



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD

Jordan Chroman, Erik Dyar, Esther Goodhue, Karyl
Hall, Kathy Pomeroy

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

REGULAR MEETING Monday, March 20, 2023

MEETING 4:00 PM

THIS MEETING WILL BE HELD VIA TELECONFERENCE AND IN PERSON AT CITY HALL.

To attend in person, please visit the City Council Chambers at City Hall located on Monte Verde Street between Ocean and Seventh Avenues. To participate via teleconference, click the following link to attend via Zoom (or copy and paste the link into your browser): <https://ci-carmel-ca-us.zoom.us/j/88991263922?pwd=TFVQTUFVMjA5c1I2STdDQU94V1I0UT09>. To attend Zoom via telephone, dial +1 312 626 6799. Meeting ID (if needed) is 889 9126 3922, and Passcode (if needed) is 930 359.

The COVID-19 Community Level for Monterey County as of the date of this agenda posting on 3/17/2023 is LOW. Per Urgency Ordinance 2022-006, wearing a face mask to attend a meeting of a legislative body inside a City facility is optional when the Community Level is LOW. Seating will be limited and available on a first-come, first-served basis.

The public can email comments to mwaffle@ci.carmel.ca.us. Comments must be received 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be added to the agenda and made part of the record.

CALL TO ORDER AND ROLL CALL

PLEDGE OF ALLEGIANCE

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. Matters not appearing on the agenda will not receive action at this meeting and may be referred to staff. Persons are not required to provide their names, and it is helpful for speakers to state their names so they may be identified in the minutes of the meeting.

ANNOUNCEMENTS

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Board or the public may ask that any items be considered individually for purposes of Board discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

1. Adoption of Minutes: December 19, 2022 Regular Meeting
2. Adoption of Minutes: January 23, 2023 Special Meeting

ORDERS OF BUSINESS

- A. Revised proposal from Historic Resources Board Member Karyl Hall for a new City policy to protect selected non-historic Carmel homes from demolition/exterior remodeling.

DIRECTOR'S REPORT

FUTURE AGENDA ITEMS

2. Next Regular Meeting: April 17, 2023

ADJOURNMENT

3. PUBLIC CORRESPONDENCE: Agenda-related items and other non-agenda items

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, Harrison Memorial Library, located on the NE corner of Ocean Avenue and Lincoln Street, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage <http://www.ci.carmel.ca.us> in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Historic Resources Board regarding any item on this agenda, received after the posting of the agenda will be available at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD Staff Report

March 20, 2023
CONSENT AGENDA

TO: Historic Resources Board Commissioners

SUBMITTED BY: Leah Young, Administrative Coordinator

SUBJECT: Adoption of Minutes: December 19, 2022 Regular Meeting

RECOMMENDATION:

Adopt the Meeting Minutes from the Regular Meeting held on December 19, 2022

BACKGROUND/SUMMARY:

FISCAL IMPACT:

ATTACHMENTS:

Attachment 1: December 19, 2022 Regular Meeting Minutes

**REGULAR MEETING
Monday, December 19, 2022
MEETING 4:00 PM**

CALL TO ORDER AND ROLL CALL

The following members of the Board were present: Esther Goodhue, Karyl Hall, and Jordan Chroman.

The following members of the Board were absent: Kathy Pomeroy.

PUBLIC APPEARANCES

The following members of the public appeared before the Board: None.

ANNOUNCEMENTS

None.

CONSENT AGENDA

Item 1: Adoption of Minutes: September 19, 2022 Regular Meeting

It was moved by Board Member Hall and seconded by Board Member Goodhue to adopt the September 19, 2022 Regular Meeting Minutes.

The motion passed by the following roll call vote:

AYES:	Board Member(s): Goodhue, Hall, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None
ABSENT:	Board Member(s): Pomeroy

Item 2: Adoption of the 2023 Historic Resources Board Meeting Calendar

It was moved by Board Member Goodhue and seconded by Board Member Hall to adopt the 2023 Historic Resources Board Meeting Calendar.

The motion passed by the following roll call vote:

AYES:	Board Member(s): Goodhue, Hall, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None

ABSENT: **Board Member(s): Pomeroy**

PUBLIC HEARINGS

Item 3: DS 21-436 (Libreri): Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study application, DS 21-436 (Libreri), for alterations to the historic "Casa Laiolo" house located on San Antonio Avenue 1 northwest of 9th Avenue in the Single-Family Residential (R-1) District, Park Overlay District, Beach & Riparian Overlay District, and Coastal Commission Appeal Jurisdiction. APN 010-301-020

Marnie Waffle, Principal Planner, presented the staff report and addressed questions of the Board.

Sandra Libreri, Property Owner, spoke on behalf of herself and her husband, Kim Libreri. Ms. Libreri commented on the project and thanked the Board and Marnie Waffle for their help and guidance throughout the process.

Tom Meaney, Architect, described the overall scope of the project, including the rail height and chimney.

Chair Chroman opened the public hearing. The following members of the public appeared before the Commission: None.

The public hearing was closed.

It was moved by Board Member Hall and seconded by Board Member Goodhue to adopt a Resolution issuing a Determination of Consistency with the Secretary's Standards for the Treatment of Historic Properties for alterations to the historic "Casa Laiolo" located on San Antonio Avenue 1 northwest of 9th Avenue.

The motion passed by the following roll call vote:

AYES:	Board Member(s): Goodhue, Hall, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None
ABSENT:	Board Member(s): Pomeroy

DIRECTOR'S REPORT

Marnie Waffle, Principal Planner, gave the following updates and addressed questions of the Board.

- **Gratitude for Service:** Waffle thanked the Board for their diligent service and efforts throughout the year 2022.
- **City Hall Holiday Closures:** City Hall will be closed, beginning December 23, 2022, and will reopen on January 3, 2023.

- **Community Planning & Building Scanning Project:** Physical property files are in the process of being digitized and made available to the public on the City's website. The project is approximately 80% complete with a target completion date of late January, or early February, of the year 2023. Waffle encouraged Board Members to investigate the GIS Mapping Tool in order to familiarize themselves with its features.
- **Design Traditions 1.5 Project:** The target completion date for a draft of the residential guidelines is late January, or early February, of the year 2023; the commercial guidelines are expected to follow shortly thereafter. The next community meeting has an anticipated schedule date of March 2023.
- **City Council December 2022 Meeting:** A Historic Context Statement was adopted; the next step is to submit the Historic Context Statement to the Coastal Commission for certification. Phase 2 of this project is being pursued in partnership with PAST Consultants; more grant money is being sought for this phase. The Board will be updated as this project moves forward.
- **Historic Resources Board Vacancy Update:** One vacancy still exists. City Council recently amended the requirements for Board Membership; the new ordinance will take effect in January 2023. Applications have been received; the City Clerk will be scheduling interviews with the Mayor and the Mayor Pro Tem in the New Year and after the new ordinance effective date.

FUTURE AGENDA ITEMS

Item 4: Next Special Meeting: January 23, 2023

Board Member Hall requested the following be added as future agenda items:

- The mural next to Nielsen Brothers Market be designated as historic. Due to graffiti, the mural needs to be restored; the cost will be approximately \$80,000.
- Level 2 Homes Proposal, authored by Board Member Hall, is an idea she said was previously mentioned in the 1988 City General Plan. Details finding commonality with this proposal have also been mentioned in the Design Traditions 1.5 Steering Committee meetings. Board Member Hall offered to distribute copies of her proposal to Board Members, as well as to staff.
- A Design Review Board was recently discussed by the Design Traditions 1.5 Steering Committee. Board Member Hall discussed some of the potential advantages of a Design Review Board, one of which would theoretically incorporate the Historic Resources Board into the Design Review Board as one entity, not two separate ones.

ANNOUNCEMENTS

On behalf of the Board, Chair Chroman thanked Marnie Waffle for her patience, diligence, and resourcefulness throughout the year 2022.

ADJOURNMENT

Approximately 5:04 p.m.

APPROVED:

Jordan Chroman, Chair

ATTEST:

Leah R. Young, Recording
Secretary



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD Staff Report

March 20, 2023
CONSENT AGENDA

TO: Historic Resources Board Commissioners

SUBMITTED BY: Leah Young, Administrative Coordinator

SUBJECT: Adoption of Minutes: January 23, 2023 Special Meeting

RECOMMENDATION:

Adopt the Meeting Minutes from the Special Meeting held on January 23, 2023.

BACKGROUND/SUMMARY:

FISCAL IMPACT:

ATTACHMENTS:

Attachment 1: January 23, 2023 Special Meeting Minutes

**SPECIAL MEETING
Monday, January 23, 2023
MEETING 4:00 PM**

CALL TO ORDER AND ROLL CALL

The following members of the Board were present: Esther Goodhue, Karyl Hall, Kathy Pomeroy, and Jordan Chroman.

The following members of the Board were absent: None.

PUBLIC APPEARANCES

The following members of the public appeared before the Board: None.

ANNOUNCEMENTS

None.

ORDERS OF BUSINESS

Item B: Proposal from Historic Resources Board Member Karyl Hall for a new City policy to protect selected non-historic Carmel homes from demolition/exterior remodeling.

Board Member Hall gave a presentation and requested feedback and direction from the Board.

Marnie R. Waffle, AICP, Principal Planner, recapped the Carmel Municipal Code and presented Board action options in association with this item.

The following members of the public appeared before the Commission: None.

It was moved by Board Member Hall and seconded by Board Member Goodhue to direct staff to present the Level 2 Proposal before the City Council, pursuant to the exploration of a policy adoption that would address the preservation of non-historic Carmel homes.

The following members of the public appeared before the Commission: None.

The motion passed by the following roll call vote:

AYES:	Board Member(s): Goodhue, Hall, Pomeroy, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None

ABSENT: Board Member(s): None

Item A: Consideration of initiating a historical evaluation of the Nielsen Market map board to determine whether it is eligible for listing on the Carmel Inventory of Historic Resources.

Marnie R. Waffle, AICP, Principal Planner, presented a report and requested feedback and direction from the Board.

The following members of the public appeared before the Board: None.

It was moved by Board Member Pomeroy and seconded by Board Member Hall to initiate a Phase 1 Intensive Historical Evaluation of the Nielsen Market map board and bring the findings of the review back to the Board for further discussion.

The motion passed by the following roll call vote:

AYES:	Board Member(s): Goodhue, Hall, Pomeroy, Chroman
NOES:	Board Member(s): None
ABSTAINED:	Board Member(s): None
ABSENT:	Board Member(s): None

CONSENT AGENDA

There were no items listed on the Consent Agenda.

PUBLIC HEARINGS

Item 1: DR 22-310 (D&K Dolores, LLC) & DR 22-157 (JB Pastor Building):
Consideration of an addition to the Carmel Inventory of Historic Resources and the Carmel Register of Historic Resources, and the consideration of a Determination of Consistency with the Secretary of the Interior's Standards for the relocation of the "Northern California Savings & Loan Complex Community Room" located at the southeast corner of Dolores Street and 7th Avenue in the Service Commercial (SC) Zoning District. APNs 010-145-022, 010-145-023, & 010-145-024

Evan Kort, Associate Planner, presented the Staff Report and addressed questions of the Board.

Chair Chroman opened the public hearing. The following members of the public appeared before the Commission: Ian Martin, David O'Neil, Kent Seavey, Richard Barrett, Thomas Hood, and Lucinda "Cindy" Lloyd.

The public hearing was closed.

Motion 1 of 2: It was moved by Board Member Goodhue and seconded by Chair Chroman to adopt a resolution adding a property known as the "Northern California Savings and Loan Complex" located at the southeast corner of Dolores Street and

7th Avenue in the Service Commercial (SC) Zoning District to the Carmel Inventory of Historic Resources and Carmel Register of Historic Resources. APNs 010-145-002, 010-145-023, & 010-145-024.

AYES: Board Member(s): Goodhue, Hall, Pomeroy, Chroman
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): None

Note: Board Member Hall participated in the proceedings, however, abstained from voting. In accordance with the Historic Resources Board's Rules of Procedure, "If a Board Member participates in the proceedings on a matter and then abstains from voting, the vote shall be recorded as an affirmative vote on the motion."

Motion 2 of 2: It was moved by Board Member Goodhue and seconded by Board Member Hall to adopt a resolution issuing a Finding of Noncompliance with the Secretary of the Interior's Standards for the relocation of the "Northern California Savings and Loan Complex Community Room" from APN 010-145-023 to APN 010-145-002.

AYES: Board Member(s): Goodhue, Hall, Pomeroy, Chroman
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): None

Item 2: HE 22-294 (Schneider): Consideration of Historic Evaluation Phase I Determination of Eligibility referral for the "Gard House" at the southwest corner of Mission Street and 12th Avenue in the Single-Family Residential (R-1) District. APN 010-163-001

Katherine Wallace, Associate Planner, presented the Staff Report and addressed questions of the Board.

Tobin Schneider, Property Owner, thanked Katherine Wallace for her report and commented on staff findings, project details, and his desires for the direction of the project.

Chair Chroman opened the public hearing. The following members of the public appeared before the Commission: Walt (no last name given), Anthony Kirk, Kent Seavey, David O'Neil, and Lucinda "Cindy" Lloyd.

The public hearing was closed.

It was moved by Board Member Hall and seconded by Board Member Goodhue to adopt a resolution adding the "Gard House" located at the southwest corner of Mission Street and 12th Avenue in the Single-Family Residential (R-1) zoning district to the Carmel Inventory of Historic Resources.

The motion failed by the following roll call vote:

AYES: Board Member(s): Goodhue, Hall
NOES: Board Member(s): Pomeroy, Chroman
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): None

It was moved by Board Member Pomeroy and seconded by Chair Chroman to adopt a resolution finding the “Gard House” located at the southwest corner of Mission Street and 12th Avenue in the Single-Family Residential (R-1) zoning district as ineligible for placement on the Carmel Inventory of Historic Resources. Findings of ineligibility include: the property has been significantly altered in over a dozen ways, including window boxes, shutters, fenestration, decking, and stairs.

The motion failed by the following roll call vote:

AYES: Board Member(s): Pomeroy, Chroman
NOES: Board Member(s): Goodhue, Hall
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): None

Anthony Kirk made further comments.

It was moved by Board Member Pomeroy and seconded by Board Member Hall to continue this item until the Board has a 5th board member present, as a tie-breaking vote.

The motion passed by the following roll call vote:

AYES: Board Member(s): Goodhue, Hall, Pomeroy, Chroman
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): None

DIRECTOR'S REPORT

Marnie Waffle, Principal Planner, gave the following updates and addressed questions of the Board.

- **Historic Resources Board Vacancy Update:** One vacancy still exists. The deadline to submit an application is January 25, 2023. The City Clerk will be scheduling interviews with the Mayor and the Mayor Pro Tem; the target date to add a new board member is February 2023.
- **City Council Annual Strategic Planning Meeting:** The meeting is open to the public and is scheduled for January 31, 2023, from 10:00 a.m. until 4:00 p.m., at the Sunset Center.

- **Design Traditions 1.5 Project:** Great progress is being made. A draft of the residential guidelines is nearly complete and will soon be ready for public review. The Design Traditions 1.5 Steering Committee will meet again this Thursday, February 2, 2023 at 8:30 a.m.

FUTURE AGENDA ITEMS

Chair Chroman thanked staff for their diligence and expedience in placing items on the agenda in this meeting, as discussed in the previous Board meeting.

Board Member Goodhue thanked staff for their efforts in producing a thorough agenda packet.

Item 1: Next Special Meeting: February 27, 2023

ADJOURNMENT

6:12 p.m.

APPROVED:

ATTEST:

Jordan Chroman, Chair

Leah R. Young, Recording Secretary



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD Staff Report

March 20, 2023
ORDERS OF BUSINESS

TO: Historic Resources Board Commissioners

SUBMITTED BY: Marnie R. Waffle, AICP, Principal Planner

SUBJECT: Revised proposal from Historic Resources Board Member Karyl Hall for a new City policy to protect selected non-historic Carmel homes from demolition/exterior remodeling.

RECOMMENDATION:

Receive the report, discuss, and provide direction.

BACKGROUND/SUMMARY:

At the December 19, 2022, Historic Resources Board meeting, the Board requested a future agenda item to discuss a proposal prepared by Board member Karyl Hall to save selected non-historic Carmel homes from demolition/exterior remodeling. At the January 23, 2023, meeting, the Board reviewed the proposal and directed staff to take it to the City Council to request adding the project to the department's work plan. Following the meeting, Board member Hall felt it was prudent to clarify some key points of the proposal, so staff is bringing the proposal back to the Board for further review before presenting it to the City Council.

Proposal to Save Non-historic Carmel Homes

The proposal is to establish a "Level 2" designation for homes that do not meet the requirements to be placed on the Carmel Inventory of historic resources but are worthy of being preserved because they represent the character of Carmel as a village in a forest. The program would be voluntary.

The Level 2 proposal recommends the preservation of homes of a certain style - Storybook, Craftsman, Victorian, Mission, Tudor, and old-world European - typically built up through the 1940s that possess characteristics common in much of Carmel's early architectural designs.

Characteristics include the use of natural materials, attention to detail, leaded glass windows, Dutch doors, wood plank doors, and stone or brick fireplaces, among other characteristics (refer to Attachment 1). The proposal encourages the preservation of homes that embody these characteristics even when the original designer/contractor is unknown.

The proposal further recommends that the same standards used to evaluate properties for historical significance also be used, albeit to a lesser extent, for Level 2 properties. Property owners would still be able to construct additions if the addition is designed to be subordinate to the original building and hidden from street view. Possible incentives to encourage the preservation of non-historic Carmel homes could be a reduction in permit fees or providing flexibility in requirements (i.e., development standards or design

guidelines) so long as all life safety requirements are met.

Specifically excluded from a Level 2 designation would be modern styles “with rectilinear right angles and squares, box-like shapes, no overhangs, flat roofs, or shallow pitch, asymmetrical roofs, ribbed metal roofs, preference for geometric patterns, expansive and undivided glass windows, windows resembling commercial storefronts, the elimination of detail and trim and featureless, industrial materials such as steel, glass, and concrete, faux materials, excessive use of dull colors (white, gray, black), a machine-like appearance that is stark.” (Refer to Attachment 1, Appendix A).

Creating New Regulations

As discussed at the January meeting, the Historic Resources Board does not have the authority to create new municipal regulations. The adoption of new regulations establishing a Level 2 designation for residential properties would most likely require amendments to the Carmel Municipal Code through the adoption of an Ordinance as well as an amendment to the City’s Local Coastal Plan. The proposed amendments would also be evaluated for consistency with the City’s General Plan. An ordinance requires three public hearings, one with the Planning Commission and two with the City Council, with final approval by the California Coastal Commission. To initiate a municipal code amendment, the Board could direct staff to present the proposal to the City Council for consideration. The request could be made at the next available City Council meeting.

City Council Policy

Rather than amend the Carmel Municipal Code, the Board could request that the City Council explore the adoption of a policy to address the preservation of non-historic Carmel homes. The City Council could adopt the policy via a Resolution. A policy may not be as effective due to limitations on enforceability and the ability to enumerate selection criteria and incentives specifically. For example, a City Council policy cannot waive requirements codified in the Carmel Municipal Code. To do so would require an amendment to the Municipal Code. However, the City Council could adopt a fee reduction by Resolution.

Design Traditions 1.5

On March 1, 2022, the City entered into a contract with Nore’ Winter and Company to update the Residential Design Guidelines and residential zoning code. The project is commonly referred to as Design Traditions 1.5. Over the last 10+ months, the Design Traditions 1.5 team has been working with the community to review and update the residential design guidelines. The City Council appointed five community members to a steering committee to provide input on the update. The team hosted three public workshops in 2022 at the Sunset Center to gather feedback from the community. The team is also exploring incentives to encourage the retention of existing cottages as an alternative to full demolition. The Board could direct staff to continue exploring incentives and return to the Board with the draft Residential Design Guidelines for review and discussion.

Duties and Powers of the Historic Resources Board

The duties and powers of the Historic Resources Board include administering the historic preservation program; reviewing major alterations to historic resources for consistency with the Secretary of the Interior’s Standards; and advising the Planning Commission and the City Council on amendments to the Historic Context Statement, Historic Preservation Ordinance, and the provisions of the General Plan related to historic resources, among other duties (refer to Attachment 2). The Board also reviews determinations of historic eligibility.

FISCAL IMPACT:

Unknown at this time.

ATTACHMENTS:

Attachment 1 - Revised Position Paper rev. 2.3.23

Attachment 2 - CMC Chapter 2.74 Historic Resources Board

Attachment 3 - CMC Section 17.32.040 (Eligibility Criteria for the Carmel Inventory)

Attachment 4 - 2016 Committee Report

Attachment 5 - City of Pacific Grove architectural-review-guidelines_rev-1-18-18

PROPOSAL: SAVING SELECTED NON-HISTORIC CARMEL HOMES FROM DEMOLITION/EXTERIOR REMODELING, A VOLUNTARY ÍPROGRAM

MISSION STATEMENT: To preserve the unique residential architectural character of Carmel-By-The-Sea.

The purpose of this proposal is to establish a new “Level 2” residential status for homes that do not qualify as “historic,” but nevertheless are characteristic of our village in the forest, with the intent of protecting them from extensive alteration or demolition when possible. This designation would be less restrictive for the home owner than the standard historic designation (referred to as “Level 1” for our purposes), both in qualifications and remodel requirements, should they choose to take advantage of the program.

BRIEF BACKGROUND:

It is no news that real estate prices in Carmel have fueled an increasing trend toward a second home community of wealthy owners, replacing the bohemian professors, artists, and writers of earlier Carmel. This loss of full-time residents and other factors have threatened a sense of community in our small village.

Noted former mayors have fought these trends. Perry Newberry, a journalist, playwright, and political activist, fought to keep Carmel a village in a forest. In 1922 when he was elected Mayor, he was considered “the greatest force Carmel has ever had for the preservation of its beauty, its artistic identity, and fine community spirit.”- *Allan Griffin*. Robinson Jeffers said that Perry Newberry did “more than any other man to keep the town tolerably simple, quiet and tree-protected, in spite of “progress” (*The Carmel Pine Cone, January 3, 2020*). The plaque on the wall at City Hall states that Carmel is "primarily, essentially and predominantly a residential community" (Carmel-by-the-Sea City Council, 1929).

Later, Mayor Gunnar Norberg tried to establish Carmel as a

“human sanctuary” like a wildlife sanctuary, a *heritage city*. He was quoted as saying “I’ve always tried to hold back the wheels of what is conventionally—and too often foolishly—called progress....today it is perhaps more critical than it has been.” He believed that “to preserve Carmel in some sort of heritage sense there must be altruism, and altruism is very difficult to come by over long periods of time.” (*SF Sunday Examiner & Chronicle*, 1976).

A member of the Carmel Historic Resources Board states it well: “...maintaining and cultivating this character is a critical way to keep the economic vitality of ...Carmel. People come here as residents or as tourists to visit specifically because of the special character of this little square mile by the sea” (*Eric Dyar, Architect, Pine Cone*, January, 2020).

A committee of fifteen notable Carmelites wrote a 2016 report that addressed several issues, including residential trends in Carmel. They observed that “many new houses are not of the scale, size and design to fit into our village-in-the-forest or into the character of the surrounding neighborhoods.” (*Carmel 2016 Committee Report*, December, 1991).

The 1988 General Plan for Carmel described a plan to save “significant buildings and sites” in the village. The recommendation was to “establish an ordinance procedure for the preservation of architectural/cultural/historic resources and their surrounding open spaces that can be applied to any parcel in any land use district.” Additionally, the plan recommended establishing “a citizen’s committee that will ...be advisory to the Planning Commission on matters related to architectural/cultural/historic resources.” (Carmel General Plan, pp5-1 through 5-9, 1988).

