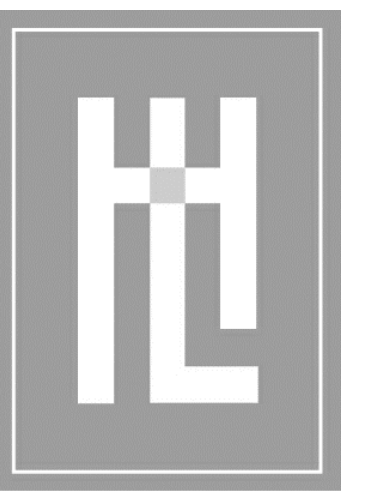
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COURTYARD SOUTH ELEVATION

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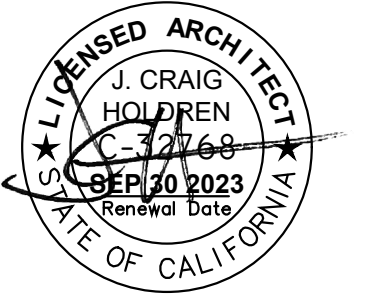
NOTE:
 NEW DETACHED GARAGE IS ON SEPARATE PERMIT APPLICATION # 23-432
 RESIDENCE REMODEL AND ADDITION IS ON PERMIT APPLICATION #23-414



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DATE:	
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JOB NUMBER:	22.08
REVISION	
△	PLAN CHECK 23-OCT-2023
△	PLAN REVISION 18-MAR-2024
△	PLAN REVISION 07-AUG-2025



PROPOSED ELEVATION
RAMOS RESIDENCE
 NE CORNER OF 12th STREET and SAN ANTONIO
 CARMEL, CA 93923
 A.P.N. 010-279-008

A3.2

September 9, 2025

Phase Two Addendum Report for the Rockwell House (APN 010-279-008), Carmel-by-the-Sea, CA.

Executive Summary

The Rockwell House is located at the northeast corner of San Antonio and 12th Avenue. In 2022 the property was evaluated for historical significance using the California Register for Historic Resources criteria and found eligible for listing under Criterion Three (Architecture) within the historic context theme of Architectural Development. The property was listed on the Carmel Inventory of Historic Resources on June 20, 2022.

The house was built in 1923 as the vacation home of Frederick and Jennie Rockwell. Mr. Rockwell had made his fortune as a pioneer wooden box manufacturer in Hartford, Connecticut. The historical evaluation (recorded on DPR523 A & B survey forms) states that, “The Rockwell House is eligible for listing in the Carmel Inventory under Criterion Three (Architecture) because it was designed and built by Michael J. Murphy, a builder-designer who is recognized as significant in Carmel’s Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(1)). In addition, it is a good example of the Craftsman style which characterizes Carmel’s architectural legacy during the town’s formative years. Murphy himself is credited with laying the foundation of Carmel’s early Arts and Crafts aesthetic with his Craftsman houses. The Craftsman style is recognized as significant in the Historic Context Statement (Carmel Historic Preservation Ordinance Section 17.32.040.D(3)). The survey form notes the following additions and alterations to the house:

- **BP# 2058 (9/18/1950):** Comstock Associates enlarged the kitchen wing towards the rear lot line. A new window was installed in the rear wall and the original Dutch doors were reinstalled in the new wall. French doors were installed that opened out to the patio.
- **BP# 3488 (2/15/1960):** The bathroom was remodeled which included closing the original bathroom window and creating a new louvered window with obscure glass (since removed). Plans indicate that the original 3-foot-wide porch (termed “lookout”) on the front elevation was removed and replaced with a wider deck. Steps were constructed which connected the deck and the driveway.
- **BP# 89-205 (10/3/1989):** In 1989 two rotten windows on the south elevation were removed. One was replaced with a similar sash window (the bathroom window) and the other with a canted bay window atop a masonry foundation.
- **BP# 94-130 (7/11/1994):** Garden walkways, the driveway and rear patio were replaced with brick.
- **BP# 02-150 (9/6/2002):** The 1960s deck was replaced with a TimberTech deck and railing. The stone wall and steps (added in 1960) to the driveway were retained.
- In 1984 the owners applied for a rooming house permit and converted the basement into livable space. The small windows on the west elevation were likely installed at this time.

Character-Defining Features

A character-defining feature is an aspect of a building's design, construction, or detail that is representative of the building's function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing, materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Rockwell House is 1923.

In order for an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. The Rockwell House is a good example of the Craftsman style. Its character-defining features include:

- Single story over a partially exposed basement
- U-shaped plan with interior patio
- Wood shingle and shiplap siding
- Fenestration:
 - a) Square bays, multi-paned fixed window
 - b) Casement and sash wood windows
 - c) Extended lintels and sills
 - d) Multipaned wood frame French doors
- Masonry chimney
- Hipped roof system
- Decorative notched exposed rafters
- Dutch door



Figure 1: View of original Rockwell House, prior to construction.

Phase Two Report

In 2023 a Phase Two Report was prepared that evaluated the proposed plans for the rehabilitation of the Rockwell House based on consistency with the Secretary of the Interior's Standards for Rehabilitation. Following is a summary of the proposed project, as submitted in 2023:

1. Construct a 231 sq. ft. garage (the garage will be constructed in front of the current garage)
2. Add 138 sq. ft. to the main floor (the new area will be added to the north elevation, at the rear of each wing)
3. In-kind replacement of wood shake roofing
4. New entry addition on the south elevation with two wood columns with stone bases
5. Relocate existing windows; add new windows; demolish existing windows; add new doors
6. The lower level will be finished and expanded by 398 square feet
7. All additions will have new exterior shingles that will be differentiated from the historic shingle siding.

During construction, work on the windows, chimney, and shingle and horizontal wood siding exceeded the approved scope. The exceeded scope has triggered this updated Phase II Historical Evaluation. Changes to the project scope are described below.

1) First, character-defining windows that were slated to be repaired were replaced "like for like" due to excessive deterioration. Photographs that document the deterioration were submitted to the Planning Department after the windows were replaced. The photographs indicate that the removed windows date to different periods of time based on construction methods. Information in the building file confirms this assessment. Following is a summary of the window changes:

- 1950: windows in the north kitchen wing were changed due to the extension of the wing. French doors were added to the east side of the interior patio, on either side of the chimney.
- 1960 and 1989: windows on the south elevation were added and altered.
- 1984: casement windows were installed in the basement, west elevation, when the basement was converted into living space.

One original window on the front elevation remains and one original window has been reused in the east rear wing addition.

2) Second, the character-defining chimney on the rear patio was slated to be retained, with no work proposed. After inspection by a structural engineer, it was determined that the unreinforced chimney was unsafe and required a new core structure. The veneer of rough-cut Carmel stone laid in an irregular course was removed and numbered for reinstallation after a new core was built. The reuse of the veneer was not carried out and new stone veneer was substituted for the original stone. The new veneer is square cut Carmel stone laid in an irregular course. Although the course is similar to the original, the square cut stone does not capture the original rustic appearance. The new chimney does not match the old design, the original materials were not reused, it appears larger, and it does not intersect the roof as it did originally.

3) Third, although the previous Phase Two report specified that new siding on the additions should be differentiated, as required by Standard Nine, the siding that was installed matches the original siding.

4) Fourth, most of the shingles on the upper level of the house were removed, except on the west (front) elevation. The horizontal siding used on the west elevation's basement area was removed and replaced. This work was not part of the original project plans. After the shingles were removed, they were inspected. It appears that two different types of shingles were on the house indicating that shingles have been repaired and replaced over the years. The older shingles were redwood, and the newer shingles were cedar. It is estimated that up to 50% of the shingles that were removed were cedar.

The horizontal siding on the west elevation was most likely replaced with new siding in 1984 when the basement windows were installed. The removal of those windows and the installation of two sets of French doors necessitated the removal of the horizontal siding, which was outside of the period of significance which is 1923.

4) Finally, the original plans specified that the wood shake roof would be replaced in-kind. At some point in the project the roofing material was incorrectly identified as split wood shake. The house was reroofed in 1994 (BP# 94-130) with composite shingles which are not considered a character-defining feature. The roofing is not included in this evaluation of the Standards.

The Secretary of the Interior's Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Rockwell House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior's Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the completed work at the Rockwell House is reviewed below with respect to the *Rehabilitation Standards*. The three applicable Standards are indicated in italics, followed by a discussion regarding the project's consistency or inconsistency with each Standard.

Rehabilitation is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." (36 CFR 67.2(b)). The applicable Standards for the completed work include Standards Two, Six and Nine.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

Windows

Most of the windows in the Rockwell House were slated to be retained and repaired, which relates to Standards Two and Six. However, most of the windows were replaced “like for like”¹ due to deterioration. Under Standard Six, documentation of the deterioration is required prior to replacing windows to ascertain whether the windows can be repaired, which is the preferred rehabilitation treatment. The National Park Service recommends, “Determination as to when deterioration is sufficiently severe to justify replacement must be based on documentation of the condition of the windows. What constitutes effective documentation may vary with the circumstances of the project, but at a minimum must include enough good quality photos to clearly depict the full range of conditions.” The project architect has submitted photographs that document the deterioration of the original windows. Although these photos should have been submitted prior to any window replacements, it appears that the replaced windows were rotted to the point where repair was not feasible. The completed work is consistent with Standard Six.

Chimney

The exterior chimney located on the east elevation was slated to be retained. However, the structural engineer on the project determined that the unreinforced masonry chimney did not have east-west lateral stability. The old chimney was taken down and a new core concrete structure that is integrated with the new concrete footing was constructed. The old Carmel stone veneer was salvaged but was replaced with new stone. The new chimney appears larger than the original chimney and does not intersect the roof, as the original once did (see Figures 4, 5 and 6).