A 1988 General Plan objective, also supported in the updated 2003 plan, was to preserve the traditional characteristics of scale, good site design and sensitivity to neighboring sites in the single-family residential district through the design approval of new homes, additions and exterior remodeling. Also to encourage the construction of residences that are

compatible with the forest setting, site design and materials established by other structures within the adopted Residential Design Guidelines.

“Culturally significant structures and sites, like architectural resources, are vital to the well-being and survival of Carmel's citizens. An understanding of its history helps define and preserve the unique qualities of Carmel. The knowledge of its cultural heritage can be fostered through awareness of its varied eras, eclectic architecture, parks, seashore and forest setting. Such knowledge will provide assurance that Carmel's sense of place will survive. A viable program for maintaining the continuity is through a preservation program. Such a program will provide a focus for *all members of the community* to become actively involved in retaining the uniqueness of Carmel and its environment. With its aging housing stock, the City is undergoing a remarkable turnover of housing that is likely to continue over the next several decades as older homes are replaced or remodeled to meet the needs of current owners. The City is charged with protecting and preserving the established design character of Carmel as well as its historic resources. The City must plan for this change in a way that preserves the community character.” (2003 General Plan, p.1-7).

Barbara Livingston, at the time President of the Carmel Residents Association, stated that “visitors come here to escape their hectic lives in the cities. They don’t want to see harshly lit stores or stark modern buildings on treeless streets.” (*The Voice, January/February, 2020*).

“Millions of individual acts of building will together generate a town which is alive, and whole...this is the slow emergence of the quality without a name, as if from nothing.” (Alexander, Christopher, “The Timeless Way of Building” 1979, Oxford University Press).

In spite of the pressure continually exerted to “update” Carmel and encourage “progress,” our village has remained a special place with special buildings, and a destination place for people from all over the world. This has taken work, and the fight to keep at bay those exclusively “out to make a buck” in our village. We are on the verge of losing this

fight, as more and more of our cottages are replaced with large modern style “anywhere” designs on our tiny lots.

IDEA STATEMENT: WHY WE NEED PROTECTIONS

Most “Carmel Charmers” and other homes of note do not qualify for historic status (see the criteria for historical register below, Table 1). This is for a variety of reasons, one of which is no record of who built it, the year built, etc. Many of these homes are being torn down, mostly to build larger structures, to utilize “highest and best use” standards for the owner/investor.

The present trend nationally is toward modern styles of architecture (see definition, Appendix A), possibly because it is “in” and/or because owners may want an impressive “trophy” home. New owners in Carmel may not have been steeped in Carmel ways, and if part-time, may even be more resistant to or unaware of local aesthetics. Many of these buildings, in our view, do not fit into the ambiance of Carmel of the past, and hopefully of the future. We can make Carmel “anyplace, USA,” but in the process reduce its attraction for residents and tourists alike. We have managed to stave off “progress” for over 100 years. We must not fail to continue to protect the unique character of our village under threat of becoming ordinary.

One might say that property owners have the right to do what they want with their own home. This argument has merit, but any *special* place has guidelines and restrictions beyond those of most communities. As examples, Venice, Cinqua Terra, the Cotswolds, Greek Isles, etc. etc. have extensive restrictions to preserve their distinctive history and ambiance. Every location that is a draw for visitors has a consistent identifiable character, and that character requires *restrictions* to survive. This proposal is an incentive program to encourage home owners to protect the special nature of Carmel by the Sea.

Diversity is another hallmark of the argument for other than Carmel architecture of the past. When applied to architecture, diversity can destroy the “feel” of an area if carried too far, as indicated in the General Plan. Houses that do not fit into the look of other houses on the street or in the village jar the senses. Diversity can be evident within a range of architecture consistent with Carmel character (see Appendix B).

Yes, there is some “judgment” in determining which houses qualify for being saved, and how extensively, and that is why we have knowledgeable staff and committees to hash out these decisions. There will always be gray areas requiring judgment calls.

Hand in hand with restrictions is the need for an up-front notification to potential buyers of what it is they may and may not be able to do BEFORE buying a property in Carmel, if possible. That is only fair to the buyer. The level 2 designation could be a badge of honor, further enhancing the value of the residence, especially if financial incentives in the form of reduced city permit fees were attached.

CHARACTERISTICS THAT QUALIFY A HOME FOR LEVEL 2 PROTECTION

1. Homes typically built up through the 1940s (but not restricted to this age), including Storybook, Craftsman, Victorian, Mission, Tudor, and old-world European style homes, generally described as traditional.

Characteristics may include:

- use of natural materials
- attention to detail
- leaded glass windows
- dutch doors
- wood plank doors
- stone or brick fireplaces

- steep, curving gables
- hand carved trim around windows/doors
- cathedral ceilings
- window boxes, shutters
- intricate stonework
- ironwork accessories
- wood beams—interior and/or exterior
- natural redwood interiors
- board and batten single wall construction
- divided wood framed windows
- rolled roof or wood shingle/shake or slate, clay tile roof, slate, presidential composition, depending on style of home
- dormers/oriels
- open spaces and abundant landscaping
- rough contour Carmel stone
- the use of wood in hand carved doors, window frames, sills, moldings
- details and craftsmanship to create interest and continual delight in the design. surfaces broken up by ridges, insets, decorative tiles, cavities, niches
- corners exhibit bevels, bullnoses, cornices and moldings
- small paned windows
- fencing that is vertical, grape stake, split rail, stone, irregular/crude
- Arched entries, doors
- Carmel stone walls, stairs, steps
- High peaked roofs
- Natural wood and stone exteriors
- Irregular/distinctive hinge straps on doors
- Subtle soft (amber) lighting and Tudor/Craftsman/Mission style/wrought iron, wood, or copper lighting fixtures

ref: Alexander, Christopher, Ishikawa, Sara, Silverstein, Murray, "A Pattern Language" 1977, Oxford University Press

2. Homes built by Murphy, Comstock, Denny and Watrous, Hill, Morgan and others listed in the historic register that meet characteristics above. However a home is not required to have proof/knowledge of builder or restricted to a listed builder/architects to qualify for Level 2 status.

3. Small homes—one and two bedrooms—one story. Saving a small home does not preclude the possibility of adding on in the same vernacular, if the addition is designed to be subservient to the original building, e.g. set back, hidden from street view.

TABLE 1: HISTORIC REQUIREMENTS FOR LEVEL 1 HOMES JUXTAPOSED WITH PROPOSED REQUIREMENTS FOR LEVEL 2 HOMES

<u>HISTORIC REQUIREMENTS (LEVEL 1)</u>	<u>LEVEL 2 HOMES</u>
A. Representative of at least one theme included in the Historic Context Statement.	Same
B. Shall retain substantial integrity (association, feeling, setting, location, design, materials and workmanship)	Not as restrictive, as long as the basic integrity of the house is maintained
C. Fifty years of age and older, and should meet at least one of the four criteria for listing in the CA Register at a national or statewide level of significance, or at a regional or local level of significance:	Not necessary
1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of CA or the U.S.	Not necessary
2. Is associated with the lives of persons important to local, CA or national history	Not necessary
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, an important creative individual, or possesses high artistic values, Or	Same
4. Has yielded, or has the potential to yield, information important to the prehistory	Not necessary

or history of the local area, CA or the nation.

D. To qualify for the Carmel Inventory, an historic resource eligible under CA Register criteria no. 3 only, should:

1. Have been designed and/or constructed by an architect, designer/builder or contractor whose work has contributed to the unique sense of time and place recognized as significant in the Historic Context Statement, or

Not necessary

2. Have been designed and/or constructed by a previously unrecognized architect, designer/builder or contractor if there is substantial, factual evidence that the one or more of the historic context of the City to an extent consistent with other architects, etc. identified within the Historic Context Statement, or

Not necessary

3. Be a good example of an architectural style or type of construction recognized as significant in the Historic Context Statement, or

Not necessary

4. Display a rare style or type for which special consideration should be given. Rare styles and types that contribute to Carmel's unique sense of time and place shall be deemed significant.

Not necessary

E., F. and G.
Not applicable

H. A resource less than 50 years old may be eligible if it is of exceptional importance to the City, state or nation, base on its unusually strong contribution to history architecture, engineering or culture, or because it is an integral part of an historic district.

No restriction on age

PROPOSED ALLOWANCES FOR LEVEL 2 HOMES

1. Allow additions to existing homes while keeping the original home intact, using the same style of construction as the original.
2. Allow upgrades inside the home while maintaining the exterior appearance.
3. Allow replacement of existing structure(s) where necessary (due to extensive wood rot, code compliance issues, etc.) in the same construction style/size as the original, using as many of the original home materials as possible (discreet additions to size also a possibility).

The proposed Carmel city code changes are consistent with the Level 2 residence proposal (Proposed Zoning Code and Residential Design Guideline amendments, August 21, 2019). Particularly relevant statements from the amendments regarding designs follow:

“...standards have been added requiring that (the home) be sensitive to neighborhood context, incorporate natural finish materials, use earth-toned colors, and to consider using traditional roof forms such as gables.”

STEPS TO ACCOMPLISHING THE GOAL OF ESTABLISHING LEVEL 2 HOMES

1. City Planning staff would pass along to the HRB via email **only cases for review that alter the exterior of the home**. This includes all homes for which permit applications for **exterior** remodels have been submitted that are not designated historic. Additionally, excluded are deck and patio additions/changes, landscaping changes, and roof repairs, replacement with like-kind materials.

2. Candidates identified would be reviewed by the Historic Resources Board (HRB). The HRB would then make the determination of qualification for a Level 2 home, similar to the procedures for Level 1 (historic) homes. If there is a unanimous “no contest” by the HRB to the email within one work week, staff would proceed as they have in the past, with “determination of ineligibility” established.
3. If a majority of HRB board members approve Level 2 status, the restrictions delineated in this proposal apply, should the owner decide to participate.
4. It becomes the responsibility of the Staff/Planning Commission to enforce restrictions for homes designated as Level 2, should the owner take advantage of the program.

OTHER CONSIDERATIONS:

- Brochure for realtors, builders, public, at city hall – a method for notifying of the possibility of level two home designation*
- Seminars, online website city list of examples of Level 2 homes and requirements
- Petition, zoning ordinance adoption?
- Reduced fees for city permits as incentive, once the Level 2 designation is assigned.
- Added incentives for the homeowner to retain the structure, i.e., flexibility in requirements for an older home that was built before many of today’s codes existed, as long as safety/structural requirements are met (reviewers of this proposal suggested that design guideline accommodations might be made such that remodeling and/or updating were more likely a possibility. “We’re not a “one size fits all” town, and yet the current building restrictions and requirements give no leeway to that fact for older homes. Ideally there would be a mechanism for the City planners to step outside the boundaries and apply site-specific criteria with which the homeowner could work).”
- If a home is designated Level 2, the home owner(s) should be able to meet with the HRB, to discuss their perspective/concerns with

the designation and how it could impact their plans for the property.

*This document could be made available online to every potential buyer of homes.

APPENDIX A: DEFINITION OF MODERN STYLE

Characteristics of homes that would typically NOT qualify for Level 2 consideration, generally described as modern style, include homes with rectilinear right angles and squares, box-like shapes, no overhangs, flat roofs, or shallow pitch, asymmetrical roofs, ribbed metal roofs, preference for geometric patterns, expansive and undivided glass windows, windows resembling commercial storefronts, the elimination of detail and trim and featureless, industrial materials such as steel, glass and concrete, faux materials, excessive use of dull colors (white, gray, black), a machine-like appearance that is stark.

APPENDIX B: ISSUES/ARGUMENTS: QUESTIONS AND ANSWERS

Typical arguments in favor of modern style house designs are proposed in questions below, with responses provided to each argument:

1. Define “Carmel character.” What are you talking about...can you describe exactly what you mean by that?

Response: almost all issues/opinions lie on a continuum. Many Carmel houses are easily defined as having Carmel character or charm, with almost 100% agreement. Like-wise many are clearly not of that ilk. Then there are those along the continuum, where opinions differ. That’s why we have committees, to discuss and determine whether an individual house plan qualifies as having Carmel character (most easily described in pictures, not words). See text for definition of traditional style/Carmel character: “CHARACTERISTICS THAT QUALIFY A HOME FOR LEVEL 2 PROTECTION.”

2. Don’t architectural designs need to be represented from every decade?

Response: Carmel is not an encyclopedia of architectural styles. They are well represented in other communities (less desirable ones, we might add).

Because Carmel has limited undeveloped land, newer designs actually eliminate the charming cottages. Taking this to the extreme, continued demolition of older homes to be replaced by new “modern” buildings will eventually eliminate what is Carmel’s heritage.

3. Isn’t diversity a good thing?

Response: maybe diversity is good among people--maybe not as much among houses. Yes, some diversity is desirable—we don’t want “cookie cutter” designs that all look alike. We do not have that. The diversity among the older Carmel traditional styles thrives.

Carmel has maintained an architectural integrity atypical of the vast majority of communities. We are special, in that the residential designs have, for the most part, a warm, inviting, cozy feel, impervious to trends of the time.

In any community worth visiting there is an atmosphere, expressed through its architecture, which speaks not only to diversity within a genre, but *homogeneity* as well. Carmel is world-renowned for a reason, much of it due to the “magical” designs of its homes.

4. They say you can't stop progress. Isn't that true?

Response: this is what we have been doing for the last 100+ years in Carmel, when it comes to housing designs. That is why this village is unique. That does not mean that we won't embrace new and better ways to deal with issues generally. However, Carmel has maintained an architectural integrity atypical of the vast majority of communities. We hope this will continue to be, as it has been accomplished through hard work, over and over again by those before us. Carmel is in danger of becoming an “Anywhere USA” community. Many of the beach communities have already succumbed to “progress.” At this point the village of Carmel is losing the battle to maintain its traditional character, maybe for the first time in its history.

This is not about older people not wanting change. This is about maintaining an ambiance that is unique to our village.

5. Shouldn't people be able to do what they want with their house styles?

Response: If your neighbor wants to build a warehouse next to you, is that ok? How about a huge flat-top box home painted purple that blocks all the neighbors' views? Any community worth visiting has strict building guidelines. European villages exemplify this well. People can build pretty much what they want in most cities in the USA, and unfortunately it shows.

6. Isn't it desirable that new construction not mimic the older styles of earlier decades?

Response: as for "mimicry," aren't the contemporary homes mimicking others just as much as the traditional styles? Everything old is new again. Original nuances can appear on any style of home. Yes, it is important to monitor the quality of construction to assure that false facades and other poor attempts at capturing the past are discouraged. However, there are many examples of charming newer buildings in the village that uphold the magic of Carmel.

Many of the Carmel cottages are beyond repair, but they can be remodeled, added to, or demolished if necessary while keeping in the character of what makes Carmel so unique and special.

7. it doesn't say in the design guidelines that we can't do this, right?

Response: our guidelines need to be upheld and need stronger language. However, they cannot be comprehensive in covering every possible issue presented. In that case the "spirit" of the guidelines is determined/upheld in committee discussion and decision making. This is not a perfect world, but we can strive toward that ideal. Additionally the codes and zoning ordinances need to reflect and support the stipulations in the guidelines.

8. There are several other examples of what we want to do throughout town, so why can't we have that kind of house too?

Response: yes, unfortunately true in some cases. However, two (or more) wrongs do not make a right. Some existing homes did not receive design guidance and oversight, which is why there is a concerted effort to assure upcoming remodels and builds reflect the Carmel character in the years to come. Let's start making better decisions regarding designs in Carmel!

9. We don't want "Disneyland," or cutsie cottages, right?

Response: Disneyland is not what we want either, in terms of faux facades, etc., but people flock there for a reason. We DO want the real thing. Making an environment welcoming and comfortable, different from other places, is positive. There IS something wrong with sterile and bare, particularly in Carmel by the Sea. Comstock would not have been allowed to build his cottages today. Not just because of codes, but because they would not have been seen as "acceptable" by our Planning Commission (e.g., volumetric guidelines preclude high peaked roofs, and the Commission recommends "simple" lines/designs).

Visitors come to Carmel to see the "cutsie" Comstock cottages. The Chamber of Commerce lauds the "fairytale cottages" and magic of Carmel to draw in tourists, and includes pictures of the Tuck Box and Cottage of Sweets in advertising.

Additional Reference: the website for Pacific Grove:

[Architectural Review Guidelines for Single Family Residences](#)

- [Appendix I: Working on Buildings on the Historic Resource Inventory](#)
- [Appendix III: Glossary](#)

KH: revised 2.3.23

Chapter 2.74 HISTORIC RESOURCES BOARD*

Sections:

2.74.010 Historic Resources Board.

2.74.020 Duties and Powers of the Historic Resources Board.

* Code reviser's note: The provisions of this chapter have been recodified from CMC 17.32.020 and 17.32.030.

2.74.010 Historic Resources Board.

A. Establishment. There is hereby established in the City a Historic Resources Board consisting of five members with powers and duties to administer the City's historic preservation program. Specific duties, responsibilities and functions of the Board are established in this title.

B. Board Member Qualifications.

1. Members of the Board shall have demonstrated interest in and knowledge of architectural history, architecture, archaeology, anthropology, paleontology, architecture, historic architecture, local history or fields related to historic preservation such as construction, planning, geography, landscape architecture, urban design, ethnography, fine arts, or real estate.
2. The Board shall be comprised of three professional members, consisting of one member each, from the following combined fields: (1) history, architectural history, or urban design, (2) architecture or historic architecture, and (3) archaeology, anthropology, or paleontology. The remaining two public members may represent any of the related historic preservation fields noted above.
3. All members shall be residents and electors of the City, except in the event that no resident with the requisite expertise needed for a professional member can be found. In such case one professional member appointee may reside outside the City limits but within the sphere of influence. In any event, a majority of the Board shall at all times be composed of resident-electors of the City and all public members shall at all times be resident-electors.
4. If professional members with the required expertise cannot be found, the City Council may substitute one or more additional public members with a demonstrated interest in historic preservation.

C. Term. Board members shall serve for a term of four years. Terms of the members shall be staggered so that at least one term, but no more than two terms, shall expire annually. Terms of office for new members shall commence at the beginning of the first regular meeting in the month of May. Terms of outgoing members shall end simultaneously.

D. Board Member Appointment. Members of the Historic Resources Board shall be nominated by the Mayor whose nomination shall be ratified by at least three members of and appointed by the City Council. The newly appointed members shall be sworn in by the City Clerk. In the event an appointment cannot be made in a timely manner, the incumbent may continue to serve until a new member is appointed. All members shall serve at the pleasure of the City Council. Any member may be removed from the Board upon a majority vote of the City Council. (Ord. 2021-01 § 6, 2021; Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004. Formerly 17.32.020).

2.74.020 Duties and Powers of the Historic Resources Board.

The Historic Resources Board, established in accordance with the provisions in Chapter 2.24 CMC, shall have the following duties, powers and responsibilities:

- A. To administer the historic preservation program pursuant to this chapter.
- B. To review, and approve, deny or approve with conditions, determinations of consistency with the Secretary of Interior's Standards for all major alterations involving historic resources.
- C. To administer the Carmel Inventory and the Carmel Register.
- D. To approve or deny requests submitted by owners of identified historic resources to place the resources on the Carmel Register.
- E. To approve or deny requests to remove resources from the Carmel Inventory and/or the Carmel Register.
- F. To advise the Planning Commission and the City Council on amendments to the Historic Context Statement, Historic Preservation Ordinance and the provisions of the General Plan related to historic resources.
- G. To advise the Planning Commission and the City Council on the establishment of historic districts.
- H. To advise the City Council on becoming a certified local government for purposes of historic preservation.
- I. To advise the Planning Commission on the adequacy of environmental documents involving potential impacts to identified historic resources.
- J. To advise the City Council on proposed Mills Act contracts and proposed tax credit applications.
- K. To hear appeals of actions by staff to approve or deny determinations of consistency for minor alterations and/or track one projects affecting historic resources.
- L. To hear appeals of any administrative determination that a property is not eligible for the Carmel Inventory and to reverse where necessary such determinations, thereby placing such properties on the inventory.

M. To develop historic resource interpretive programs that will foster greater understanding of, and appreciation for, historic resources including Carmel's origins and history.

N. To review and advise the City Council periodically on updating the Historic Context Statement. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004. Formerly 17.32.030).

17.32.040 Eligibility Criteria for the Carmel Inventory.

The following types of resources are to be included in the Carmel Inventory: individual properties, historic districts, and archeological resources. Historic districts may consist of multiple properties that are united geographically and located with a defined boundary, or isolated properties that do not share a geographic boundary but are united by a common theme (also known as a “thematic grouping”). The Director and the Historic Resources Board, based on recommendations of qualified professionals shall use the following criteria in making determinations on the eligibility of properties for the Carmel Inventory. To be eligible for the Carmel Inventory, historic resources:

A. Should be representative of at least one theme included in the Historic Context Statement.

B. Shall retain substantial integrity. Integrity (association, feeling, setting location, design, materials and workmanship) shall be documented by comparing the existing condition of the resource with the original building plans or early records and photographs, or other substantial evidence (e.g., literature review, Sanborn maps, architectural files, land records) and/or by physical inspection by a qualified professional. Integrity shall be assessed by (1) defining the physical features that must be present for a property to represent its significance, (2) determining whether these features are still visible enough to convey significance, (3) determining whether the property needs to be compared to other similar properties to understand its significance, and (4) determining which aspects of integrity are vital if the property is to qualify as a resource (see National Register of Historic Resources, Bulletin #15).

C. Should be a minimum of 50 years of age and shall meet at least one of the four criteria for listing in the California Register at a national or Statewide level of significance (primary resource) or at a regional or local level of significance (local resource) per CEQA Guidelines Section 15064.5(a)(3):

1. Is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States;
2. Is associated with the lives of persons important to local, California or national history;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, an important creative individual, or possesses high artistic values; or
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

D. To qualify for the Carmel Inventory, an historic resource eligible under California Register criteria No. 3 (subsection (C)(3) of this section) only, should:

1. Have been designed and/or constructed by an architect, designer/builder or contractor whose work has

contributed to the unique sense of time and place recognized as significant in the Historic Context Statement; or

2. Have been designed and/or constructed by a previously unrecognized architect, designer/builder or contractor if there is substantial, factual evidence that the architect, designer/builder or contractor contributed to one or more of the historic contexts of the City to an extent consistent with other architects, designer/builders or contractors identified within the Historic Context Statement; or

3. Be a good example of an architectural style or type of construction recognized as significant in the Historic Context Statement; or

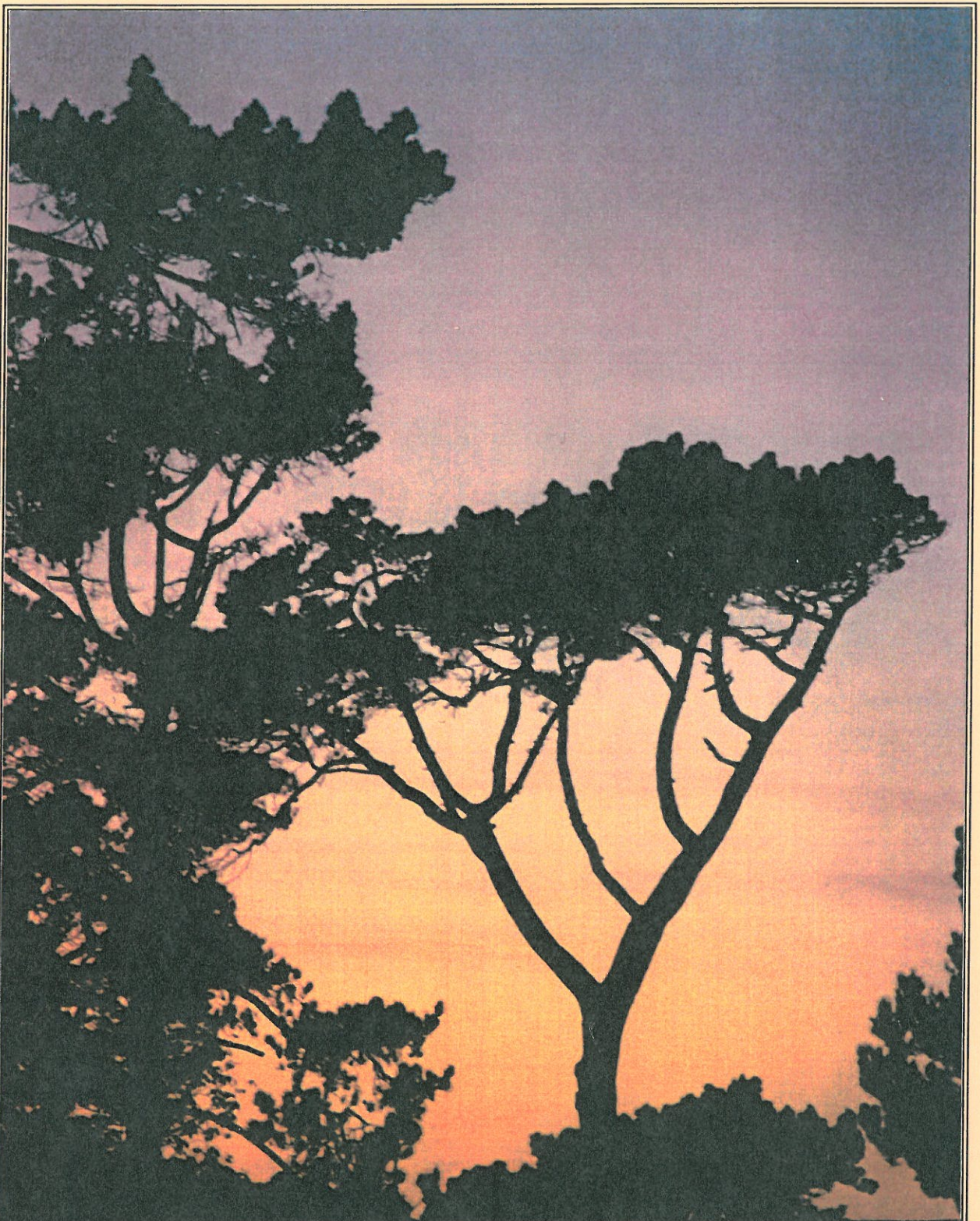
4. Display a rare style or type for which special consideration should be given. Properties that display particularly rare architectural styles and vernacular/utilitarian types shall be given special consideration due to their particularly unusual qualities. Such rare examples, which contribute to diversity in the community, need not have been designed by known architects, designer/builders or contractors. Rather, rare styles and types that contribute to Carmel's unique sense of time and place shall be deemed significant.

E. Districts designated as historic resources shall (1) have more than 50 percent of all properties within the district boundaries that contribute to the identifiable characteristics of the specific area or neighborhood; (2) represent a theme from the historic context of the early development of Carmel; (3) have a majority of all properties within the district boundaries that demonstrate the functions, styles, time period and lifestyles of the period of significance; (4) have a majority of all properties within the district boundaries that qualify as contributing resources that evidence a high level of integrity based on physical condition, retention of historical characteristics and relationship to the original site; and (5) represent or potentially represent historical information important locally, regionally, or to the State or nation.

F. All properties included in the inventory as of the date of final certification of the LCP, are hereby included in the Carmel Historic Resource Inventory unless removed by the Historic Resources Board pursuant to CMC 17.32.070(D). Recordation and notice of the inclusion of these resources in the inventory shall be provided pursuant to CMC 17.32.070(C). All subsequently identified Historic Resources shall be added to the Carmel Historic Resource Inventory and reported to the Historic Resources Board.

G. Any interested parties or organizations may submit to the City requests or applications for identification of historic resources to be included in the inventory. The City shall process such requests or applications within 60 days, consistent with the procedures established in this chapter.

H. A resource less than 50 years old may be eligible if it is of exceptional importance to the City, State, or nation based on its unusually strong contribution to history, architecture, engineering or culture, or because it is an integral part of an historic district. (Ord. 2004-02 § 1, 2004; Ord. 2004-01 § 1, 2004).



CARMEL 2016 COMMITTEE REPORT

Dream on, dream all these joys, life might look shrunken
In lack of dreams. Give your wish light, give it room . . .

Robinson Jeffers

The Carmel 2016 Committee was appointed by the City Council to assist in "dreaming" about Carmel-by-the-Sea in 2016, the year of the City's centennial.

While fulfilling its charge to look toward that year and to dream of "Carmel Tomorrow," this Committee spent considerable time addressing the realities of "Carmel Today." The members are seriously concerned that if the changes which have occurred over the last twenty-five years continue for the next twenty-five years, Carmel tomorrow, with no dreams — either expressed or sought — may well emerge as a nightmare instead.

The core of the Committee's recommendation is its unanimous support of Ordinance No. 96, which holds that Carmel-by-the-Sea is essentially and predominantly a residential city, and that business and commerce are to be subordinated to its residential character. The Committee feels that this can best be achieved if the intensity of development, both residential and commercial, is not increased beyond what exists now in 1991.

While there is apparent disagreement about many issues in the City, we have found remarkable consensus on the major dreams and visions for Carmel-by-the-Sea. We believe that the City Council should seek and go forward with that consensus to the year 2016.

CARMEL 2016 COMMITTEE
December 1991

STATEMENT

Carmel-by-the-Sea's natural setting—its beauty, its climate, its resources—creates the conditions for a special quality of life. These conditions, in the beginning, attracted people who loved the natural environment. Over the years, creative and sensitive people have consciously worked to complement and to maintain Carmel's natural beauty by systematically planting thousands of upper-canopy trees, by building attractive houses and shops, by controlling gross commercialism, and by promoting the cultural arts. Equally important as the things which were done in Carmel are the things which were not done. Carmel-by-the-Sea citizens chose not to have mail delivery, street lights, parking meters, and many more "conveniences" and improvements typical of other cities.

This extraordinary blend of natural beauty, man-made improvements, and improvements forsworn, has created a village which is known internationally as a wonderful place to live and to visit. In developing its vision for Carmel 2016, the Committee first started with the features which are already here and which it would like to see preserved through the next twenty-five years.

Upper-canopy trees in residential and commercial areas

Small houses nestled among the trees

Unique houses and commercial buildings by master architects and builders

Mail pickup at the Post Office

Narrow streets

The Beach Walk

Strong support of performing arts

Strong support of fine arts and crafts.

Forest Theater

Absence of formal sidewalks in residential areas

Absence of street addresses

Absence of street lights and yard lights in residential areas

Absence of exterior commercial lighting

Absence of parking meters

Absence of traffic signals

To that list of qualities from the past, the Committee would like to add the following guiding visions for the next twenty-five years:

A strong commitment to the natural environment, with particular attention to preserving and replacing upper-canopy trees and providing enough room to grow the next generation of such trees.

A commitment that residential development, i.e., building coverage and height, should not be increased beyond what exists in 1991. Building footprint should be reduced to allow enough room for upper-canopy trees. Houses should maintain the scale of their neighborhoods. Houses characteristic to Carmel-by-the-Sea should be preserved.

A commitment that the intensity of commercial development, i.e., square footage, traffic, and parking impacts, should not be expanded beyond what exists in 1991.

Preservation of the village-in-the-forest, with houses nestled among the trees. Preservation of the unique architectural style of Carmel houses and businesses. Preservation of structures built by Carmel's master builders. Preservation of historic or significant structures.

A vital business community with unique stores serving both residents and visitors. A business area with strengthened opportunities for resident-serving businesses, artists, and artisans.

Traffic-calming in both residential and commercial areas. A city where pedestrians are favored over cars. Commercial traffic minimized in residential areas. Commercial parking eliminated from residential areas.

The arts served. Appropriate theater space for the performing arts. Places for artists and artisans to work and display their wares. Preservation of outstanding local resources such as the Forest Theater.

The Post Office as a central meeting place for residents, with a Post Office Plaza for expanded social opportunities.

Expansion of political control to include the entire General Plan's Sphere of Influence.

RECOMMENDED PROJECTS

- A. Based on the sum of the Committee's deliberations and input received from both individuals and groups, the following projects are recommended for implementation at an early date:
1. Create a Post Office Plaza by closing a portion of Fifth Avenue in front of the Post Office.
 2. Install restroom facilities at the south end of Carmel Beach.
 3. Implement traffic-calming using narrowed traffic lanes, decreased speed limit, more trees and landscaping on San Carlos Street, Junipero Avenue, Carpenter Street, and Rio Road.
 4. Establish a freight station and prohibit double-parked trucks after 10:00 AM daily.
- B. Plans and programs should be commenced immediately, even though implementation will be longer-term, on the following projects:
1. Upgrade Sunset Center to include a contemporary performing arts facility.
 2. Accelerate plans to locate all overhead utilities under ground in the residential district.
 3. Establish Arts and Crafts Center in which artisans will work and sell their art.
 4. Annex Carmel Point area.

The best progress is made when the end result is in mind. In the report that follows, the Committee has identified those current, disturbing "Trends" which it sees as needing a strong City response. Also presented are the Committee's "Visions," shown as slices of life from the year 2016, with 1991's disturbing "Trends" having been reversed or slowed and many of today's problems resolved.

I MAINTAIN AND IMPROVE THE "VILLAGE-IN-THE-FOREST" QUALITY OF CARMEL-BY-THE-SEA

FOREST

TRENDS

- 1.A Many of Carmel-by-the-Sea's upper-canopy Monterey pine trees are past maturity. At the present rate of loss, the upper-canopy forest will essentially be gone by 2016.
- 1.B The City is planting Monterey pines on streets and public property. The upper-canopy Monterey pine trees are not being replaced on private property. By 2016, each block will be ringed with tall trees on the streets, and low trees and bushes around the houses.
- 1.C One of the reasons for loss of trees is that small, village-scale houses are being displaced by structures too large to allow enough clear space for upper-canopy trees and other native trees.

VISIONS

- 1.1 The Forestry Plan sustains continuous upper-canopy growth on public and private lands. The City Council increased the Forest and Beach Department budget in support of the Plan, allowing sufficient staff for planting new trees, maintaining existing trees, and enforcement of tree-protection ordinances.
- 1.2 Monterey pine trees now thrive in the spaces between houses in all residential areas. The ordinances reducing the footprint-to-lot-size ratio and requiring upper-canopy trees with each new house or remodeling have been very successful. The enforcement provisions have resulted in replanting the Monterey pines, cypress, and oaks which have died or were removed.
- 1.3 The "Carmel Land Trust," established twenty-five years ago, has grown slowly but steadily. Land acquired by dedication or purchase now dots the City and its Sphere of Influence.
- 1.4 Monterey pine trees are still in evidence in the downtown because of City plantings in street and sidewalk areas and required planting in private open areas.
- 1.5 Healthy, flourishing cypress trees once again frame the view along Scenic Road.

- 1.6 The utility undergrounding program was sensitive to preservation of tree roots. The removal of overhead wires has saved many trees from unnecessary pruning.
- 1.7 City policies discouraging trees not native to the area, but rather encouraging native, drought-resistant species have created a forest which is truly unique.
- 1.8 Landscape islands have been installed at intersections in both residential and commercial areas, creating conditions which slow traffic and create safety for children and pedestrians. Underground utilities, benches and miniparks add to the walking-friendly environment.

RESIDENTIAL

TRENDS

- 1.D Forty percent of the houses in Carmel-by-the-Sea are now owned by nonresident, out-of-town owners. Many sit empty or are rented on a short-term basis. Absentee owners or short-term renters do not participate in village affairs.
- 1.E Many new houses are not of the scale, size and design to fit into our village-in-the-forest or into the character of the surrounding neighborhoods. Many of the houses designed by noted architects, built by Carmel's master builders, or former residences of nationally-known historic figures are being demolished or remodeled so that their historic significance is lost.

VISIONS

- 1.9 For the past twenty-five years, people have been building smaller houses which harmonize with Carmel's historic building styles, rather than importing architectural styles from other areas.
- 1.10 Strong design guidelines for commercial and residential buildings ensure that new designs harmonize with Carmel's historic structures, and require honest use of design features rather than caricatures. Also specified are natural materials emphasizing craftsmanship. Housing design, materials, and systems now must be ecologically appropriate.

- 1.11 Many truly characteristic Carmel houses have been saved by the Historic Preservation Ordinance and by programs allowing property owners to place restrictive covenants which protect landmark or historic buildings.
- 1.12 The low-income housing mitigation fee imposed on new, large houses and remodeling has been used to help finance housing for lower income families and households.

II. A BUSINESS DISTRICT ATTRACTIVE AND FUNCTIONAL TO RESIDENTS AND VISITORS

TRENDS

- 2.A Resident-serving businesses are being displaced by tourist-serving businesses.
- 2.B The commercial base of the downtown is losing its unique qualities due to the increasing focus on a single market segment — tourist-oriented retail. Chain retail stores diminish the downtown's attraction because they are common in shopping centers throughout California.

VISIONS

- 2.1 The Post Office continues to be a social center of the village because of the expanded Post Office Plaza and the provision of a postal box for every Carmel-by-the-Sea resident.
- 2.2 Local artists have once again become a part of Carmel's downtown. An arts and crafts center as a place for artists to work and display their wares is now in the block directly to the north of Devendorf Park.
- 2.3 The business district continues to prosper because of the ongoing City program to maintain a diversified economic base, rather than tourist retail only. The program encourages small, unique stores; a strong contingent of local ownership; incentives for resident-serving businesses; strong emphasis on performing arts and locally produced arts and crafts; locally significant special events; and an increasing awareness of Carmel-by-the-Sea's artistic and architectural history to attract customers for business.
- 2.4 Visitors still love to come to Carmel because they feel as if they are guests in our village, rather than targets of a commercialized tourist community. Obvious tourist products, such as Carmel logo merchandise, are no longer allowed, and chain retail stores commonly found in shopping malls have been discouraged.
- 2.5 Residents can find a wide variety of businesses and services in the downtown to meet their needs, rather than being required to drive out of town. The City program identifying a short list of businesses either not present or in short supply, and providing incentives to establish those businesses, has maintained the balance.

- 2.6 The business community is further supported by a core of downtown residents inhabiting apartments built in response to incentives for sites with both commercial and residential uses.
- 2.7 Once a week, two central City blocks are closed to traffic to accommodate California's most beautiful European-style farmers' market. This has become a cornerstone in establishing downtown Carmel-by-the-Sea as a primary shopping area for local residents and is popular with visitors as well.
- 2.8 The parking program which allows extended on-street parking for a daily fee has allowed more long-term shopping and has reduced employee parking in prime areas.
- 2.9 Unamplified live music is once again allowed in establishments serving alcohol.
- 2.10 The business tax laws have been rewritten so that all business people equitably share the local tax burden.
- 2.11 The program to maintain at least one full-service gas station within the City limits has been successful.
- 2.12 Sidewalks in the business district have been upgraded with surfaces which are attractive and safe and are coordinated with the architecture of adjacent buildings. Where possible, the City has created wider sidewalks, narrower streets, and more pedestrian amenities — such as landscaping, benches, and drinking fountains.
- 2.13 The entire business district is adorned with flowers planted by business owners, inhabitants of the downtown apartments, and the City.
- 2.14 Attractive bins for street-generated recyclables are located throughout the downtown area.

III. STREETS AND TRANSPORTATION REDESIGNED TO FAVOR THE PEDESTRIAN AND TO REDUCE THE IMPACTS OF TRAFFIC AND PARKING

TRENDS

- 3.A Increased volume and speed of traffic have reduced the pleasure of walking in Carmel-by-the-Sea.
- 3.B All downtown traffic passes through a residential neighborhood. Increasing commercial traffic affects residential areas. Commercial parking is extending further and further into residential areas.
- 3.C Carmel-by-the-Sea lacks the variety of transit services necessary to reduce traffic and parking impacts on residential areas.
- 3.D Streets are widened whenever they are repaired, diminishing the natural traffic-calming which has slowed traffic in the past. Sometimes the widening is extreme, such as San Carlos Street. Other times, the widening is subtle, such as adding a foot more pavement or removing the one narrow point which had slowed traffic.
- 3.E Increasing traffic problems hurt our local businesses and denigrate the qualities that promote a sense of community.

VISIONS

STREET DESIGN

- 3.1 Walking in Carmel is much easier and more pleasant because traffic-calming principles have been effected on all streets. Carmel's environment, including streets, favors the pedestrian and not the automobile.
- 3.2 In residential areas, streets are narrow and meandering. Trees, plants, and landscape materials are used next to travel lanes to create the feeling of narrow, obstructed roads, slowing traffic.
- 3.3 There are no four-lane roads in Carmel-by-the-Sea. One lane in each direction was removed from Junipero and Ocean Avenues, with additional parking on Junipero and widened sidewalks on Ocean.
- 3.4 Bicycle lanes have been installed on Ocean Avenue and the Truck Route.

- 3.5 The Citywide fifteen-mile-per-hour speed limit adds to the pleasure and safety of local residents and visitors alike.

PARKING AND TRANSIT

- 3.6 Commercial parking encroachment into residential areas has been virtually eliminated.
- 3.7 No new parking structures (defined as above-ground structured parking) have been built.
- 3.8 Residents' use of the downtown is increased because Carmel has established a City bus system using small, quiet buses, which serve all areas of the City.
- 3.9 A visitor shuttle which serves the entire Monterey Peninsula has been developed. Visitors may park once and visit all major tourist destinations.
- 3.10 Tour buses and recreational vehicles park out of the City at a peripheral location and visitors use park-and-ride services, thereby reducing noise and congestion on City streets.
- 3.11 Parcel-freight stations have been established. Deliveries to town by large truck are prohibited. Only small vans or pickup trucks are permitted to deliver in the village.

IV. A COMMUNITY SENSITIVE TO HUMAN NEEDS IN HOUSING, EDUCATION, TRANSPORTATION, RECREATION AND COMMUNITY FACILITIES

TRENDS

- 4.A The continuing loss of venues providing opportunities for human interaction and community activity is destructive to the health of the community.
- 4.B Many people of all ages can't afford to locate or stay in Carmel-by-the-Sea.
- 4.C Old community traditions are gradually disappearing.

VISIONS

- 4.1 The reservations system guaranteeing every Carmel-by-the-Sea household and business a postal box at the town's Post Office has become something which each of us takes for granted.
- 4.2 The First Murphy House and Park continue to be popular local gathering places.
- 4.3 In addition to the facilities installed at the Murphy Park site, there are modern, clean, year-round toilet facilities at the south end of Carmel Beach and a few other locations.
- 4.4 The citizen-organized "Service Program for Community" includes an extensive program in which the talents and experience of the City's elderly have been tapped and are shared with the City's children as part of a latch-key replacement program.
- 4.5 Community activities such as a farmers' market, adopt-a-tree program, parades, and the formation of additional neighborhood groups flourish.
- 4.6 Over the last twenty-five years a number of City-sponsored events have become traditions. In addition to the Recreation Department's popular weekly bingo night established in 1991, there are now regular meetings of the bridge and cribbage clubs. Social dancing and sports competitions are held among the neighborhood groups.
- 4.7 The highly successful "Plant-a-Tree Day" activity is now held yearly on the same date of the popular annual City barbecue.

- 4.8 Traffic-monitored "safe streets" where children play without fear, are scattered throughout the City.
- 4.9 After setbacks in the late 1980s and early 1990s, the Carmel Unified School District was successful in convincing a plurality of area voters to endorse the bond issues which have generated the funds to produce the outstanding school system we enjoy today.
- 4.10 New residents are welcomed in programs sponsored by neighborhood groups with activities designed to introduce them to the community's history and traditions.
- 4.11 We have an activities/sports center for youth — a place for joining together of young families. A skateboard facility, baseball and soccer field are installed at Rio Park, as are tennis courts and a bird observation deck.
- 4.12 A good-sized Community Room to seat approximately 150 people now exists at Vista Lobos.
- 4.13 A nonprofit loan corporation was established to finance low-cost housing.
- 4.14 The Street Beautification and Safety Committee celebrates its twentieth anniversary this month, looking with pride at its many accomplishments. Perhaps most notable among these is the dramatic turnaround in the appearance of the once-freewayesque San Carlos Street, now narrowed with native plant landscaping planted by the Committee, and trees which have now reached upper-canopy status.
- 4.15 The Beautification Committee's anti-litter campaign, begun years ago, has taken hold completely, making street and sidewalk cleanliness a way of life in Carmel-by-the-Sea.
- 4.16 A new system for voter registration based on a positive geographic locating method, or by Block/Lot numbers, was finally devised and approved by the State Legislature. The population is assured that vital decisions made in the polling booth are made by residents of Carmel-by-the-Sea.

V. A CITY WHOSE CULTURAL OPPORTUNITIES ENRICH THE COMMUNITY LIFE

TRENDS

- 5.A The present facilities for performing arts at Sunset Center are becoming outdated and are not providing the proper setting for quality performances.
- 5.B Resident artists are being displaced by the high cost of housing and limited studio space.
- 5.C Our rich culture — historically incorporating local arts, photography, literature, music, drama and architecture — is no longer a vital part of Carmel-by-the-Sea.

VISIONS

- 5.1 Performing arts flourish at the renovated Sunset Center. The theater is a state-of-the-art performance facility. It is an appropriate size for Carmel audiences. It is acoustically sound and has stage space, fly lofts, dressing facilities, and shop space for music, drama, and dance performances. Other rooms in the Center provide opportunities for smaller performances.
- 5.2 The Forest Theater has been upgraded, with great sensitivity shown toward the natural rustic setting and ambiance.
- 5.3 Local artists perform and exhibit regularly in conjunction with other events at the Post Office Plaza and the City's parks.
- 5.4 Galleries and shops thrive, where artists and artisans work and live on the premises.
- 5.5 Through zoning and other incentives, the City has preserved two movie theaters.
- 5.6 Festivals, exhibits, and performances abound in Carmel, sponsored by private groups, nonprofits, enterprising individuals, and the City.
- 5.7 The City's restriction of art galleries to those unique businesses which expand the diversity and variety of art available within the City has successfully encouraged and supported local artists.
- 5.8 The Scout House has remained an attractive, cozy community meeting area, reserved for local use by nonprofit associations and private residents.

- 5.9 The focus on Carmel-by-the-Sea as an artistic community has been restored. The City is permeated by culture — from sculpture and music in the parks to a great variety of festivals, exhibits, and performances in art, drama, literature, music, and photography.

VI. AN ENLARGED CARMEL AREA OF GREATER LOCAL CONTROL

TRENDS

- 6.A Land use plans permitted by the County are based on zoning that promotes dependence on the automobile and threatens further deterioration of the special village character of Carmel-by-the-Sea and the uniqueness of the Carmel area. Spanish Bay, the greater Pebble Beach area, and Hatton Canyon are just three examples of how development proceeds with this form of government.

VISIONS

- 6.1 The 1991 Sphere of Influence was annexed to Carmel-by-the-Sea.
- 6.2 A local Council exists in each community area and determines local ordinances. A unified Council to provide regional planning and basic services has been established.
- 6.3 The Carmel-by-the-Sea City Council regularly sponsors expanded local government conferences, which include Carmel Valley, the Highlands area, and Big Sur.
- 6.4 Land use plans have been reviewed to bring commercialization — and development in general — into line with traffic and water realities.
- 6.5 The Carmel River is a green belt connecting the area of the Fish Ranch and Odello properties east to Garland Park, thereby preserving open area.
- 6.6 Carmel has been instrumental in establishing an "Ecological Development Charter" supported by the Monterey Peninsula, Carmel Valley, and Big Sur communities. The Charter identified land use planning principles to enhance community spirit and reduce energy consumption. "Village" models now replace auto-dependent urban sprawl, shopping malls, and planned residential developments.
- 6.7 Hatton Canyon has been preserved as a wildlife sanctuary and greenbelt.