New square-cut Carmel stone was used to reconstruct the chimney. The new stone was laid using the same irregular course; however, it does not capture the same rustic aesthetic that the rough-cut stone achieved, and it has a much more modern look. The new chimney is not consistent with Standards Two and Six because distinctive materials were removed, features were altered, and the new chimney does not replicate the design of the old chimney. Since documentary evidence is available and the original stone was salvaged, it is recommended that 1) the new stone be replaced with the original stone, and 2)

¹ According to the National Park Service “like for like” refers to replacing or repairing deteriorated features of a historic property with materials or elements that closely match the original characteristics.

that the design and dimensions of the new chimney replicate the original, i.e., that the chimney should intersect the eaves.

Siding

Standards Two and Six recommend the retention and repair of character-defining features, however both the shingles and horizontal siding, as character-defining features, were replaced rather than repaired. The architect explained that two different types of shingles were found on the house: older redwood shingles that were cracked and brittle and cedar shingles that were in better shape. Preservation Brief 47 states that, "One of the advantages of wood shingles as a wall covering is that individual shingles that are damaged can easily be replaced."² According to Standard Six, deteriorated features, like the redwood shingles, can be replaced. The replacement of the redwood shingles is consistent with the Standards due to the documented deteriorated condition. The cedar shingles were replaced as well; however, because they were not original and are outside the period of significance the completed work is consistent with Standards Two and Six.

The horizontal siding on the west elevation was replaced. It is likely that the siding did not date to 1923, as the basement area where the siding was located was previously disturbed in 1984 when windows were installed. Since the horizontal siding was likely outside the period of significance, its replacement does not affect the integrity of the house. The completed work is consistent with Standards Two and Six.

To be consistent with Standard Nine, any new siding used in the additions should be differentiated from the existing siding, so the additions are clearly discernable from the historic house. However, the shingles on the additions currently match the original "ribbon course" pattern used in the historic house (see Figure 6).³ To differentiate the shingles on the additions, the architect and contractor have suggested removing 5/8" from selected shingles along the shingle course in the additions to create a staggered pattern (see Plan Sheet A3.1). This solution will differentiate the old from the new materials and meet the requirements of Standard Nine.

Conclusion

The completed work on the windows meets Standard Six. The completed work on the chimney does not meet Standards Two and Six. To meet these Standards the chimney should be restored to its original design and materials. The replacement of the shingle siding and horizontal siding meets Standards Two and Six. The new shingle siding on the additions will meet Standard Nine if the shingles on the additions are differentiated from the original shingles.

Respectfully Submitted,

Margaret E. Clovis

² Preservation Brief 47, *Maintaining the Exteriors of Small and Medium Sized Historic Buildings*. National Park Service, June 2007.

³ Note that all historic siding was removed. If it was removed due to deterioration, the new siding should match the original siding, i.e., a ribbon course pattern.



Figure 2: View of new windows on the front elevation and missing horizontal siding.



Figure 3: Detail of the one remaining original window on the front elevation.



Figure 4: Original chimney.



Figure 5: New chimney.



Figure 6: Detail of new chimney.



Figure 7: View of addition with matching shingles.



Figure 8: View of new shingles, south elevation.



Holdren + Lietzke
Architecture

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Hello Katherine:

Please accept the following letter as an adjunct description of the changes on the Ramos residence for which we are submitting a Design Application

1) replacement of synthetic roof shingle

While we had assumed the existing roof to be split wood shake during the Planning and Building review, upon subsequent inspection it proved to be an older synthetic shake in poor condition (see attached photos). The roof was replaced with a new synthetic shake (see photo) of a very similar lay, color, and texture.

2) rebuild of unreinforced masonry cantilever fireplace

While doing roof work, it was determined that the existing unreinforced firebox and chimney (brick, with a carmel stone veneer) had a dangerous sway east to west. The structural engineer investigated and determined that it was a safety hazard to remain (see attached letter) and required a new core structure. The fire box was reconstructed in accordance with current codes, making it slightly larger than the original. The existing Carmel stone was removed and, due to damage and not fitting the new concrete structure, was replaced with new Carmel stone in a similar lay.

3) replacement of failed windows and french doors

A number of existing windows and (2) french doors that were slated to be reused proved to be in very poor condition (see photos) with multiple leaks and warping. Of particular concern was the rot in some of the sticking, making replacement of glass (required by Code to be tempered in stairwell and doors) impossible. The best of the typical windows was maintained in the kitchen nook (SE corner) and still shows considerable damage (see photo) but was considered the best candidate for maintenance. Windows were replaced like-for-like, with the exception being the unit adjacent to the front door (SW corner) wherein sticking was added to create continuity with the dominant historical break-up of all other windows on the elevations viewable from the public right of way.



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Architecture

4) Replacement of shingles and horizontal siding

The existing shingles were found to be a mix of cedar and redwood installed at various times as the originals presumably rotted out. We replaced like to like.

The lap siding on the lower, also likely not original, was not salvageable due to changes in location and size of windows between old and new.

The existing windows that were removed have been maintained in storage and are available for review .

I look forward to answering questions you, or the historian, might have.

Thank you,

Craig Holdren
Holdren-Lietzke Architecture

Original Synthetic Roof (Pic #1)



Original Synthetic Roof (Pic#2)





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Architecture

Chimney Stone



Existing Window Nook



SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES
Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Source: U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington, D.C., 2017.