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ADDENDUM

The following information was tabulated from responses made on 5 October 1991 at the Committee's public input session held at the Chapman Room at Sunset Center.

It is presented herewith for the Council's information.

I. PRESERVING OUR NATURAL ENVIRONMENT

Attachment 4

PROBLEM: CARMEL'S UPPER-CANOPY TREES (E.G. PINE, OAK) ARE PAST MATURITY. AT THE PRESENT RATE OF REPLACEMENT, THE URBAN FOREST WILL BE GONE BY YEAR 2016.

	<u>Yes</u>	<u>No</u>	<u>Neu- tral</u>
<u>Vision:</u> Adopt a forestry plan to sustain continuous upper-canopy growth on public and private lands.	65	0	1
<u>Vision:</u> Approve new City ordinance for private land requiring open space, and requiring upper-canopy trees to be planted.	49	3	0
<u>Vision:</u> Adopt budget providing funds to support the new urban forest plan.	56	2	0
<u>Vision:</u> Put utilities underground.	71	0	0
<u>Vision:</u> Require merchants to provide flowers to beautify the business district.	33	4	6

=====

II. CREATING A PEDESTRIAN-FRIENDLY CITY

PROBLEM: AS PARKING AND TRAFFIC PROBLEMS INCREASE, CITY ATTRACTION TO VISITORS DECREASES, LOCAL COMMERCE IS AFFECTED, AND QUALITY OF LIFE IS LESSENED.

	<u>Yes</u>	<u>No</u>	<u>Neu- tral</u>
<u>Vision:</u> Create a parking shuttle system.	62	1	0
<u>Vision:</u> Design street conditions that calm traffic, e.g., single lane, more plant/landscape barriers.	28	4	0
<u>Vision:</u> Develop pedestrian paths in the neighborhoods.	34	13	1
<u>Vision:</u> Establish a parcel-freight station in the first floor of the existing Vista Lobos buildings.	13	11	4
<u>Vision:</u> Purchase High School site for shuttle-park system and freight depot.	26	8	2
<u>Vision:</u> Design citywide bicycle lanes.	26	4	0
<u>Vision:</u> Prohibit large truck deliveries, allow small vans only.	32	15	0

III. CREATE A UNIFIED CHARTER CITY FOR THE GREATER CARMEL AREA Attachment 4

PROBLEM: THE DESTINY OF CARMEL, CARMEL VALLEY AND THE BIG SUR COAST WILL BE SHAPED BY THE COUNTY GOVERNMENT IN SALINAS, WITH VIRTUALLY NO PARTICIPATION BY THE RESIDENTS OF THOSE AREAS. SPANISH BAY AND HATTON CANYON ARE TWO REAL EXAMPLES OF HOW DEDEVELOPMENT PROCEEDS WITH THIS FORM OF GOVERNMENT.

	<u>Yes</u>	<u>No</u>	<u>Neu- tral</u>
<u>Vision:</u> Set up local City Council in each community area that determines local ordinances. Create a unified Council to provide regional planning and basic services.	40	8	1
<u>Vision:</u> Review land use plans to bring commercialization -- and development in general -- into line with traffic and water realities.	46	1	0

IV. EXPANDING CARMEL'S CULTURAL ATTRACTIONS

PROBLEM: FAILURE TO PROVIDE CULTURAL ACTIVITIES THAT ENCOURAGE CULTURALLY INTERESTED VISITORS.

	<u>Yes</u>	<u>No</u>	<u>Neu- tral</u>
<u>Vision:</u> Put the plans for a new performing arts center at Sunset Center back on the fast track.	37	10	3
<u>Vision:</u> Purchase High School for cultural facilities.	30	9	1

V. PROMOTING COMMUNITY INTERACTION AND COOPERATIVE, PEOPLE-FRIENDLY CONDITIONS Attachment 4

PROBLEM: LOSS OF ENVIRONMENTS THAT PROVIDE OPPORTUNITIES FOR HUMAN INTERACTION AND COMMUNITY ACTIVITY.

	<u>Yes</u>	<u>No</u>	<u>Neu- tral</u>
<u>Vision:</u> Create a Post Office plaza. Close Fifth Avenue between Dolores and San Carlos Streets.	41	5	1
<u>Vision:</u> Organize citizens' service program for community service.	26	0	1
<u>Vision:</u> Create "safe streets" by closing streets, monitoring traffic.	27	12	0
<u>Vision:</u> Implement community activities such as: a farmer's market, adopt-a-tree program, parades and the formation of additional neighborhood groups.	44	5	3
<u>Vision:</u> School District plans a new educational park on School District land at the mouth of the Valley with funds made available by the sale of the present High School site.	20	0	0
<u>Vision:</u> Welcome new residents with programs designed to inform about the community's values. Encourage more neighborhood groups as sponsors.	50	5	1
<u>Vision:</u> Make a skateboard facility at Rio Park.	25	8	1
<u>Vision:</u> Provide year-round restroom facilities at the south end of Carmel Beach.	63	0	2

VI. ENHANCING OUR OWNER/RESIDENT COMMUNITY

PROBLEM: MORE THAN ONE-THIRD OF THE HOUSES IN CARMEL ARE OWNED BY NON RESIDENTS! OF THE RETAIL BUSINESSES, ONLY A SMALL FRACTION ARE OWNER MANAGED.

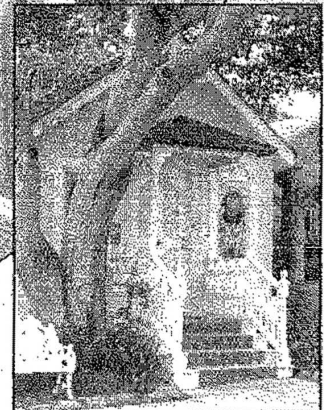
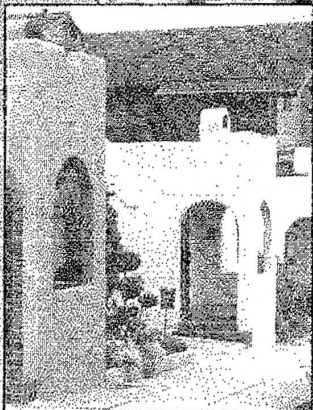
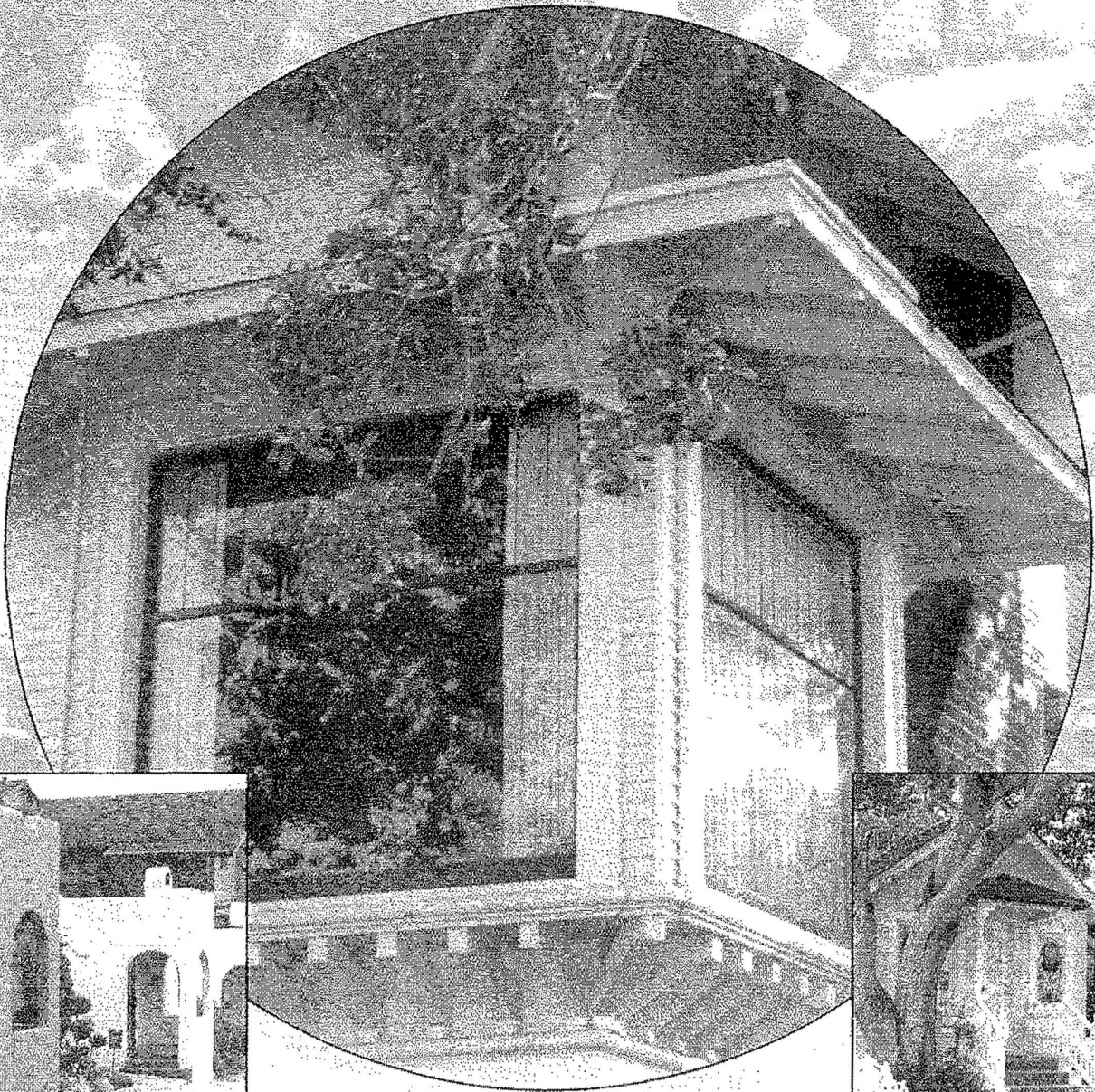
	<u>Yes</u>	<u>No</u>	<u>Neu- tral</u>
<u>Vision:</u> Establish a nonprofit loan corporation to finance homes and owner-operated businesses.	39	10	1
<u>Vision:</u> Develop an arts, crafts and restaurant place in the block directly north of Devendorf Park. The City buys open space in the center (Block 59) and closes Sixth Avenue between the Park and the Harrison Memorial Library Park Branch. Restaurants and shops are reserved for owner-operated businesses.	42	9	3
<u>Vision:</u> Set up new system for voter registration based on Carmel police location 911 guide, or by Block/Lot number.	21	4	2
<u>Vision:</u> Establish fee for properties which fail to comply with City requirements for forestry management.	34	1	2
<u>Vision:</u> Pass a rental tax commensurate with legitimate hotel bed tax.	25	8	8
<u>Vision:</u> Provide fast-track permit system and other incentives for construction on houses that are at least 10% less than allowable floor area ratio (FAR) and site coverage..	34	2	3



CITY OF PACIFIC GROVE

Architectural Review Guidelines

for
Single-Family Residences



2017

Acknowledgments

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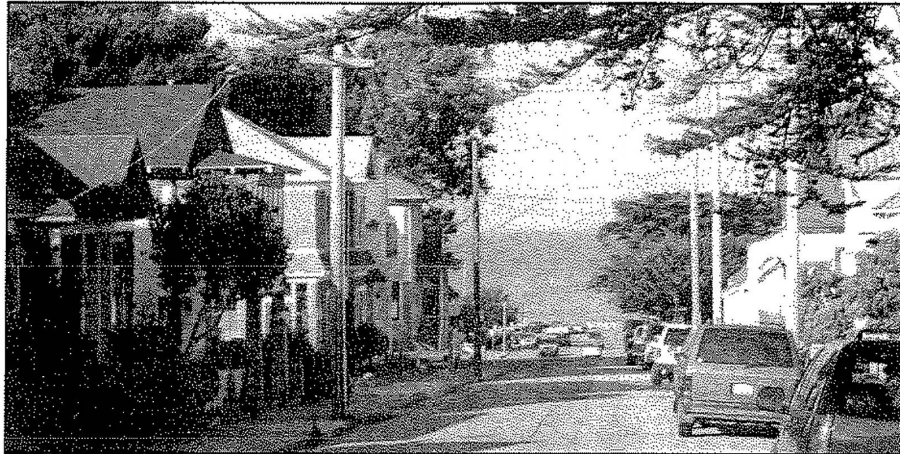
Community Development Department

Table of Contents

INTRODUCTION	1
ARCHITECTURAL REVIEW PROCESS	2
SECTION 1: NEIGHBORHOOD COMPATIBILITY	4
Architectural Style and Design	5
Scale and Rhythm of Streetscape	7
Garages, Driveways, and Service Areas	9
Good Neighbor Considerations	10
Exterior Lighting	12
SECTION 2: RELATIONSHIP TO SITE AND TOPOGRAPHY	13
Siting a Structure	14
Preservation of Natural Slopes	15
Preservation of Significant Trees	17
SECTION 3: MASS AND SCALE OF A STRUCTURE	18
Proportion of Buildings to Site and Open Space	19
Height and Roof Lines	21
Proportional Relationships	22
Façades	23
Architectural Details	24
SECTION 4: MATERIALS, TEXTURE, AND COLOR	25
APPENDICES	
I Working with Buildings on the Historic Resources Inventory	
II Suggestions for Streetscape Fences and Walls	
III Glossary	

INTRODUCTION

Pacific Grove is defined by a unique combination of natural resources and traditional neighborhoods that create a special place. Each of its neighborhoods exhibits features that enhance the livability of the community. These features need to be recognized and respected when designing an addition, remodel, or new home.



“The external image a city presents to the world is the signature by which it is known.”

— Richard Hedman, American Planning Association

Natural resources abound in Pacific Grove. The rugged shoreline, with its accessible beaches, meets Monterey pines and cypresses in a spectacular embrace of forest and sea. Victorian gardens brighten compact pedestrian thoroughfares, where carefully preserved historic buildings blend with their contemporary counterparts. The result is a rich architectural heritage and a pedestrian-friendly “hometown” atmosphere.

Purpose of Architectural Review

In order to maintain and preserve Pacific Grove’s natural beauty and historic character, the community has adopted an architectural review process that is specifically designed to:

- ♦ promote the orderly development of the city;
- ♦ maintain harmonious relationships between old and new structures and between buildings and the natural environment;
- ♦ protect Pacific Grove’s architectural heritage and natural resources;
- ♦ establish a process by which property owners, architects, and City representatives can work together to sustain Pacific Grove’s unique quality of life.

About These Guidelines

This set of architectural review guidelines will serve as a common reference point for everyone involved in the process:

- ♦ property owners
- ♦ architects and designers
- ♦ builders
- ♦ Architectural Review Board (ARB), Planning Commission, City Council, and City staff
- ♦ neighbors and other interested citizens.

These guidelines, while not mandatory requirements, deserve serious consideration in the execution of design proposals. They are intended to allow for individuality, creativity, and variety in architectural design, while providing guidance to the Architectural Review Board as it carries out its responsibilities under the Pacific Grove Municipal Code. The guidelines are also intended to direct the homeowner and designer to develop a design that will move smoothly through the review process. Projects which do not adhere to these guidelines risk costly redesigns or project denial.

If you have any questions or need additional information as you use these guidelines, please contact the Community Development Department at (831) 648-3190.

ARCHITECTURAL REVIEW PROCESS

Architectural review is conducted by the City's Architectural Review Board. The seven members of the ARB are appointed by the Mayor with the approval of the City Council. Two members must have professional experience as architects, landscape architects, engineers, designers, or draftsmen, and two must have experience in the building industry. The ARB meets on the second and fourth Tuesdays of every month.

What Types of Projects Are Subject to Architectural Review?

While some projects may not require ARB approval, the majority do. Any exterior change to an existing structure should be reviewed with the Community Development Department prior to initiating any work, in order to avoid compliance problems.

Review Considerations

As specified in section 23.73.070 of the City's Municipal Code, the design elements that are considered by the ARB during the review process include:

- ♦ Siting
- ♦ Mass (size and shape)
- ♦ Architectural detail
- ♦ Overall architectural character
- ♦ Materials, color, and landscaping

All of these points are considered within the context of the surrounding neighborhood, with the goal of promoting visual harmony and maintaining the unique character of each of Pacific Grove's neighborhood areas.

What Are the Steps?

1. Preliminary Meeting with City Planner:

Before going to the time and expense of developing detailed building plans, you should discuss the project with the City's planning staff, who will answer questions about zoning regulations and the review process and explain submittal requirements.

Also consider discussing your plans in advance with neighbors. Remember that they may attend the ARB hearing and comment on your project.

2. Application Submission: Submit the required plans, along with a completed application and fees. It is important that the plans be complete; incomplete applications can lead to processing delays.

3. Planning Division Review: The plans are reviewed for completeness and to determine if other permits are required. For example, if your project involves removing trees, a tree permit will be required, and variances require Planning Commission approval. (NOTE: Any required Planning Commission approval or Site Plan Review Committee approval precedes ARB review.)

4. Architectural Review Board Hearing: Your application is next scheduled for a public hearing before the ARB. Notices of all ARB hearings are posted at the project site and mailed to the owners of adjacent properties and those directly across the street. The City is required to post notices at least seven days in advance of the hearing.

Except for minor projects, most applications for architectural approval will require at least two presentations to the Board, the first for concept approval and the last for final approval. (NOTE: Any applicant is entitled to ask for final approval at one presentation, provided that all submittal requirements for final approval have been satisfied.) Please note that it is the function of the ARB to evaluate design; it is not the function of the ARB to design the applicant's project.

Concept Approval: The ARB grants concept approval when the siting, style, and size of a project are acceptable. It may be necessary for the Board and the applicant to review the project at more than one meeting in order to reach this point.

Final Approval: The ARB grants final approval of the specific structure to be constructed. No deviations from the approved plans are permitted unless a design change application has been approved by the Board or a minor design change has been approved by staff. Although not required, it is recommended that working drawings be presented on all matters that will affect the exterior appearance of the project in order to expedite final approval.

At the ARB meeting, your project will either be approved without discussion (as part of the consent agenda) or considered on the regular agenda.

According to Municipal Code section 23.73.060, the Board is authorized to make the following decisions on any application:

- ♦ approve as submitted
- ♦ disapprove
- ♦ approve, subject to:
 - conditions
 - specified changes
 - additions

Appeals: ARB decisions may be appealed to the Planning Commission by the applicant or other interested parties. The Planning Commission then has 30 days to consider the appeal. Planning Commission decisions may be appealed to the City Council. The Planning Commission and Council have until their next regularly scheduled meeting following the ARB action to call an item up for review.

Generally, the ARB will not consider an item that still requires use permit or variance approval from the Planning Commission, since architectural

approval may prove meaningless if the Planning Commission or City Council denies the application or imposes conditions that require a change in architecture.

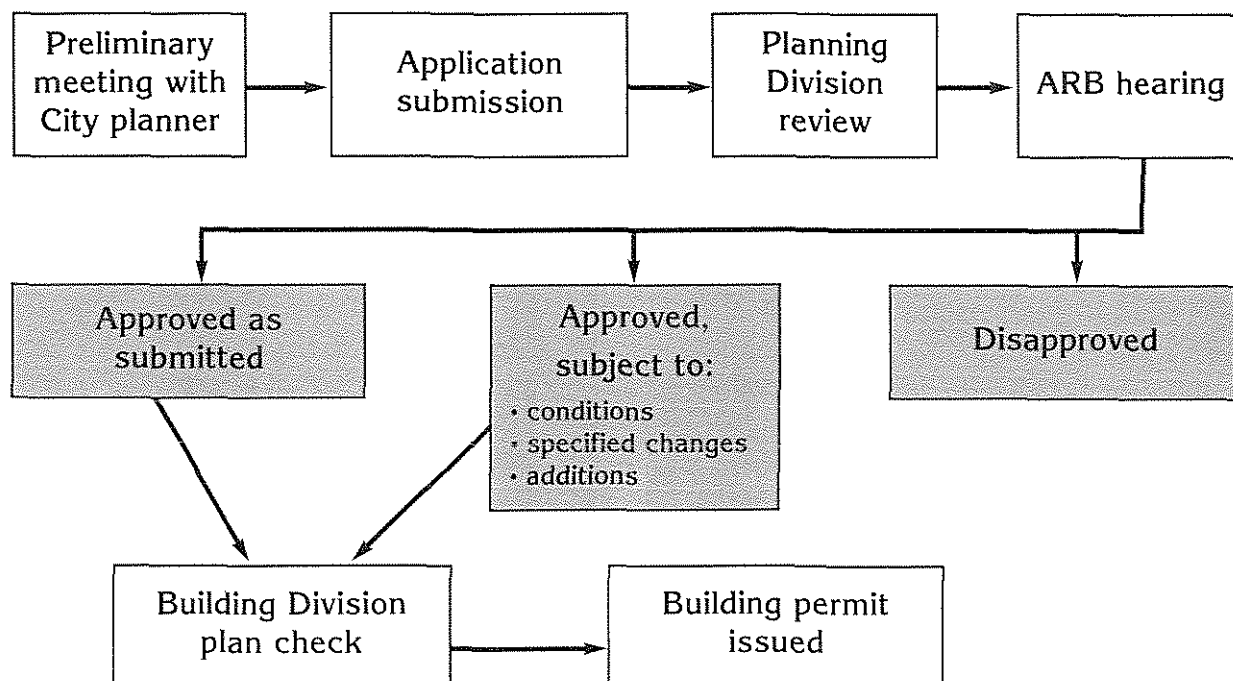
5. Building Division Plan Check: Plans approved by the ARB are then checked by the Community Development Department's Building Division for Building Code compliance. After all requirements are met, a building permit is issued.

How Long Will it Take?

Projects are generally processed in the order they are received. Processing times can vary greatly depending upon the Community Development Department's current application workload, the complexity of your project, and, most importantly, the completeness of your application. When you submit your application, the Community Development Department staff can give you an estimate of how long the review process will take.

The best way to expedite the review and approval of your project is to make sure your application and plans are complete and clear. This booklet is intended to help guide you through the process by clarifying the City's expectations for architectural design.

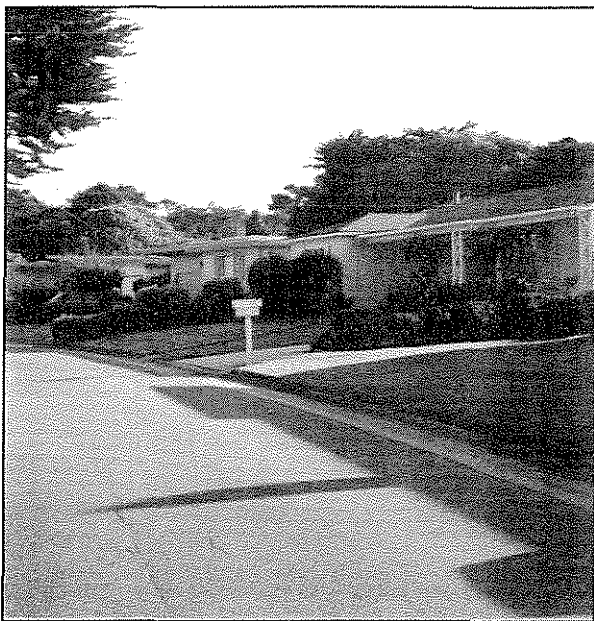
ARCHITECTURAL REVIEW SEQUENCE



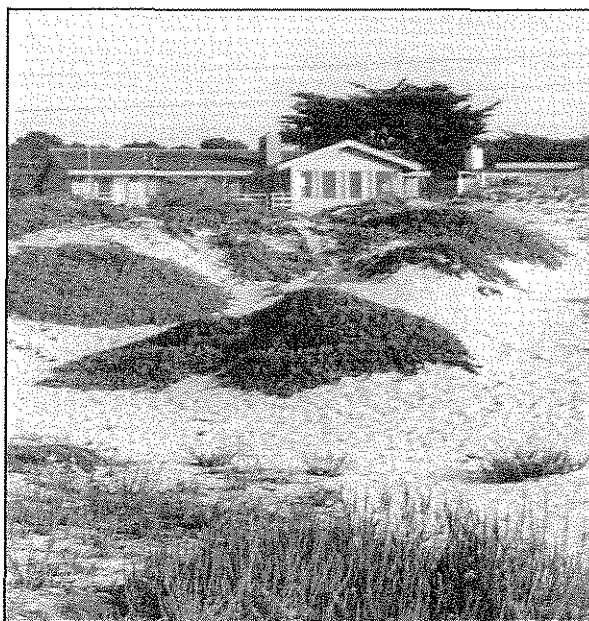
SECTION 1: NEIGHBORHOOD COMPATIBILITY

One of the hallmarks of Pacific Grove's small-town character and charm is its unique blend of architectural styles set against a magnificent backdrop of natural resources. Pacific Grove's neighborhoods are comprised of homes exhibiting a wide variety of architectural styles. Some are nestled among Monterey pines and gently rolling dunes. Others were built in rows along more "urban" blocks, with porches aligning along the street. These existing attributes of the town, both scenic and man-made, form the background for any new structures that are added to the environment.

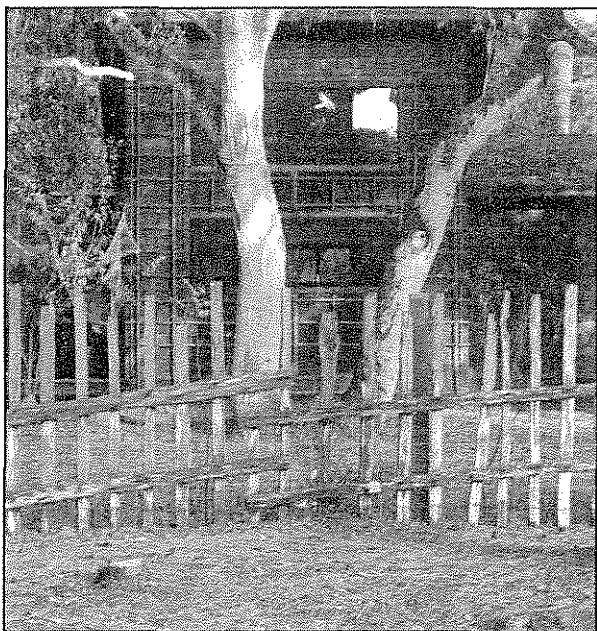
A key principle of these architectural review guidelines is that alterations and new construction should respect and enhance neighborhood compatibility.



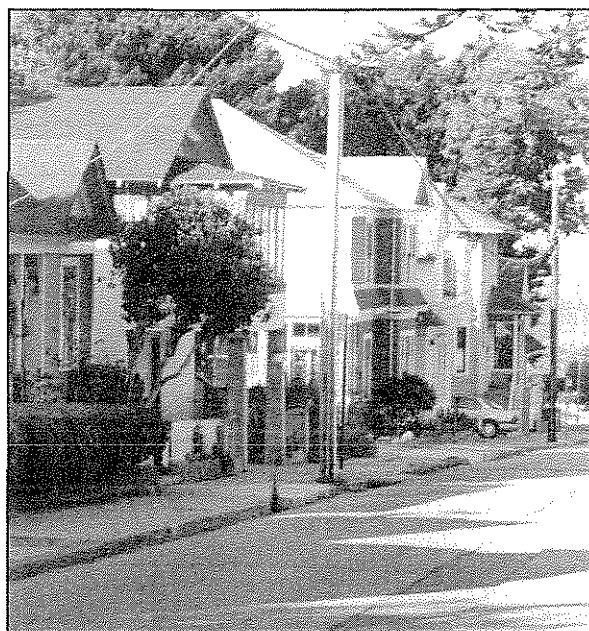
Beach Tract/Fairway Homes



Asilomar Dunes



Pacific Grove Acres



Pacific Grove Retreat

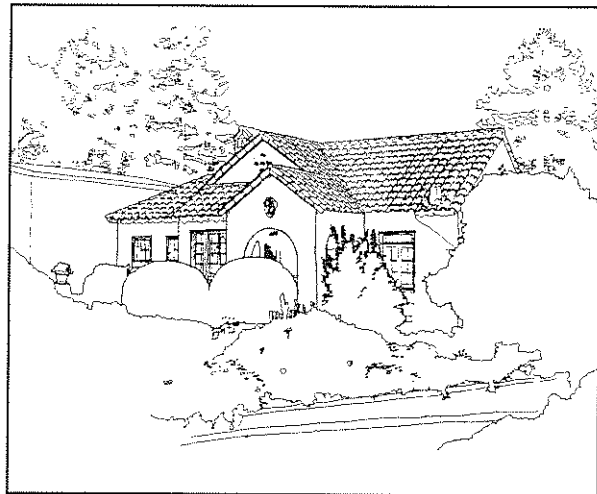
Architectural Style and Design

Diverse architectural styles lie at the heart of Pacific Grove's distinctive character. Stately Queen Anne homes coexist with Spanish, Tudor, Prairie, and a variety of other historic and modern architectural styles. The horizontal lines of ranch style homes blend compatibly with the rolling sand dunes and natural vegetation of the Asilomar Dunes area. In the Retreat, ornamental details of vernacular cottages and distinctive trim elements of Queen Anne styles are typical. Each of these styles reflects the craftsmanship of its period and the care of the city's residents.

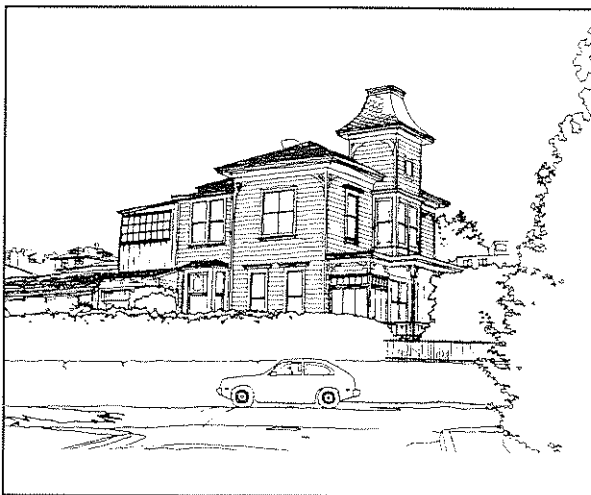
When remodeling existing houses, traditional design elements should be respected. New construction should be designed to be compatible with established styles.



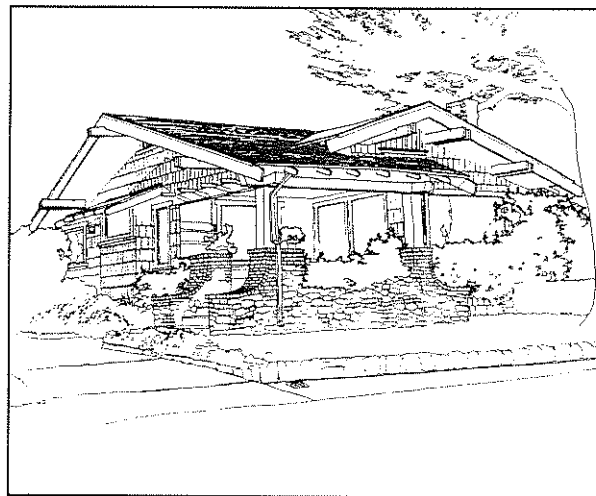
Tudor: Steeply pitched roofs, offset chimneys, arched doorways.



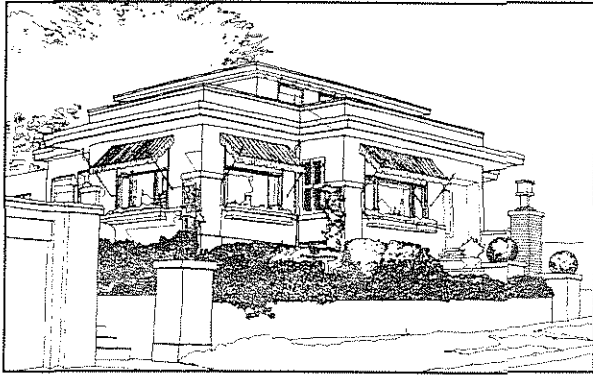
Spanish Revival: Tile roofs, stucco finish, arched doorways.



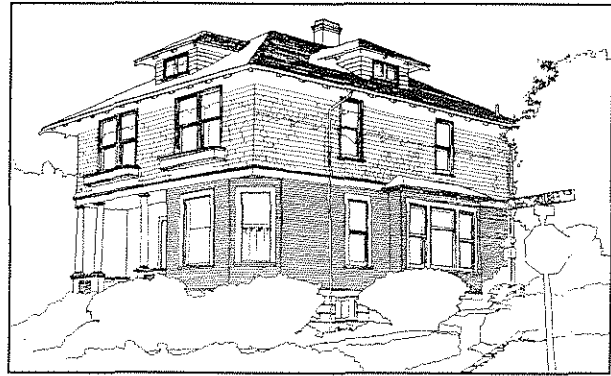
Italianate: Deep overhangs with brackets, decorative window frames.



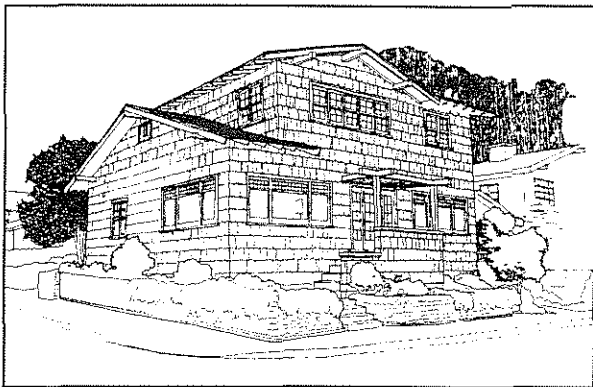
Craftsman/Bungalow: Low-pitched and wide-projecting gable roofs, exposed rafters or knee braces, large porches with columns.



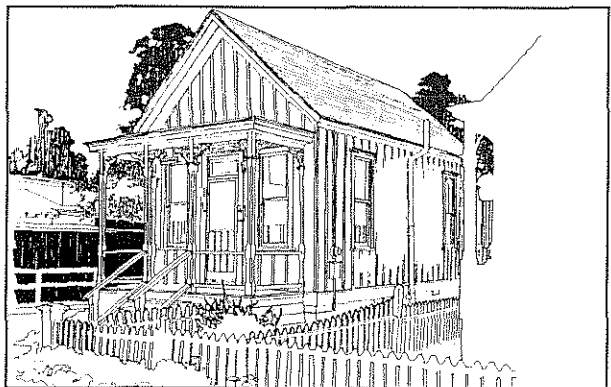
Prairie: Horizontal emphasis, sidewalls merge with building, deep roof overhangs.



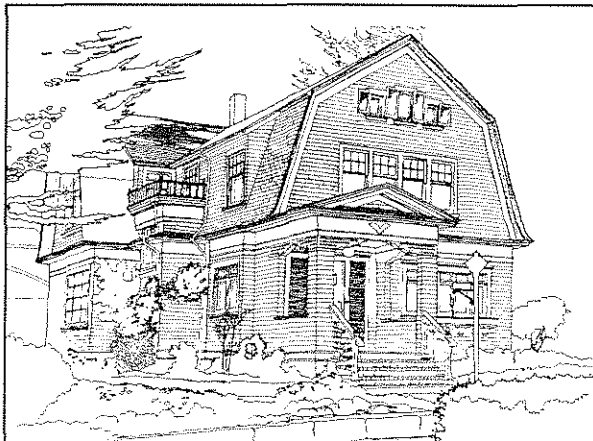
American Foursquare: Two-story square or rectangular plan, hip roofs, heavy eaves, and front porches.



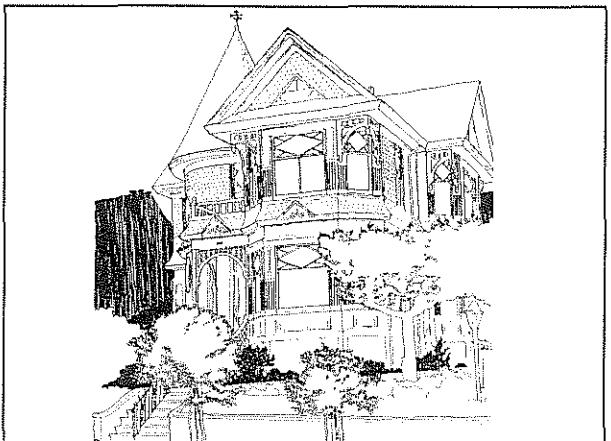
Shingle: Unembellished wood shingles, porches of rough stone with classic porch posts.



Vernacular: Rectangular form, gable roofs, porches facing the street.



Colonial Revival: Palladian windows, classical portico entries.



Queen Anne: Decorative shingle patterns, offset turrets and bay windows, ornate porch details.

While styles are diverse, each building shares some basic features of construction with its neighbors. For example, in some of the older

neighborhoods many houses are wood-sided, with gable roofs and porches facing the street.

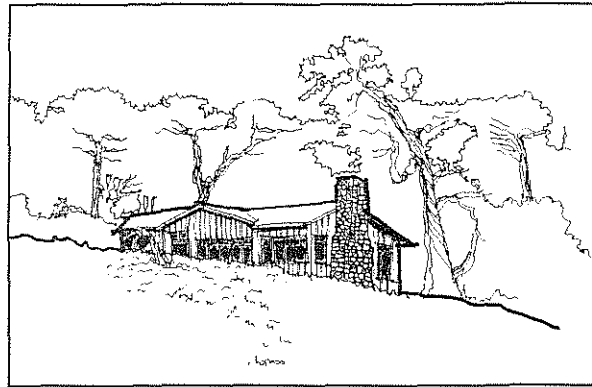
Scale and Rhythm of Streetscape

The character of a project's context varies within individual neighborhoods of the city. Some settings are more "urban" while others have more rural features that highlight natural resources. Defining the context of a project is an essential step in evaluating a design's fit with the neighborhood.

New structures should be designed to harmonize and blend with the scale and rhythm of the neighborhood and to maintain the character of the area.



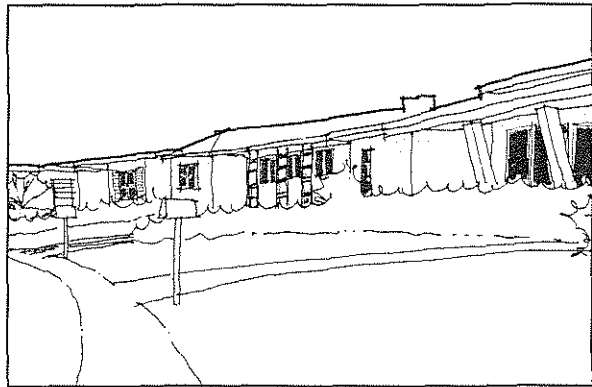
Rhythm and alignment: Where building fronts align along a street, maintain this pattern.



Natural streetscapes: In some areas, a house appears more as an individual structure set in the woods. This characteristic should be maintained.



Scale: These two-story buildings are similar in massing and height.



Alignment: Uniform deep front setbacks contribute to the character of this neighborhood.

Guideline #1:

The mass and height of a new building should blend well with neighboring structures and not overwhelm them with disproportionate size or a design that is out of character.

Some similarities in form can be abstracted from older styles and used in an original way.

Guideline #2:

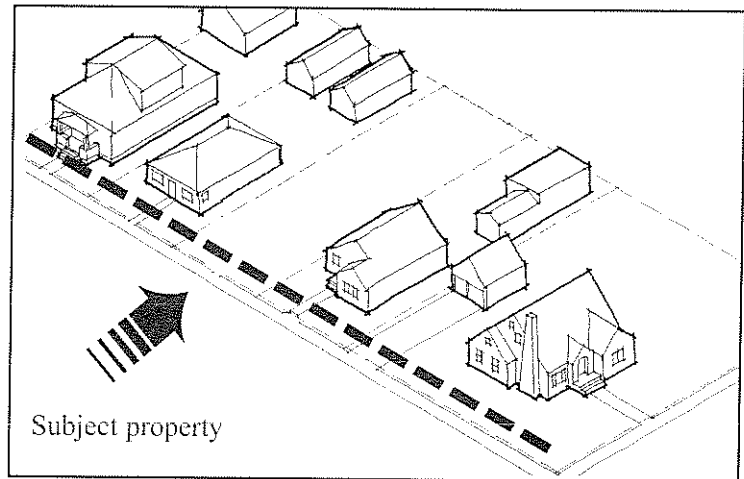
Roof lines of new structures should be compatible with the pitch and character of roofs seen traditionally in the neighborhood.

Pitched roofs are common in Pacific Grove. However, the slopes vary among the different neighborhoods.

Respecting the scale and rhythm of the streetscape:

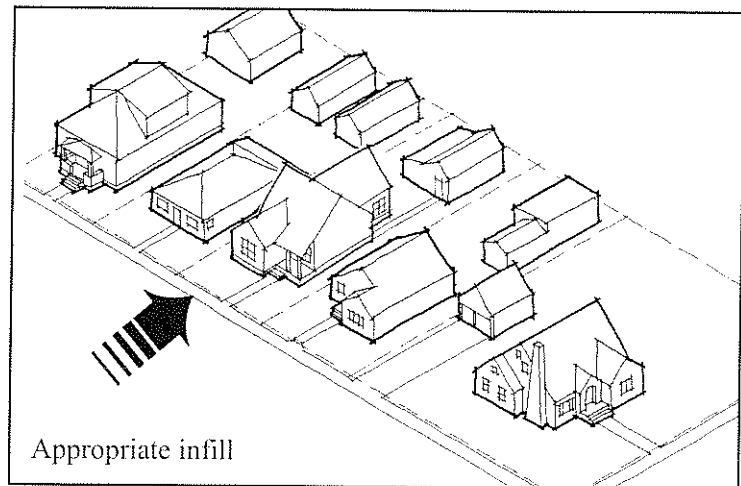
Existing Context

In many blocks, building fronts align. Structures are one and two stories in height.



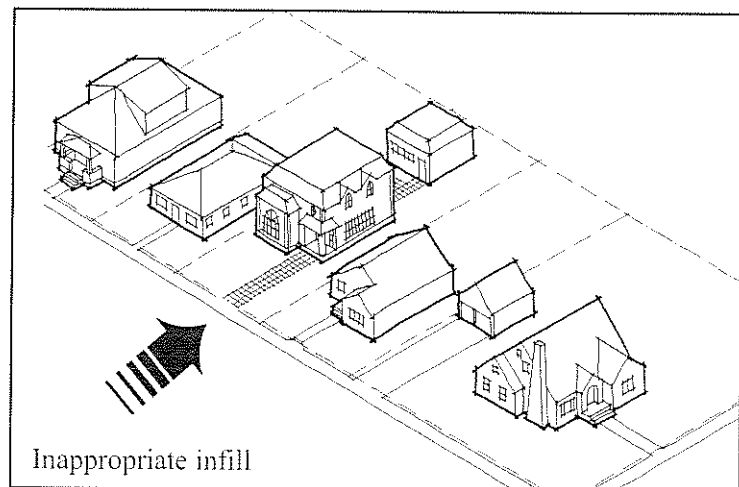
Appropriate Infill

In this design, a new house maintains the uniform spacing of side yards and the front aligns with others in the immediate context.



Inappropriate Infill

This new house is more massive than the other houses in the block and the alignment of building fronts is not maintained.

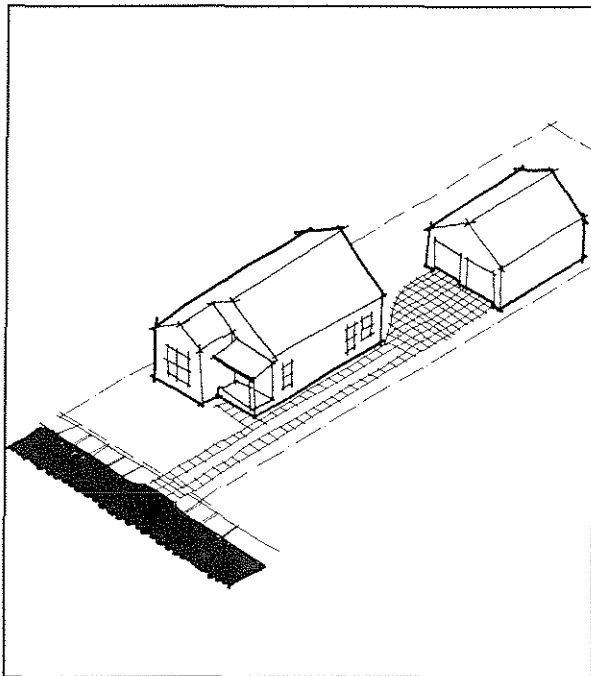


Suggestion: An enlarged photo of the proposed project site and adjacent homes with an outline of the planned structure sketched in is very helpful in visualizing the impact of the planned structure on the neighborhood.

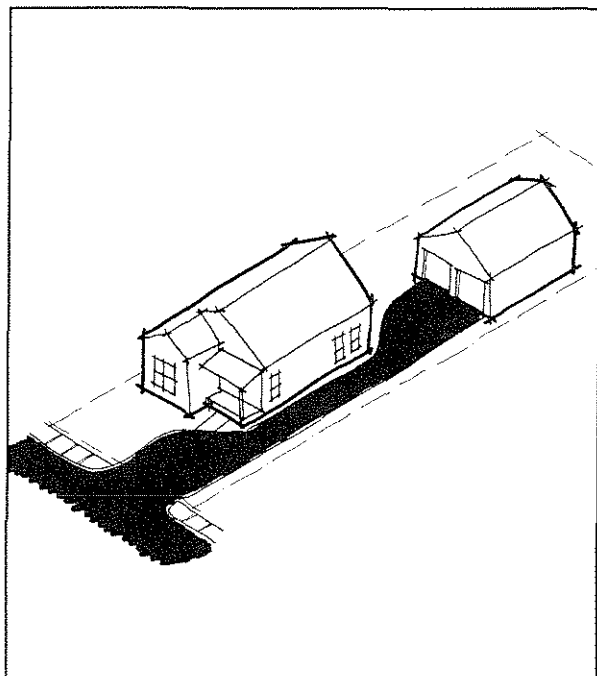
Garages, Driveways, and Service Areas

Traditionally, automobile and service areas were subordinate to residential character. Service areas include sheds, trash containers, utility boxes, and accessory structures.

Garages, driveways, and service areas should be subordinate to and blend well with adjacent buildings.



Preferred: Minimizing paved areas of driveways reduces visual impacts.



Avoid: Large expanses of paving result in an undesirable visual impact.

Guideline #3:

Avoid large expanses of paved areas.

Reducing the width of a driveway and using decorative paving will help soften visual impacts.

Fences and landscaping can be used to screen and soften exposed parking areas.

Guideline #4:

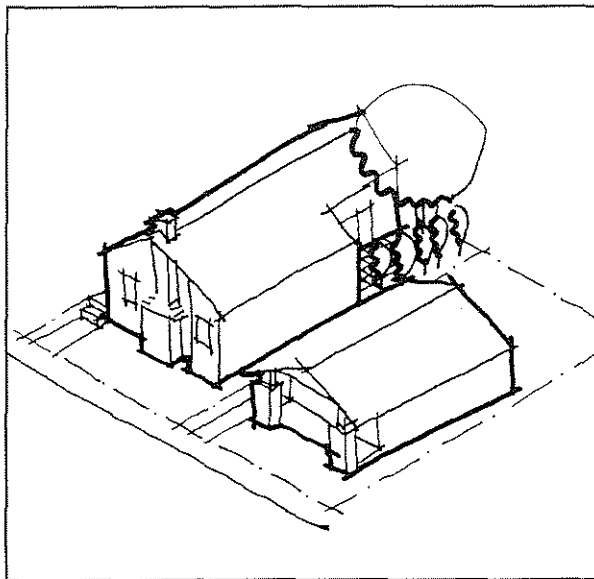
The location and size of the garage should not dominate the street view of the structure.

Locating the garage toward the rear of the site reduces its impact on the streetscape.

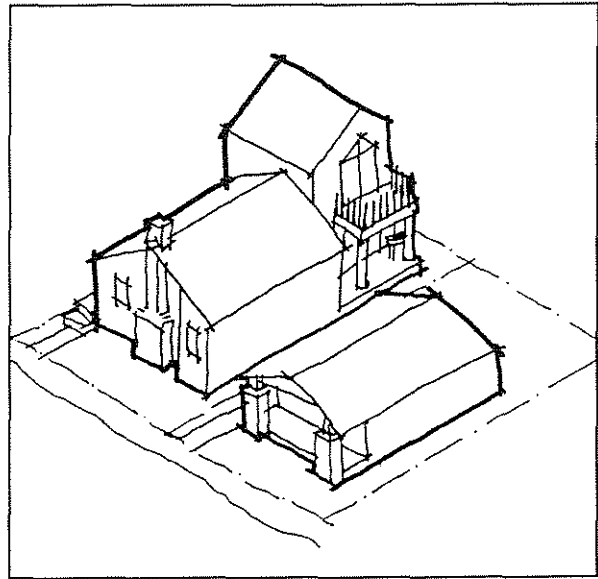
Good Neighbor Considerations

Maintaining views and access to light and air, as well as respecting the privacy of one's neighbors, are important design considerations.

Minimize the visual impacts of new construction on adjacent properties.



Preferred: The mass of a rear addition is kept low and landscaping screens yard areas.



Avoid: A tall addition with a balcony overlooks an adjacent rear yard.

Guideline #5:

Attempt to locate taller sections of buildings where they will not obstruct sunlight to adjacent yards, patios, or rooms.

Avoid locating tall or bulky building elements near the property line in order to prevent boxing-in neighboring houses.

Guideline #6:

Try to place new windows where they will respect privacy between properties.

Windows can be placed high in a side wall to provide air and light yet not intrude on the privacy of a neighboring property.

Guideline #7:

Second floor balconies and decks should be designed and located to minimize the loss of privacy for neighboring properties.

This is particularly relevant in areas where buildings are close together.

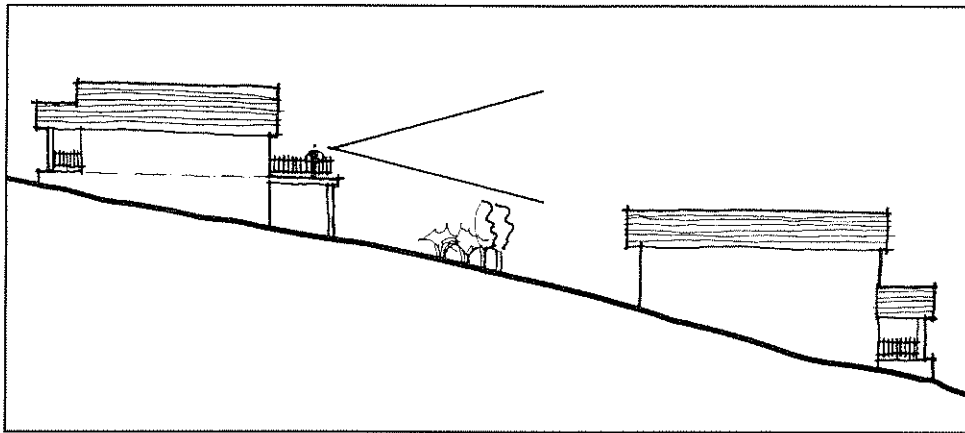
Guideline #8:

Landscaping can be used to provide privacy screens.

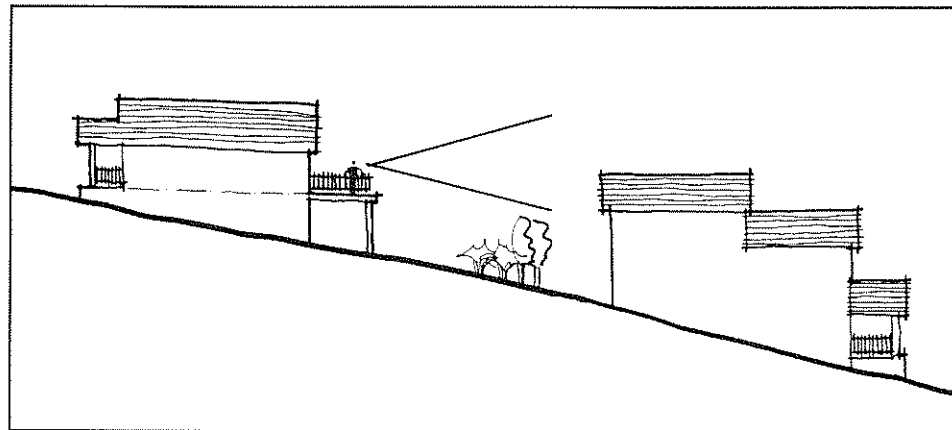
Consider using a hedge to buffer views between rear yards, for example.

Locating a building to preserve scenic views is a part of the character of Pacific Grove. Through careful design, it may be possible also to maintain views from neighboring properties.

New construction should be positioned to maintain views from adjacent properties when feasible.



Preferred: Reduce building height and locate the structure downhill from adjacent properties to maintain views.



Avoid: Creating a tall mass adjacent to neighboring structures.

Guideline #9:

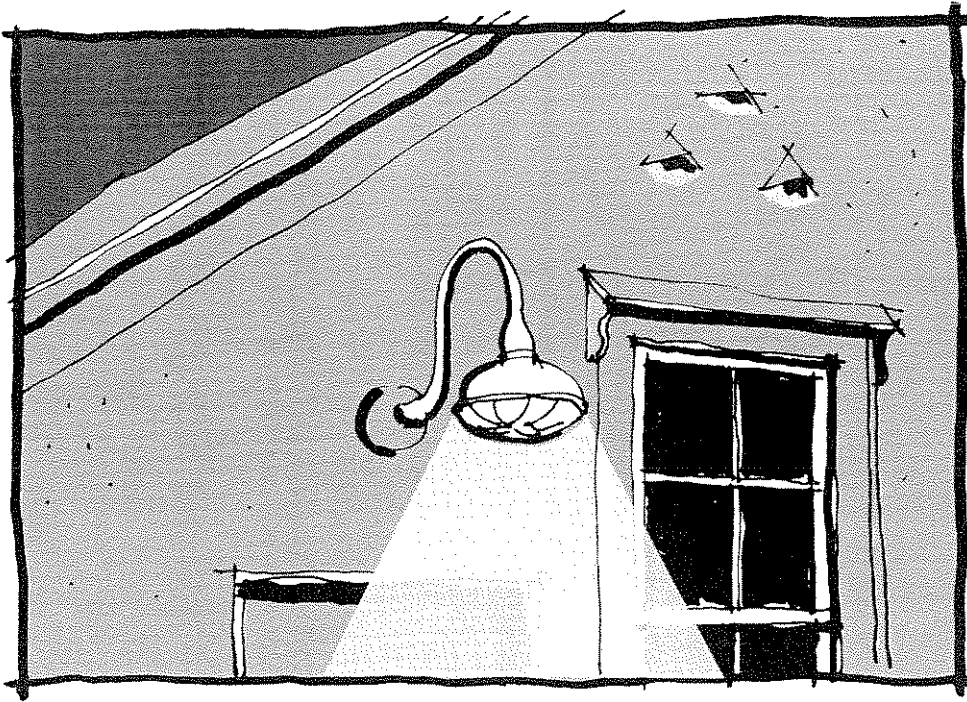
Attempt to preserve some portion of neighbors' views by carefully positioning or limiting the width, depth, or height of proposed building elements.

For example, reduce the height of a dwelling on a downhill slope and position it further from the house on the adjacent property. This design approach is particularly relevant in areas where lots are large and slopes are steep.

Exterior Lighting

Relatively low levels of light and the modest design of exterior light fixtures have contributed to the traditionally “quiet” sense of Pacific Grove neighborhoods. Lighting placement, intensity, and potential glare are design concerns.

Minimize the visual impacts of exterior lighting onto adjacent properties.



Preferred: Use a shielded fixture to focus light and prevent glare onto adjacent properties.

Guideline #10:

Position outdoor lighting so that no direct light extends onto neighboring properties.

The number, intensity, and height of light sources should be limited. Illumination should be screened from adjacent properties. Use shielded lights, directed downward, to provide adequate illumination while being less obtrusive.

Guideline #11:

Landscape lighting should be low-level, unobtrusive fixtures. Also, reserve such lighting for significant landscape features.

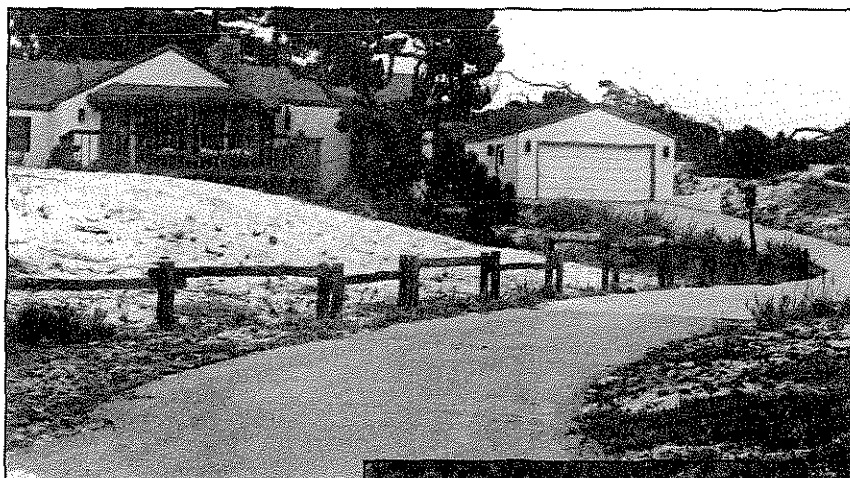
Guideline #12:

Choose light fixtures that are compatible with the architectural style of the project.

SECTION 2: RELATIONSHIP TO SITE AND TOPOGRAPHY

How well a building fits with its site is an important consideration throughout the city. It is especially relevant in those areas where distinctive natural features are part of the setting. In the more “urban” areas, buildings of similar scale often create a “stair step” effect along the street reflecting the underlying slopes of the block. Likewise, design features should adapt to and compensate for any natural limitations of the site. A guiding design principle is to adapt the building to the land, rather than the land to the building.

A building should be compatible with and sensitive to the natural features of the building site and its surrounding area.



Preferred: These buildings have a low profile and preserve the natural dune topography.

Preferred: Locate a building to respect existing vegetation.



Guideline #13:

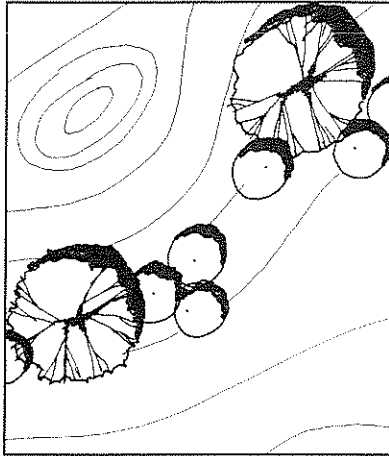
A building should be designed to relate to and take advantage of the natural slope of the land, significant trees and existing vegetation, and any other natural site attributes.

For example, the Asilomar Dunes area contains special biological and geological resources, including rare and endangered plants and dune land forms that are composed almost entirely of pure quartz sand.

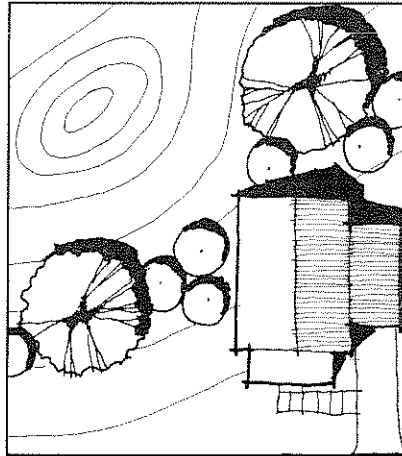
Siting a Structure

Steeply sloping hills, distinctive dune formations, and mature pine, oak, and cypress trees are natural features that contribute to the character of many neighborhood settings in Pacific Grove.

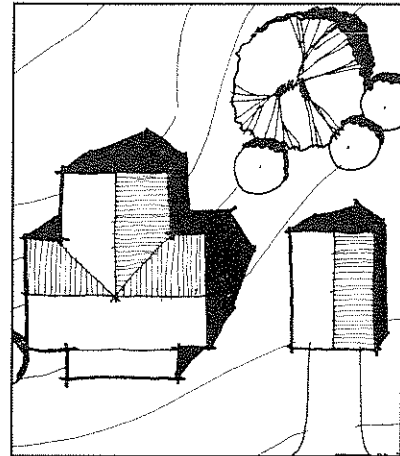
Locate new construction to respect the natural assets of the site.



Existing condition: Natural features include land forms and trees.



Preferred: Natural features are respected.



Avoid: Structures require altering land forms and removing trees.

Guideline #14:

Establish building setbacks from property lines that will respect natural features.

The minimum required setbacks should be considered a starting point. In some cases, setbacks may need to be increased to ensure compatibility with surrounding land uses, topography, and trees.

Guideline #15:

Open space and landscaped areas should blend visually with adjacent properties.

Orient a building so that the resulting outdoor space will connect visually with that of its neighbors, while also respecting privacy.

Guideline #16:

An effort should be made to preserve significant public view corridors.

Public views to the ocean and to parks and open space are particularly important. Consider opportunities to maintain views from adjacent properties. (See also page 11.)

Guideline #17:

Open spaces should be planned with specific functions in mind.

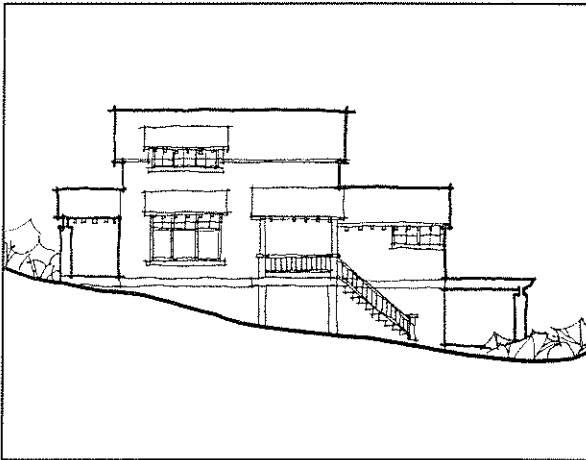
Patios, gardens, and play yards are examples of open space functions.

Suggestion: Wherever possible, use larger setbacks, open space, and landscaping to increase security and privacy.

Preservation of Natural Slopes

The natural sloping forms of hillsides and dunes are some of the most distinctive features of residential areas in Pacific Grove. They give identity to individual neighborhoods and provide a unifying background element for the diversity of buildings that blend with their surroundings.

Building designs should follow the natural contours of the property.



Preferred: Step a building form to follow the natural contours of the property.



Avoid: Avoid building forms that obscure the character of natural slopes.

Guideline #18:

Changes in the natural grade by cutting and filling should be minimized.

Designing walks, driveways, and similar site improvements to follow established site contours will prevent erosion and damage to the root systems of trees that are to remain.

Guideline #19:

Avoid excessive “cut and fill” grading.

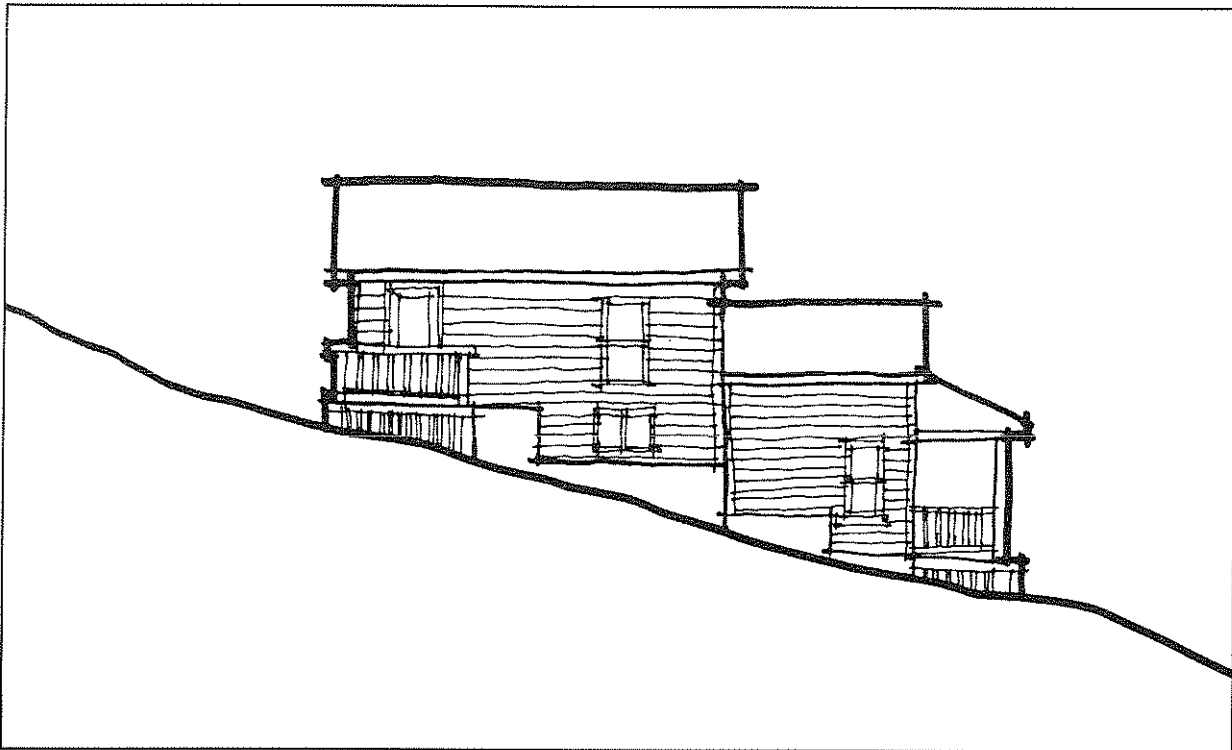
Design elements that require significant grading, such as tall retaining walls, may compromise the integrity of the natural slope of the site. Grade changes that incorporate landscaping and smooth transitions are preferred.

Guideline #20:

Design a building footprint and organize the upper levels to take the natural slope into consideration.

Stepping a building’s form is an appropriate way to follow the site’s natural contours.

Suggestion: Contouring should simulate natural land forms as much as possible, emphasizing free-flowing, meandering, and curved forms rather than hard, geometric ones.



Preferred: The natural slope is respected. Cut and fill is minimized.

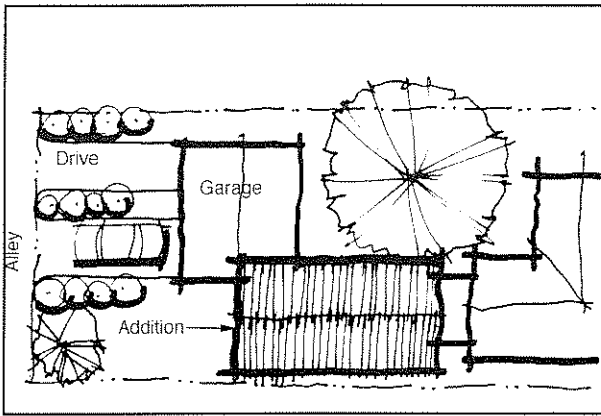


Avoid: The natural slope is obscured. A large retaining wall has a negative effect.

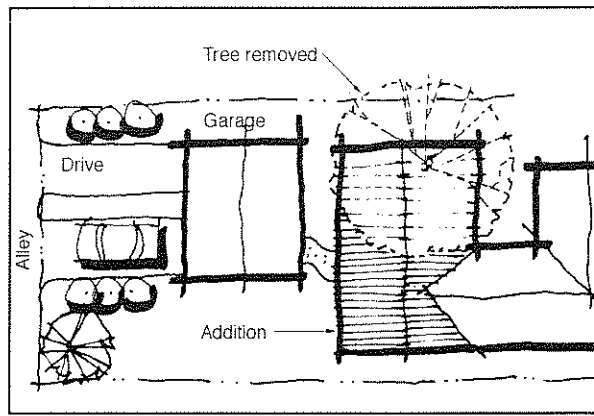
Preservation of Significant Trees

Trees are a valuable long-term community asset and enhance the city's neighborhoods.

Significant trees should be preserved.



Preferred: A significant tree is preserved by positioning an addition along one side of the rear yard.



Avoid: A significant tree is lost by positioning an addition to span the rear yard.

Guideline #21:

The design and siting of a dwelling should take into consideration all existing trees in order to avoid unneeded cutting and trimming.

Locate chimneys at least ten feet from significant trees to avoid smoke impact to the surrounding tree canopy.

Guideline #22:

Protect root systems of significant trees.

Avoid extensive removal of topsoil from the building site, because it provides essential nutrients to existing trees. Gravel, turf block, or other permeable materials should be considered for paths and driveways to allow for tree root expansion.

Guideline #23:

Consult the City Forester regarding tree protection measures during construction.

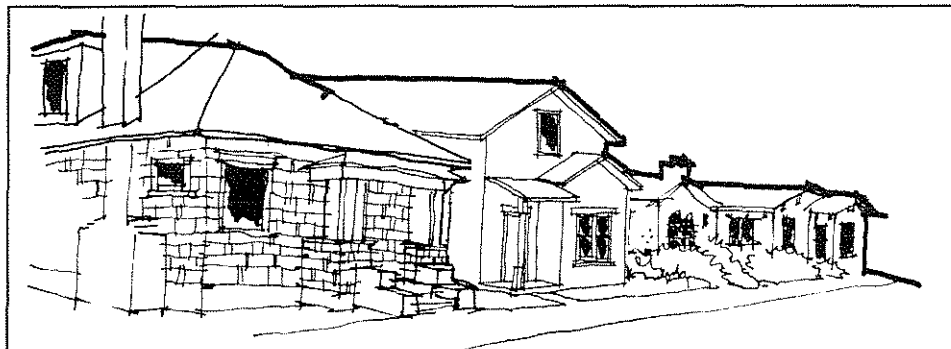
A City permit is required for removal or substantial trimming of trees. For information about tree trimming or removal permits, contact the Public Works Department (648-3122). The City's tree ordinance also contains standards for protecting trees from construction impacts.

Tips for protecting trees during construction: Avoid, as much as possible, excavation and foot traffic in the root zone; place protective screening around the base of the trunk; if roots are exposed, keep them moist.

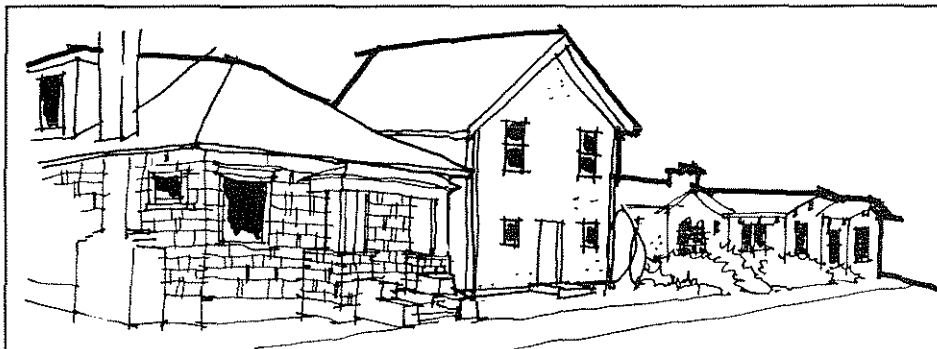
SECTION 3: MASS AND SCALE OF A STRUCTURE

Floor area, height, relationship to the site, and overall design, including architectural details, all combine to determine the mass of a structure. In Pacific Grove, buildings convey a sense of human scale.

New construction should appear similar in mass and scale to other buildings seen as traditional in the neighborhood.



Preferred:
Maintaining the established scale of the neighborhood.



Avoid: An abrupt change in scale that alters the character of the block.

Guideline #24:

A new structure should appear similar in scale to those seen as traditional in the neighborhood.

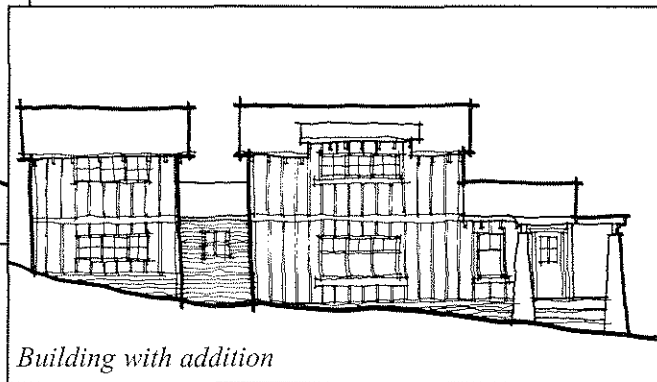
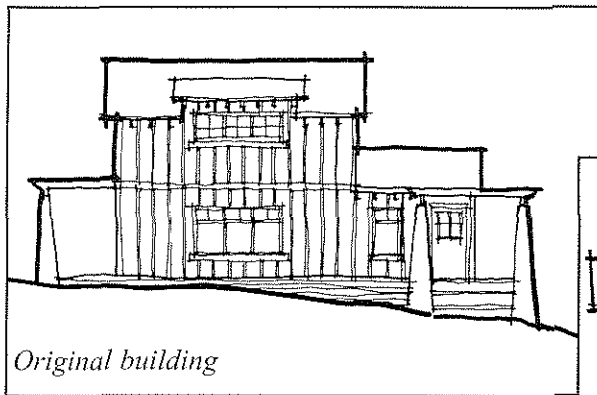
Structures that are out of scale with the neighborhood, residences without sufficient open space, and buildings with large, blank, unrelieved surfaces can appear massive and overwhelming.

A carefully designed building maintains a proportional relationship to adjoining properties and enhances the rhythm and scale of the existing neighborhood streetscape through the use of similar proportions and details.

Proportion of Buildings to Site and Open Space

Traditionally, buildings within each neighborhood have been relatively consistent in proportion to site size. The established scale contributes to a sense of unity in each block.

The size, mass, and height of a structure should be compatible with the size and contours of the property.



Preferred: Consider dividing the mass of a building into separate forms and linking them with a connector.

Guideline #25:

If a building would be larger than seen traditionally in the area, consider methods to reduce its perceived size.

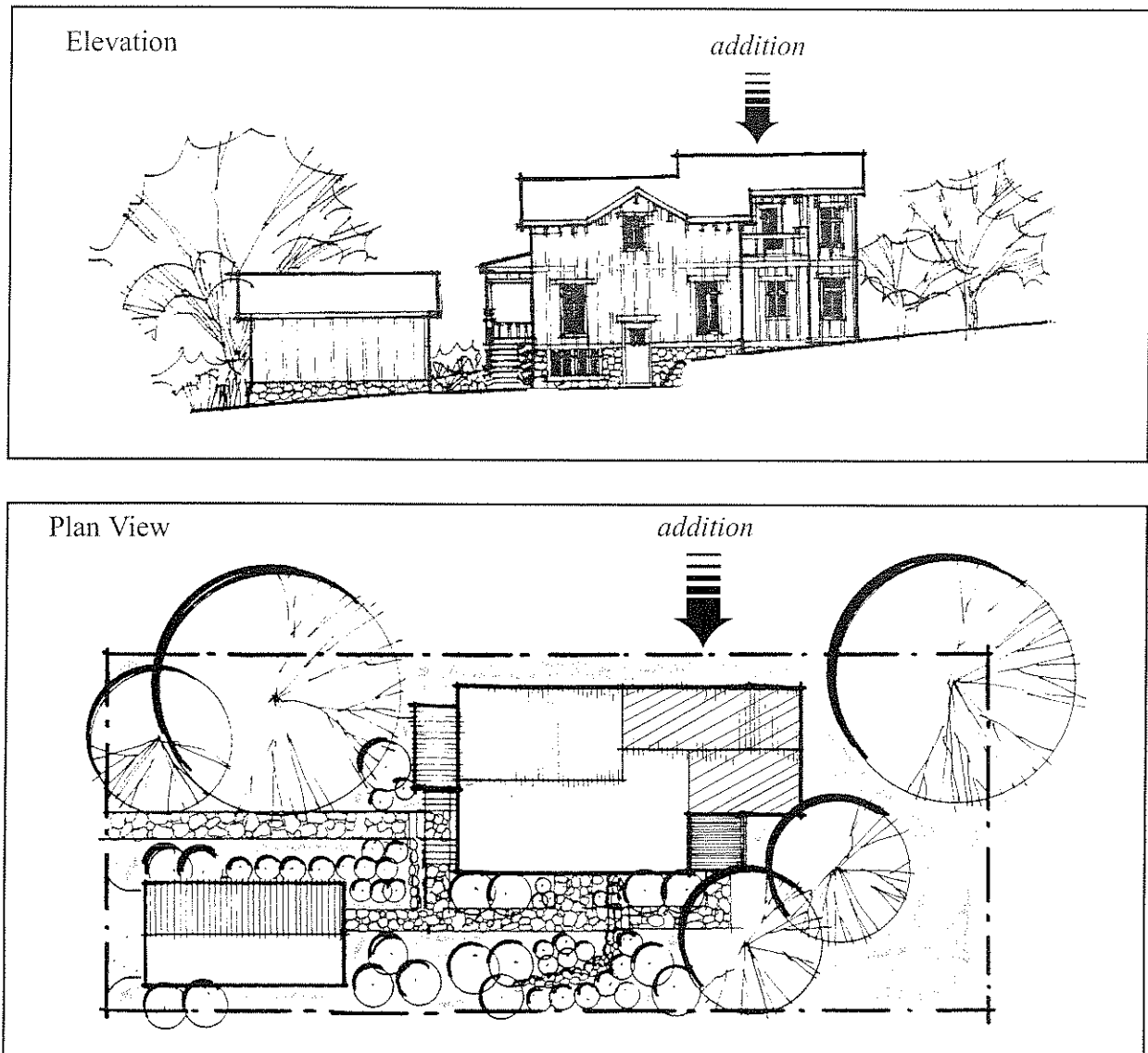
The use of smaller building elements, rather than large, continuous forms, can reduce the perception of bulky mass and maintain visual balance and proportion. For example, divide the mass into smaller components. These may be linked by a “connector.” Or, break up the wall planes to reduce perceived mass.

Guideline #26:

Design the proportions of a building to reflect the natural contours of the site.

When building on a sloped lot, the use of terraced levels in the design can effectively adapt a structure to the site’s natural slope and contour. Dwellings on slopes should also emphasize horizontal elements and lines. (See also pages 13, 15.)

NOTE: Allowable building size (floor area) and lot coverage may be reduced by constraints of a steep slope, the need for drainage areas, preservation of significant trees or sensitive habitat, or other environmental factors.



Addition is set back from the original house to preserve trees and provide room for landscaping.

Guideline #27:

A building should be in scale with its site.

Take care to provide enough open space around a structure to complement its design, allow for sunlight and air, provide privacy, and preserve the character of the neighborhood.

Guideline #28:

An addition should complement and balance the overall form, mass, and composition of the existing building.

By using less than the allowed maximum lot coverage and incorporating a variable footprint within the required setbacks, a more interesting structure can result with more room for landscaping.

Height and Roof Lines

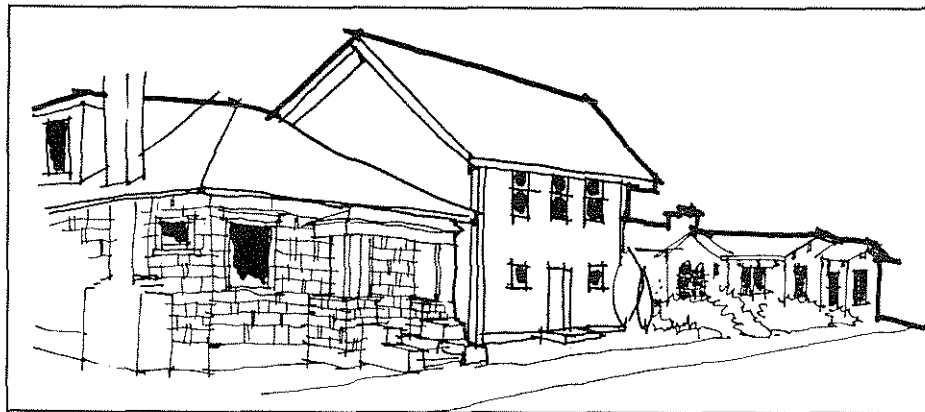
The perceived scale of a building is greatly influenced by the form and dimensions of its roof.

The visual impacts of large roofs should be minimized.



Preferred: Design new roofs to appear similar in scale to those seen traditionally in the neighborhood.

Avoid: Large unbroken roof surfaces that run parallel to the street appear inappropriately massive.



Guideline #29:

Design new roofs to appear similar in scale to those seen traditionally in the neighborhood.

The visual impact of tall roof lines can be minimized and softened by setting back higher portions of the structure and by using partial second stories.

When the heights of roof elements are varied, a more interesting architectural design can be achieved.

Dormers can be used within roof areas to minimize height and bulk.

Guideline #30:

Avoid designs that incorporate large unbroken roof surfaces that run parallel to the street.

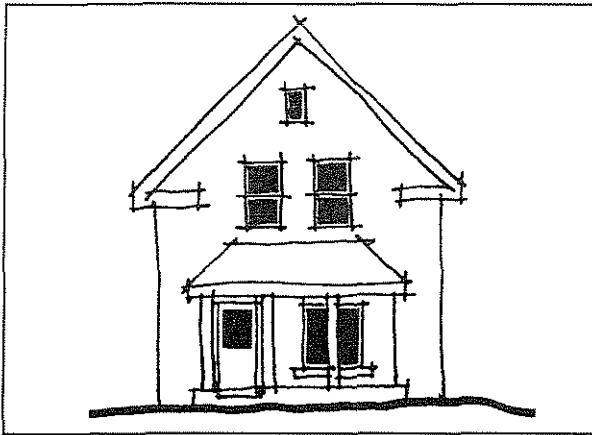
Guideline #31:

Additions should be designed so that the pitch of the new roof matches or complements the pitch of the existing roof lines.

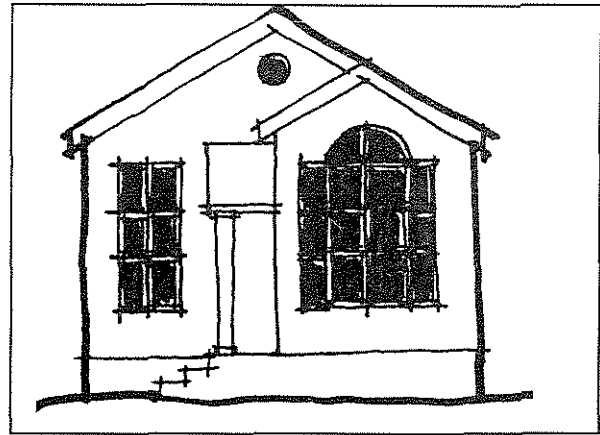
Proportional Relationships

The size and proportion of typical building elements can influence the perceived scale of a structure. Building elements include windows, doors, porches, and a variety of architectural details. Although styles may vary within a neighborhood, the proportions of these elements are usually similar.

Building elements should appear to be in proportion with those seen traditionally in the neighborhood.



Preferred: Many traditional buildings have vertical openings that are in proportion to the solid wall surface. This relationship should be respected.



Avoid: The ratio of window to wall is out of proportion.

Guideline #32:

A building should have an overall proportional orientation that is similar to other structures in the setting.

Observe the area in which you are planning to build. In most neighborhoods, either a strong vertical or a strong horizontal orientation predominates. This is expressed in the relationship of building width to height, and door and window width to height. An effort should be made to remain consistent with the predominant orientation of the immediate area.

Guideline #33:

Door and window proportions should relate to the scale and style of the building itself.

For instance, tall, narrow door and window openings are consistent with some traditional styles of architecture, while wide plate glass windows and wider doors are more compatible with many modern styles.

The sizes and shapes of windows should relate to the overall height and width of the façade and the structure.

Location of windows should be planned to maintain an aesthetic rhythm between voids (openings) and solid wall spaces similar to others in the context.

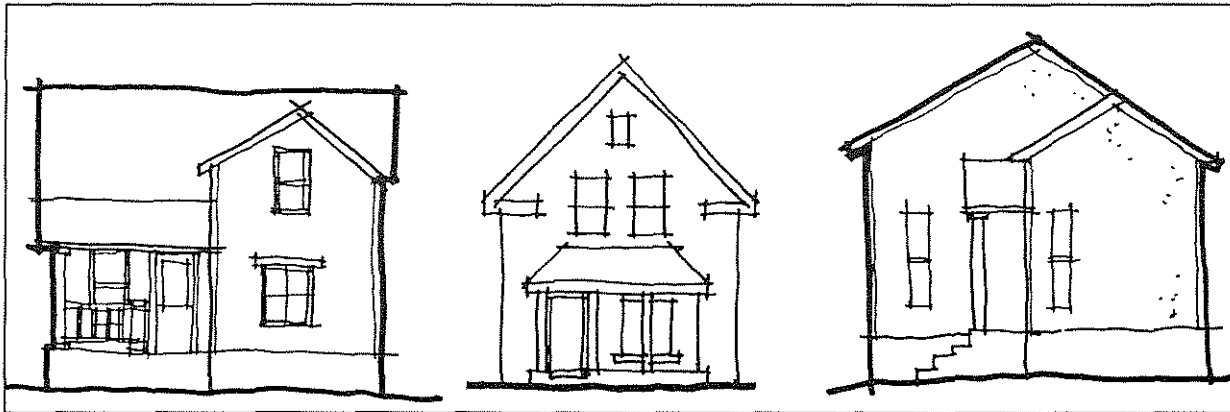
Guideline #34:

The scale of other architectural details (porches, roof overhangs, bays, chimneys, etc.) should be appropriate to the size and proportion of the building.

Façades

While the details of building styles vary, traditional houses have elements that create an interesting streetscape and enhance the pedestrian-friendly character of the city.

A building front should provide visual interest and a sense of human scale.



Preferred: Design a façade to appear similar in scale and character to neighboring houses.

Established Context

Avoid: Large areas of blank wall that face the street appear more bulky and fail to provide a sense of human scale.

Guideline #35:

Design a façade to appear similar in scale and character to those in its context.

Buildings with large areas of blank walls, disproportionate gables, limited detailing, and minimum setbacks create a sense of bulk and mass and should be avoided. Features such as bay windows, dormers, chimneys, and lattices can add detail and break up a blank façade.

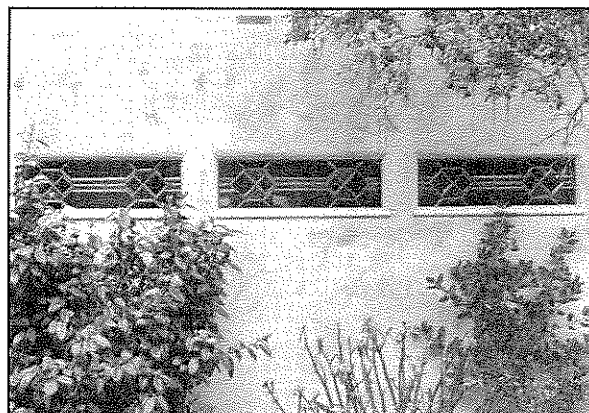
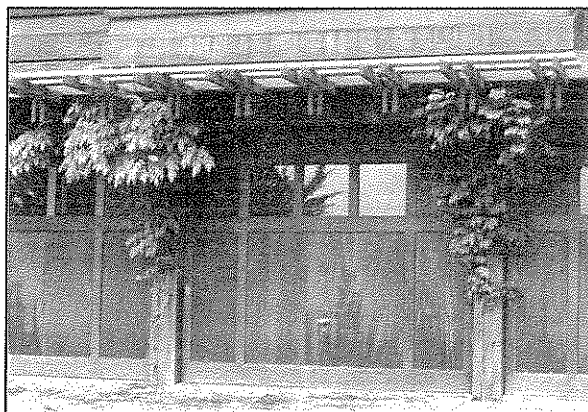
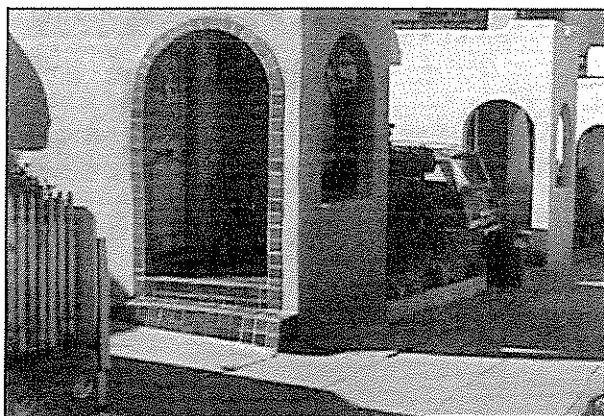
Established or newly planted trees and landscaping can be used to enhance and soften a massive or stark façade.

The apparent mass of a second story can be reduced by setting it back from the front of the house and by varying the roof line and exterior finishes.

Architectural Details

Using architectural details to add visual interest and convey a human scale is a part of the tradition in Pacific Grove. Details include ornamental shingles, brackets, and turned porch columns on older buildings. Bay windows, balconies, and decorative door designs also appear on many styles.

The appropriate use of architectural details is encouraged.



Guideline #36:

Design a façade to provide visual interest to the street.

Creative use of details is encouraged in new construction.

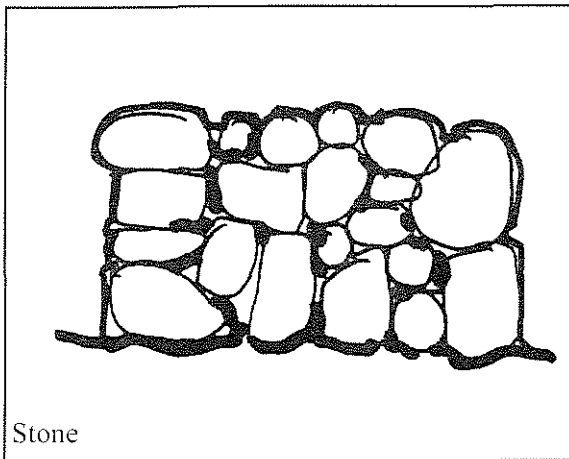
Avoid large, blank façades. New structures or additions can feature projections such as bay windows, porches, or balconies to break up an otherwise flat or uninteresting façade.

Use of varying materials or a combination of vertical and horizontal elements can soften an elevation that might otherwise appear massive.

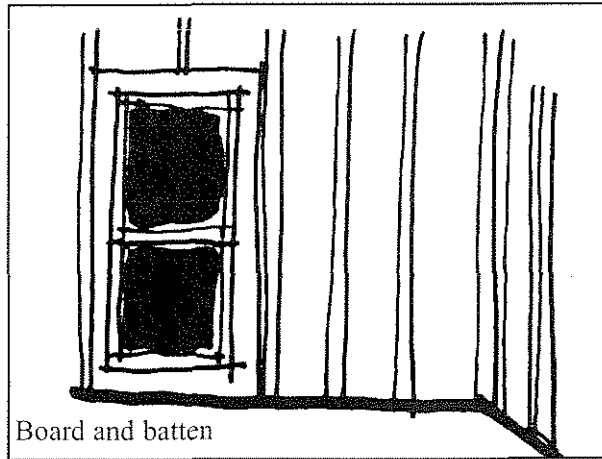
SECTION 4: MATERIALS, TEXTURE, AND COLOR

The exterior presentation of a structure or addition, in color, texture, and use of materials, greatly determines whether it will be in harmony with its surroundings or stand out like the proverbial “sore thumb.”

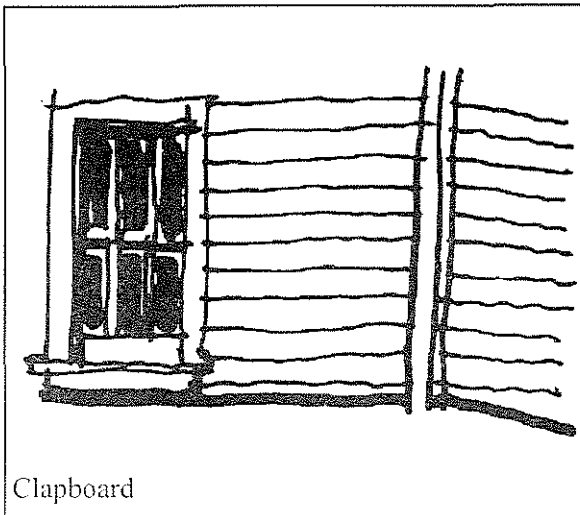
Building materials and colors should complement the natural setting and the established neighborhood.



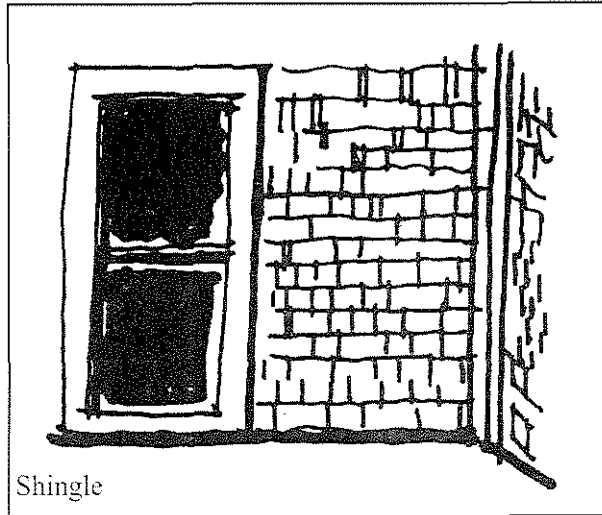
Stone



Board and batten



Clapboard



Shingle

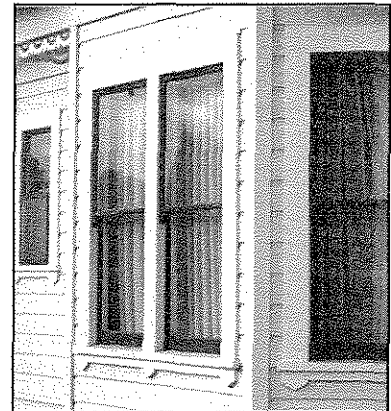
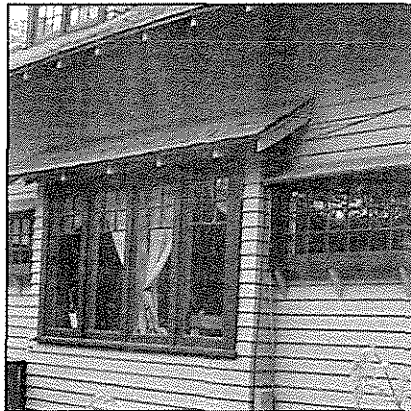
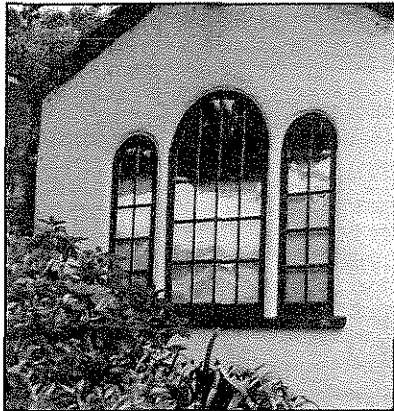
Guideline #37:

In developing a design concept, consider the materials used in other buildings in the neighborhood.

Also consider how building colors can complement the existing neighborhood palette.

Maintaining the prevailing texture of building materials in a given area can provide a unifying link between old and new structures in a neighborhood. Traditional materials include stucco and stone and a variety of siding, such as board and batten, shiplap, and shingle.

Construction materials should be used that will reinforce the sense of unity in a block and blend with the natural setting.



Guideline #38:

Exterior materials should be compatible with those that predominate in the area.

Restraint should be used in the number of different building materials selected. While the use of at least one strong accent material can provide visual interest, the use of too many materials can make a design appear cluttered.

Predominant textures can be smooth (stucco, paint) or rough (shingles, cut stone), or a combination of the two. The use of natural materials, rather than simulated wood or masonry, is preferred.

The repetition of material textures can tie a new structure to its surroundings by incorporating the elements of the natural area (wood, stone, etc.) into the structure's exterior.

To create visual interest, consider using cobblestones or interlocking pavers as alternatives to concrete slab and asphalt driveways.

In remodels and additions, new materials should complement those of the existing structure. All interrelated structures should maintain consistency in architectural character, materials, and finishes.

Guideline #39:

On additions and remodels, wood windows should be replaced with like materials.

Whenever possible, maintain the existing window frame and trim when replacing windows. For example, if the original sash is wood, the replacement should also be wood.

For additions, building trim, color, and proportion of windows should match those of the existing structure.

Guideline #40:

Although the selection of exterior color is a personal decision, the colors should complement the structure and the streetscape.

With the neighborhood in mind, consider compatible variations in color. For historic structures, you may want to investigate original colors or consider using a historic color palette.

Subdued pastels and earth tones blend well with nature, as well as with a variety of architectural styles. Natural materials such as wood, brick, and tile can weather in time to provide subtle color tones.

APPENDICES

APPENDIX I: WORKING WITH BUILDINGS ON THE HISTORIC RESOURCES INVENTORY

Pacific Grove's historic buildings are valued both as historical and architectural resources and as functional structures that provide for the community's housing and other needs. The City's historic preservation ordinance (Chapter 23.76 of the Municipal Code) establishes a framework for the City and property owners to work together to preserve, maintain, and improve historic buildings.

Historic preservation in Pacific Grove is not limited to a few especially noteworthy buildings or to a single historic district, and not every structure on the city's historic resources inventory has historic or architectural significance. Rather, these buildings – taken as a whole – embody important elements of Pacific Grove's heritage. Therefore, when considering an application, the Architectural Review Board looks not only at the changes to the structure, but the effect those changes will have on the city's historic resource as a whole.

Most of the city's historic resources are currently occupied single-family residences; others are stores, restaurants, and inns. The City's intention is to work with the owners of these properties and assist them with projects that meet their needs while preserving and

enhancing a valuable community resource. City goals and policies support the idea that preservation of the vitality of historic buildings includes permitting reasonable, considered changes that maintain the community's character.

The historic resources inventory is a list of approximately 1,200 buildings in Pacific Grove that were constructed before 1927. It is a diverse list, encompassing many small, modest houses built in the primitive “Vernacular” style, as well as more imposing Victorian structures. In fact, several of the community's Victorian structures are listed on the National Register of Historic Places.

In addition, properties within the community's structural inventory may change over time; those changes that have acquired historic significance in their own right will be considered for future addition to the historic resources inventory.

All buildings listed on the inventory are covered by the ordinance; correspondingly, the ordinance is intended to have enough flexibility that it can be fairly applied to a wide variety of projects and diversity of properties.

Architectural Review Guidelines for Historic Buildings

The City recognizes the value of the adaptive reuse of historic buildings and encourages projects that further the City's historic preservation goals as stated in the General Plan. These guidelines, in addition to those outlined in the general guidelines, identify the factors considered by the Architectural Review Board when it reviews proposed alterations or additions to buildings on the historic resources inventory.

1. *Neighborhood Context:* Pacific Grove's late 19th and early 20th century development helps to define our community. Any additions to historic buildings must take into account the effect of the proposed addition on the existing neighborhood, including but not limited to setbacks, mass, architectural style, and design. Neighborhood change should be slow and evolutionary.

2. Effects of additions on historic scale and character: Additions to historic buildings should be designed to preserve, as much as possible, the scale and overall character of the original structure. Some of the ways this can be accomplished include:

- ♦ placing the new addition on an inconspicuous side or rear elevation so that the new work does not result in a radical change to the form and character of the historic building;
- ♦ setting an infill addition or connector back from the historic building wall plane so that the form of the historic building – or buildings – can be distinguished from the new work;
- ♦ setting an additional story well back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.

3. Preservation of character-defining features: Each of the properties on the historic resources inventory is recognized as a physical record of its time, place, and use.

In the spirit of preserving these historic records, the City encourages the preservation of distinctive features, finishes, and construction techniques or examples of craftsmanship that serve to characterize and define properties of historic significance. Likewise, the City discourages the addition of inappropriate features or architectural elements from other buildings.

New additions and alterations should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged, or destroyed. Features that may be important in defining the overall historic character of the building include:

- ♦ *Siding:* Clapboard, weatherboard, shingles, and other siding and decorative elements – both functional and decorative.
- ♦ *Windows:* Functional and decorative features of windows that define the overall historic character of a building (e.g., a highly decorative window with an unusual shape, glazing pattern, or color).
- ♦ *Entrances and porches:* Entrances and porches, particularly when they occur on primary elevations.
- ♦ *Roofs:* Such roof features as dormers, cupolas, and chimneys, as well as the size, color, and patterning of the roofing material.
- ♦ *Architectural features:* Trim details, treatment of gables, overhangs.

4. Compatibility of new work with old:

Additions and remodels should be compatible with the original historic building in forms, scale, and materials and not compromise the architectural integrity of the original. There are a variety of ways to achieve this end. This may be done by appropriately reproducing historic features, but can also be accomplished by differentiating the new work.

5. Replacements: When important character-defining features, such as windows, need to be replaced, the replacements should be of similar design and material. If using the same kind of material is not technically feasible, then a compatible substitute material may be considered.

6. De facto demolitions: Certain alterations that are so extensive that they are tantamount to demolition of the original structure may be treated as demolitions rather than remodels. Please consult with the City's Community Development Department for guidance on this determination.

APPENDIX II: SUGGESTIONS FOR STREETSCAPE FENCES AND WALLS

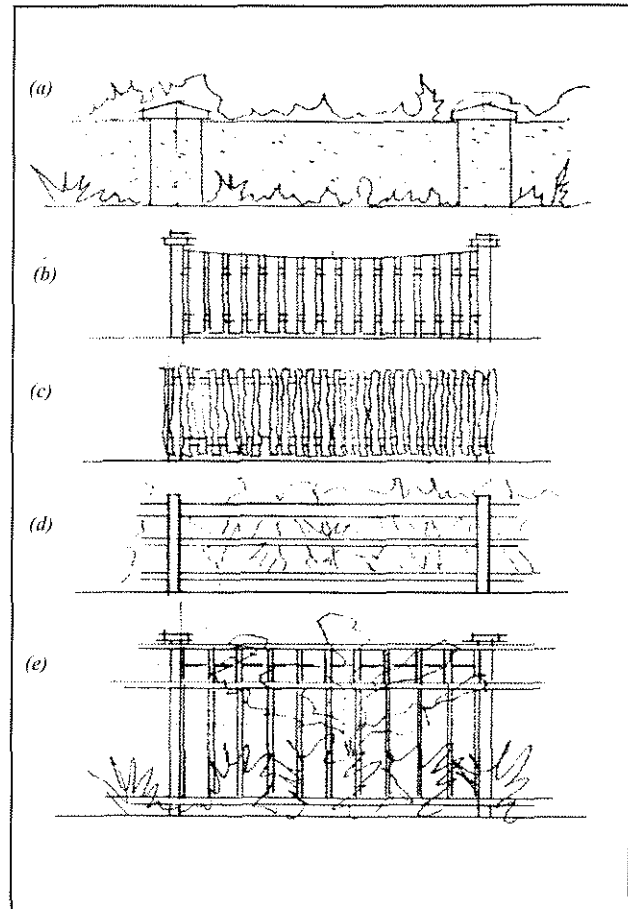
Wall and fence materials, colors, and finishes that complement those of the building enhance the appearance of the structure.

The visual prominence of fences and walls should be minimized by using colors and materials that blend with the natural environment.

Follow the natural grade of the site when placing fences and walls.

Fences that provide relief and texture are encouraged.

- ♦ Tall stuccoed walls with masonry columns are suitable for estate-size lots. (Figure a)
- ♦ Painted and redwood/cedar fencing provide a good continuation of neighborhood patterns. (Figures b and c)
- ♦ Open rail fencing reduces visual and structural bulk. (Figure d)
- ♦ Fences that incorporate trellises for background planting reduce visual impact. (Figure e)



City Fence Regulations

Fences, Hedges, or Other Visual Obstructions

Front Yards: No fence, hedge, screen planting, or any other type of visual obstruction exceeding four feet in height is allowed from the front property line to the front line of the dwelling.

Side Yards: No fence, hedge, screen planting, or any other type of visual obstruction exceeding six feet in height is allowed along side property lines from the front line of the dwelling to the rear property line.

Corner Lots: For traffic safety purposes, there is

a three-foot height limit for fences, hedges, screening, or other types of visual obstructions on corner lots.

Exceptions to the City's fence height restrictions may be permitted if a use permit is first obtained.

Please contact the City's Community Development Department staff for further information or refer to section 23.64.130 of the Municipal Code for specific fence regulations.

APPENDIX III: GLOSSARY

- Accessory structure:** A structure detached from a principal building on the same lot and customarily incidental and subordinate to the principal building, such as a detached garage, workshop, or garden shed
- Bay window:** A window projecting outward from the main wall of a building
- Board and batten:** Vertical siding composed of wide boards that do not overlap and narrow strips, or battens, nailed over the intersections between the boards
- Compatible:** Capable of existing together without conflict or detrimental effects
- Complement:** To complete or enhance
- Cupola:** A dome-shaped structure on a circular or other base, often set on the ridge of a roof
- Deck:** An open, unroofed porch or platform extending from a house or other building
- Design elements:** The individual visual components within an architectural composition
- Dormer:** A structure that projects outward from a sloping roof, usually housing a vertical window or ventilating louver
- Façade:** The front or “face” of a building
- Gable:** The triangular part of an exterior wall enclosing the end of a pitched roof
- Hip:** A roof having a slope on all four sides or having four faces that slope toward the center but do not meet in a point, as the pyramidal roof does
- Interlocking pavers:** Preformed paving blocks that have a groove along one edge and a flange along the other edge; the grooved edge of one block is designed to fit into the flanged edge of the adjoining block
- Lattice:** A structure of crossed strips arranged to form a regular pattern of open spaces
- Natural grade:** The elevation of the ground surface in its natural state, before man-made alterations
- Natural site limitations:** The natural features of a site that define structural and landscaping design options or constraints
- Palette of standard historic colors:** A selection of colors that has been researched and identified as those used during a specific period in history, in relation to a particular architectural style, and within a designated historic area
- Permeable materials:** Materials that allow liquid or gas to pass through
- Pitch:** The slope of a roof commonly expressed in inches of vertical rise per foot of horizontal run
- Porch:** An exterior appendage to a building, forming a covered approach or vestibule to a doorway
- Retaining wall:** A wall of treated timber, masonry, or concrete for holding in place a mass of earth
- Rhythm:** Movement of design elements characterized by a patterned repetition or alternation of formal elements or motifs in the same or a modified form
- Roof elements:** The design components of the external upper covering of a building, including the frame for supporting the roofing
- Sash:** The fixed or movable framework of a window or door into which panes of glass are set
- Shiplap:** A horizontal siding, usually wood, with a beveled edge to provide a flush joint
- Significant public view corridor:** Public right-of-ways that provide visual access to significant environmental assets or elements within a community
- Site:** The geographic location of a construction project, usually defined by legal boundaries
- Site plan:** A plan showing the form, location, and orientation of a building or group of buildings on a site, usually including the dimensions, contours, paving, landscaping, and other significant features of the site (also called a plot plan)
- Street view:** The visual perspective of a building or collection of structures from the vantage of the adjacent roadway
- Synthetic materials:** Man-made materials, some of which are designed to simulate natural materials
- Tree canopy:** The natural rooflike shelter created by the overlapping foliage within a forested area
- Trim:** The finished woodwork or the like used to decorate, border, or protect the edges of openings or surfaces
- Unifying link:** Design elements that bridge and consolidate a variety of differing architectural components
- Variable footprint:** An outline of a structure that deviates from a square or rectangular shape

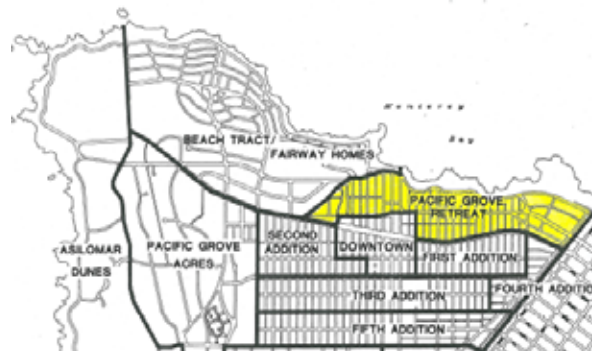
Appendix IV: Window Guidelines

These Window Guidelines are intended to provide further clarification to Guideline #'s 37, 38, and 39. In addition, they are intended to provide similar clarification for all buildings within the City. If you have any questions regarding these guidelines, or how they apply to your proposed project, please speak with a planner. Refer to *Appendix III: Glossary* for definitions.

A. Non-Historic Buildings

1. As a general rule, consistency of window style and materials within a single structure is strongly encouraged.
2. The following are always allowed:
 - a. Wood, aluminum-clad wood, vinyl-clad wood, and fiberglass windows.
 - b. An upgrade from poor quality silver aluminum windows.
3. The following may be allowed:
 - a. If found to be visually insignificant, vinyl or aluminum/metal frame windows, as determined through a Counter Review and Determination.
 - b. If found to be visually significant, vinyl or aluminum/metal frame windows, if consistent with Guidelines #37 and #38, as determined through a Staff Approval.
4. The following are not allowed:
 - a. Sandwiched muntins or interior snap-in grids, unless accompanied by exterior fixed grids.
 - b. Vinyl within the Pacific Grove Retreat, as shown in the shaded area in Figure 1, unless the window falls under Item 2.b above.

Figure 1 – Pacific Grove Retreat Tract



B. Historic Buildings

1. Original windows that can be restored shall be repaired and retained per the National Park Service's Secretary of the Interior's Standards for Historic Buildings. (<http://www.nps.gov/history/hps/tps/standguide/>)
2. Original windows that are determined to be "too deteriorated to restore" by the City's Chief Building Official may be replaced with in-kind windows.
3. Non-original windows on historic structures may be replaced with new windows:
 - a. That match other original windows existing on the structure; or
 - b. That match the original appearance of the structure, as evidenced by photographs or other means; or
 - c. If no original windows exist and no evidence of original appearance is available, non-original windows may be replaced with new windows that complement the style of the historic structure, as determined by the City's on-call historic consultant.
4. Windows in new additions to historic structures shall be solid wood, fiberglass or aluminum-clad wood, and shall complement the style and appearance of the existing historic windows. Vinyl and vinyl-clad windows are not acceptable. Aluminum/metal

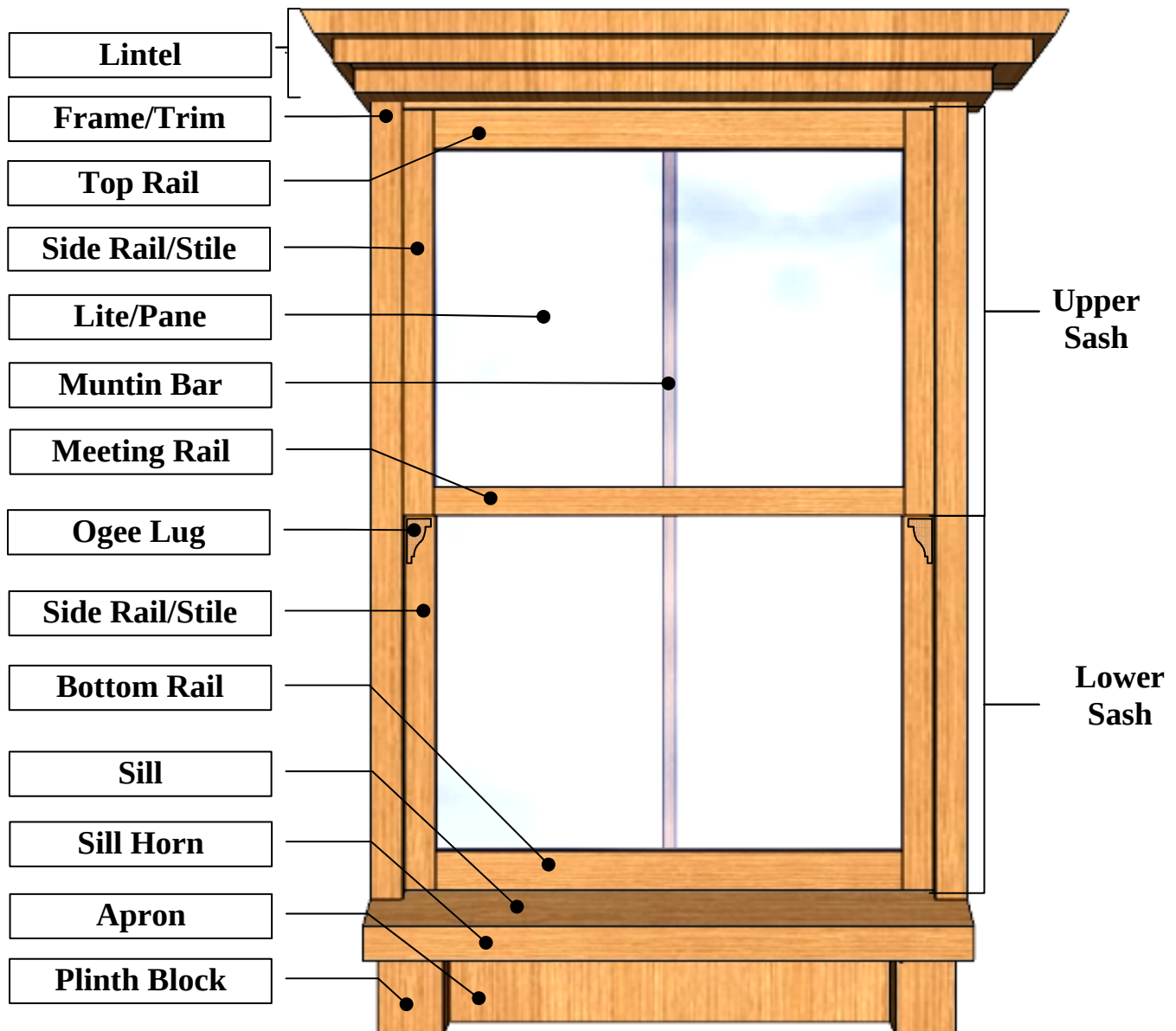
frame windows are not acceptable unless the existing windows in the historic structure are of a similar material.

5. Sandwiched muntins or interior snap-in grids are not allowed, unless accompanied by exterior fixed grids.

C. Undetermined Historic Status Buildings

1. If the proposed window replacements are found to be visually insignificant through a Counter Review and Determination, replacements may follow the guidelines for Non-Historic Buildings listed above.
2. If the proposed window replacements are found to be visually significant through a Counter Review and Determination, the guidelines for Historic Buildings listed above shall apply, or the building shall be evaluated for historic significance via an Initial Historic Screening and/or Historic Determination.

Figure 2 – Anatomy of a Window



ADDITIONS TO APPENDIX III: GLOSSARY

Building, Historic: A building that has been placed on the City of Pacific Grove’s Historic Resources Inventory pursuant to the Historic Preservation Ordinance evaluation criteria (PGMC §23.76.025) and state and federal eligibility criteria.

Building, Non-Historic: A building that is less than 50 years old, except those that have been determined to be historic, and buildings that are 50 years of age or older and have been determined to be non-historic.

Building, Undetermined Historic Status: Buildings that are 50 years of age or older that are not on the City’s Historic Resources Inventory and have not gone through a Historic Determination or Initial Historic Screening process to determine historic status.

Divided Lite: The lites/panes in a window sash are divided horizontally and vertically by narrow strips of wood or metal called muntins.

Double Pane/Dual Glaze: Double pane/dual glazing means two panes of window glass sandwiched together to create a middle buffer. This buffer can either be "dead air" or it can be a special gas such as argon. The double panes of glass, plus the buffer zone, provide a better barrier against outside temperatures than single pane windows. Double glazing can be found with both new construction and with replacement windows.

In-Kind: Materials of like size, shape, location, and design as the originals, except window replacements may include double pane windows, also known as dual glaze windows.

Match: Materials that match the historic appearance of a structure.

Muntin: A strip separating panes of glass.

Muntin, Sandwiched: A strip, in between two panes of glass, attempting to create the look of a divided lite window.

Restore: Renewal, reconstruction or renovation of any portion of an existing property, site or building for the purpose of its continued use. The Chief Building Official’s determination as to whether a historic window is “too deteriorated to restore” shall be guided by the National Park Service’s Preservation Brief Number 9. (<http://www.nps.gov/history/hps/tps/briefs/brief09.htm>)

Window, Aluminum Frame: A window with an aluminum exterior and interior frame.

Window, Aluminum Wood Clad Frame: A window with an aluminum exterior frame and an interior wood frame.

Window, Fiberglass Frame: A window with a fiberglass exterior and interior frame.

Window, Vinyl Frame: A window with a vinyl exterior and interior frame.

Window, Vinyl Clad Wood Frame: A window with a vinyl exterior frame and an interior wood frame.

Window, Wood Frame: A window with a wood exterior and interior frame.



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD Staff Report

March 20, 2023
ADJOURNMENT

TO: Historic Resources Board Commissioners

SUBMITTED BY: Leah Young, Administrative Coordinator

SUBJECT: PUBLIC CORRESPONDENCE: Agenda-related items and other non-agenda items

RECOMMENDATION:

BACKGROUND/SUMMARY:

FISCAL IMPACT:

ATTACHMENTS: