



CITY OF CARMEL-BY-THE-SEA HISTORIC RESOURCES BOARD AGENDA

Historic Resources Board Members Jordan Chroman, Erik Dyar, Katherine Gualtieri, and Bobbie Voris

All meetings are held in the City Council Chambers
East Side of Monte Verde Street
Between Ocean and 7th Avenues

**Regular Meeting
Monday, May 18, 2026**

**TOUR - 3:00 PM
MEETING - 4:00 PM**

HYBRID MEETING ATTENDANCE OPTIONS

This meeting will be held in person and via teleconference ("hybrid"). The public is welcome to attend the meeting in person or remotely via Zoom, however, the meeting will proceed as normal even if there are technical difficulties accessing Zoom. The City will do its best to resolve any technical issues as quickly as possible. To view or listen to the meeting from home, you may also watch the live stream on the City's YouTube page at: <https://www.youtube.com/@CityofCarmelbytheSea/streams>. To participate in the meeting via Zoom, copy and paste the link below into your browser.

<https://ci-carmel-ca-us.zoom.us/j/88188362744?pwd=9H2Dl5GuqQ2eCddEodDJusxbLVYlhX.1>

To attend Zoom webinar via telephone, dial +1 669-444-9171. Webinar ID: 881 8836 2744. Passcode: 001916

HOW TO OFFER PUBLIC COMMENT

The public may give public comment at this meeting in person, or use the Zoom teleconference module, provided that there is access to Zoom during the meeting. Zoom comments will be taken after the in-person comments. The public can also email comments to sgorman@ci.carmel.ca.us. Comments must be received at least 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be made part of the record.

CALL TO ORDER AND ROLL CALL - TOUR

TOUR OF INSPECTION

The Board/Commission will meet and convene the public hearing at the first location listed below on the Tour of Inspection. The public is welcome to join the tour. The tour is intended only to give the Board/Commission an opportunity to view project sites scheduled for a public hearing later that day. No deliberations on the merits of projects will take place during the Tour of Inspection. Following completion of the tour, the Board/Commission will recess and return to the Council Chambers to reconvene the public hearing at 4:00 p.m., or as soon thereafter as possible.

- A. **DS 26063 (Husted):** Carmelo Street 4 southeast of 12th Avenue
- B. **DR 26031 (Pine Inn):** Ocean Avenue between Monte Verde Street and Lincoln Street

CALL TO ORDER AND ROLL CALL - CHAMBERS

PLEDGE OF ALLEGIANCE

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. While stating your name is optional, it helps to identify speakers in the meeting minutes. Under the Brown Act, public comment for matters on the agenda must relate to that agenda item, and public comments for matters not on the agenda must relate to the subject matter jurisdiction of this legislative body. Remote or in-person participants who do not comply with the requirements of the Brown Act will be muted.

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Board/Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1) April 20, 2026 Regular Meeting Minutes

PUBLIC HEARINGS

- 2) **DS 26063 (Husted):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study 26063 (Husted) for the addition of a second story ADU to the historic "Helen Leslie House" located at Carmelo Street, 4 southeast of 12th Avenue. APN: 010-285-015-000.
- 3) **DR 26031 (Pine Inn):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Review 26031 (Pine Inn) for fire sprinkler equipment at the historic "Pine Inn" located on Ocean Avenue between Monte Verde Street and Lincoln Street. APN: 010-213-003-000.

DIRECTOR'S REPORT

BOARD MEMBER ANNOUNCEMENTS

FUTURE AGENDA ITEMS

- 4) Next Regular Meeting: June 15, 2026

ADJOURNMENT

This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, Harrison Memorial Library, located on the NE corner of Ocean Avenue and Lincoln Street, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage (<http://www.ci.carmel.ca.us>) in accordance with applicable legal requirements.

SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA

Any supplemental writings or documents distributed to a majority of the Historic Resources Board

regarding any item on this agenda, received after the posting of the agenda will be available at City Hall located on Monte Verde Street between Ocean and Seventh Avenues during regular business hours.

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least 48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).

**CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD**

REGULAR MEETING MINUTES

Monday, April 20, 2026

CALL TO ORDER AND ROLL CALL - TOUR

The following Board Members were present for the tour: Erik Dyar, Kathryn Gualtieri, and Bobbie Voris

The following Board Members were absent: Jordan Chroman

TOUR OF INSPECTION

The Board/Commission will meet and convene the public hearing at the first location listed below on the Tour of Inspection. The public is welcome to join the tour. The tour is intended only to give the Board/Commission an opportunity to view project sites scheduled for a public hearing later that day. No deliberations on the merits of projects will take place during the Tour of Inspection. Following completion of the tour, the Board/Commission will recess and return to the Council Chambers to reconvene the public hearing at 4:00 p.m., or as soon thereafter as possible.

- A. **DS 26068 (Salehi):** Southwest corner of Santa Rita Street and 1st Avenue
- B. **DR 25269 (Carl Cherry Foundation):** Northwest corner of Guadalupe Street and 4th Avenue
- C. **HE 26090 (Stonehouse Terrace):** San Carlos Street 2 southwest of 7th Avenue

CALL TO ORDER AND ROLL CALL - CHAMBERS

The following Board Members were present: Erik Dyar, Kathryn Gualtieri, and Bobbie Voris

The following Board Members were absent: Jordan Chroman

PLEDGE OF ALLEGIANCE

PUBLIC APPEARANCES

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. While stating your name is optional, it helps to identify speakers in the meeting minutes. Under the Brown Act, public comment for matters on the agenda must relate to that agenda item, and public comments for matters not on the agenda

must relate to the subject matter jurisdiction of this legislative body. Remote or in-person participants who do not comply with the requirements of the Brown Act will be muted.

The following members of the public addressed the Board: None

CONSENT AGENDA

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Board/Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1) December 15, 2025 Regular Meeting Minutes
- 2) Consider the 2024-2025 Certified Local Government Annual Report prepared by Staff for submission to the California Office of Historic Preservation

Item 2: Consider the 2024-2025 Certified Annual Report prepared by Staff for submission to the California Office of Historic Preservation was pulled for discussion.

It was moved by Board Member Gualtieri and seconded by Board Member Voris to approve Item 1: December 15, 2025 Regular Meeting Minutes.

The motion passed by the following roll call vote:

| | |
|-------------------|--|
| AYES: | Board Member(s): Dyar, Gualtieri, Voris |
| NOES: | Board Member(s): None |
| ABSTAINED: | Board Member(s): None |
| ABSENT: | Board Member(s): Chroman |

Speakers:

Katherine Wallace, AICP, Associate Planner

It was moved by Board Member Voris and seconded by Board Member Gualtieri to approve Item 2: Consider the 2024-2025 Certified Annual Report prepared by Staff for submission to the California Office of Historic Preservation.

The motion passed by the following roll call vote:

| | |
|-------------------|--|
| AYES: | Board Member(s): Dyar, Gualtieri, Voris |
| NOES: | Board Member(s): None |
| ABSTAINED: | Board Member(s): None |
| ABSENT: | Board Member(s): Chroman |

PUBLIC HEARINGS

- 3) **HE 26090 (Stonehouse Terrace):** Consideration of a property owner-sponsored National Register of Historic Places Nomination and a City-

initiated Determination of Ineligibility for listing on the Carmel Inventory of Historic Resources for the "Reimers' Stonehouse Terrace" located at San Carlos Street 2 southwest of 7th Avenue in the Service Commercial (SC) District. APN: 010-145-018-000

Speakers:

Katherine Wallace, AICP, Associate Planner
Kristi Reimers, Property Owner

Public Comment:

Ian Martin
Cindy Lloyd
Kent Seavey
Polly Osborne
Jason Retterer
Charles Najarian
Victoria Beach

It was moved by Board Member Dyar and seconded by Board Member Gualtieri to recommend listing the "Reimers' Stonehouse Terrace" on the National Register of Historic Places and to support the National Register Nomination prepared by Ms. Barbara Lamprecht. The "Reimers' Stonehouse Terrace" is located at San Carlos Street 2 southwest of 7th Avenue in the Service Commercial (SC) District. APN 010-145-018-000.

The motion passed by the following roll call vote:

| | |
|-------------------|--|
| AYES: | Board Member(s): Dyar, Gualtieri, Voris |
| NOES: | Board Member(s): None |
| ABSTAINED: | Board Member(s): None |
| ABSENT: | Board Member(s): Chroman |

- 4) DS 26068 (Salehi):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for a new garage door proposed under DS 26068 (Salehi), revised from a previous approval under DS 24115 (Salehi), for the historic "Mary Haven House" located at the southwest corner of Santa Rita Street and 1st Avenue in the Single-Family Residential (R-1) District. APN: 010-027-001-000

Speakers:

Katherine Wallace, AICP, Associate Planner

Public Comment:

Cindy Lloyd

It was moved by Board Member Voris and seconded by Board Member Gualtieri to approve a resolution issuing a determination of consistency with the

Secretary of the Interior’s Standards for the Treatment of Historic Properties (Standards) for a new garage door proposed under Design Study 26068 (Salehi), revised from a previous approval under Design Study 24115 (Salehi), for the historic “Mary Haven House” located at the southwest corner of Santa Rita Street and 1st Avenue in the Single-family Residential (R-1) District. APN: 010-027-001-000

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Gualtieri, Voris
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): Chroman

- 5) DR 25269 (Carl Cherry Foundation):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for a new 775-square-foot art studio proposed under DR 25269 (Carl Cherry Foundation), revised from a previous approval under DR 23278 (Carl Cherry Foundation), at the historic “Carl Cherry Center for the Arts” located at the northwest corner of Guadalupe Street and 4th Avenue in the Single-Family Residential (R-1) District. APN: 010-024-013-000

Speakers:

Katherine Wallace, AICP, Associate Planner
Polly Osborne, Studio Schicketanz, Applicant
Ron Baxter, Carl Cherry Center for the Arts, Property Owner

Public Comment:

Cindy Lloyd
Todd Fujinaga
Polly Osborne

It was moved by Board Member Gualtieri and seconded by Board Member Voris to approve a resolution issuing a determination of consistency with the Secretary of the Interior’s Standards for the Treatment of Historic Properties for a new 775-square-foot art studio approved under Design Review 23278 (Carl Cherry Foundation) and revised under Design Review 25269 (Carl Cherry Foundation) at the historic “Carl Cherry Center for the Arts” located at the northwest corner of Guadalupe Street and 4th Avenue in the in Single-family Residential (R-1) District. APN: 010-024-013-000

The motion passed by the following roll call vote:

AYES: Board Member(s): Dyar, Gualtieri, Voris
NOES: Board Member(s): None
ABSTAINED: Board Member(s): None
ABSENT: Board Member(s): Chroman

DIRECTOR'S REPORT

Katherine Wallace, Associate Planner, gave a report and answered questions of the Board:

- **Objective Design and Development Standards:** There is a meeting scheduled for next week to discuss the Objective Design Standards project.
- **Updates on Historic Preservation:** Both the California Preservation Foundation and the Office of Historic Preservation send updates on historic preservation for those interested in subscribing.

BOARD MEMBER ANNOUNCEMENTS

Vice Chair Dyar informed the Board of the Carmel Heritage Homes Tour scheduled for Saturday, July 18th. This year's theme is "Designing Women". Tickets will be available at carmelheritage.org and AIA.org.

Board Member Gualtieri requested information on the historic artifacts of the Francis Whitaker studio as the former Forge in the Forest property is undergoing renovations. Associate Planner Katherine Wallace informed the Board that the Carmel Heritage Society is in talks with the developer on a potential new home for the forge. Board Member Gualtieri also said that the decedents of MJ Murphy are considering funding a plaque on the Carmel Library to recognize his contribution. Associate Planner Wallace advised that the plaque could be included with the Board's review of the Library project later this year.

FUTURE AGENDA ITEMS

- 6) Next Regular Meeting: May 18, 2026

ADJOURNMENT

6:03 PM

APPROVED:

ATTEST:

Jordan Chroman, Chair

Shelby Gorman, Board Clerk



CITY OF CARMEL-BY-THE-SEA Historic Resources Board Staff Report

May 18, 2026
PUBLIC HEARINGS

TO: Historic Resources Board Members
SUBMITTED BY: Erin Lewis, Assistant Planner
SUBJECT: **DS 26063 (Husted):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Study 26063 (Husted) for the addition of a second story ADU to the historic "Helen Leslie House" located at Carmelo Street, 4 southeast of 12th Avenue in the Single Family Residential (R-1) Zoning District. APN: 010-285-015-000.

RECOMMENDATION:

Adopt a Resolution (Attachment 1) finding the proposed 630 square-foot second-story addition and 443 square-foot rooftop deck addition inconsistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Standards"), and issuing a Determination of Consistency with the Standards for the proposed 30 square-foot addition to the northeast corner of the garage, 95 square-foot addition to the rear elevation, fenestration changes and site improvements at the historic "Helen Leslie House" located on Carmelo Street, 4 Southeast of 12th Avenue in the Single-Family Residential (R-1) District. APN: 010-285-015-000.

BACKGROUND / SUMMARY:

EXECUTIVE SUMMARY

The 4,000 square-foot subject property is developed with a 1,677 square-foot residence inclusive of a 274 square-foot attached garage. A historic evaluation was completed in October 2025, and it was determined that the house is significant under California Register Criterion 3 (Architecture), at the local level as a good example of the Hollywood Regency style. The "Helen Leslie House" was listed on the Carmel Inventory of Historic Resources on November 6, 2025. The project scope is as follows:

- a. 30 square-foot addition at the northeast corner of the garage to accommodate a half bath with laundry room
- b. 95 square-foot addition at the rear (east) elevation to accommodate the expansion of an existing primary bedroom, closet and primary bathroom.

- c. 630 square-foot second-story addition and fenestration to match existing. The second story addition is proposed to be accessed via an exterior door at the north elevation. 443 square-foot second-story roof deck at rear (east) elevation.
 - a. *Staff note: There is a discrepancy between the description of these second-story additions and the measurements in the floor plan which show them as a total of 870-square feet with 584-square feet for the living space and 285-square feet for the deck.*
- d. Removal of upper portion of the existing north elevation exterior chimney to accommodate the proposed second-story addition
- e. New interior chimney projecting above the second-story roof
- f. Site coverage changes including a new sand-set brick pad in the north side setback, partial demolition of a planter in the front setback to accommodate a trash enclosure, and removal of impermeable pathways to be replaced with mulch.
- g. Partial replacement of brick wall along north property line in-kind, with 9' non-conforming portion to remain in place.

Additions and alterations to historic properties require a Determination of Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Secretary's Standards"). The project has been reviewed by qualified professional Margaret (Meg) Clovis. The second story addition (ADU and roof deck) is inconsistent with the Secretary's Standards as proposed, and the first-floor additions to the garage and rear elevation are consistent with the Standards as proposed.

Background/Summary

Built in 1963, the one-story "Helen Leslie House" is an example of the Hollywood Regency style. Wendell Roscoe designed Mrs. Leslie's house in the Hollywood Regency style which was popularized by John Elgin Woolf in Los Angeles. The style is an over-the-top mix of classical, revival, art deco and mid-century modern styles. The Hollywood Regency style reflects the Golden Age of Hollywood and mimics the sleek set designs of the studio era. It is a rare style in Carmel but reflects the historic context theme of Postwar Development (1946-1965), when architects were shifting to and experimenting with contemporary styles like Hollywood Regency. Helen Ritter Leslie (1904-1986) built the house located at Carmelo 4 SE of 12th Avenue in 1963. Mrs. Leslie worked in retail, specializing in women's corset sales. After moving from Burlingame to Carmel, she was hired by Holman's Department Store in Pacific Grove. Mrs. Leslie is not included as a significant person in Carmel's Historic Context Statement.

The house is situated along the length of the 4000 sq. ft lot, with the front door facing south. The attached garage fronts Carmelo Street; setback portions of the one-story residence are minimally visible from the public right-of-way. A curved brick planter and curved brick stairs, overhung by sculptural oak trees, lead to the non-original front gate and wall which obscures the house from the street. The gate opens onto a brick patio. A non-historic, large, fixed multipaned window flanked by faux shutters is located on the southern wall of the garage. The double front door of the residence faces south and

opens to a narrow foyer that acts as a connector between the two wings of the house.

The house has a distinctive Mansard roof – a Hollywood Regency style feature. The original plans indicate that a portion of the roof once had iron cresting. Exterior walls are clad with V-groove horizontal wood siding (principally on the north elevation) and brick veneer. Fenestration varies and includes horizontally oriented multi-paned windows and large multi-paned picture windows. Several of the windows have faux shutters. The two most distinctive windows face the narrow interior patio on the north elevation. The living room has a floor to ceiling French curve window, and the family/dining room has a floor to ceiling corner window. The panes are separated into a grid of squares by a deep-silled frame. It is an unusual design feature since these windows face each other, but one draws from classical sources while the other is distinctly modern. A recurring design theme is the use of arched raised panels in the front door, shutters, and garage door. The original plans indicate that the same arched panels were repeated on interior elements such as the closet doors. Arched elements are a feature of the Hollywood Regency style.

A Department of Parks and Recreation form (DPR 523A and B) was prepared for the “Helen Leslie House” in October of 2025 (Attachment 2), and it was determined that the house is significant under California Register Criterion 3 (Architecture), at the local level as a good example of the Hollywood Regency style. The Period of Significance for the house is 1963, the date of construction. The character-defining features of the house include:

- Mansard roof
- Double front door
- Arched raised panels in the front door, shutters, and garage door
- French curve window and stylized corner window facing the interior north patio
- Front and north patio spaces
- Massing that includes two, one-story side wings linked by a foyer connector
- Brick chimneys on the west and north elevations
- Brick veneer exterior siding

The Helen Leslie House retains overall integrity. The permitted changes to the house since its construction include a second bathroom addition (1997), a reroof (2003), and replacing all windows with wood (2010). Unpermitted but observed changes include the replacement of the French doors in the garage with a fixed multi-paned window with obscure glass and the construction of a wood wall and wood gate across the west patio (front elevation).

The applicant submitted a Preliminary Site Assessment application (PSA 25392, Husted) on December 22, 2025 for the 30 square foot addition of a bathroom and laundry at the northeast corner of the garage, a 95 square foot first floor addition at the rear, and a 630 square foot second story addition above the east wing, and a Design Study application (DS 26063, Husted) for the same project parameters on March 3,

2026.

PROJECT DESCRIPTION

The property is a 4,000-square-foot lot located at the northeast corner of Carmelo Street, 4 Southeast of 12th Avenue. The project proposal is listed below in italics, followed by a summary of Ms. Clovis' response.

- a. *Addition of 30 square feet to a 1,403 square foot of existing single-family residence with a 274-square foot garage. This addition includes a half bath with a laundry room at the northeast corner of the garage.*
 - i. The bathroom and laundry room will not destroy any historic materials, features, spatial relationships, or historic character that characterize the property. The garage roof will be extended to accommodate the new addition, and plans illustrate that the dimensions of the Mansard roof will be replicated. Once the plans indicate how the siding will be differentiated, this proposal will be consistent with all applicable Standards.
- b. *Another 95 square feet at the rear of the house for an expansion of an existing primary bedroom, closet and primary bathroom.*
 - i. The rear addition will not destroy any historic materials, features, spatial relationships, or historic character that characterize the property provided that the rear roof be extended to accommodate the new additions with the Mansard roof dimensions replicated. Once the plans show the roofline and siding differentiation, then this proposal will be consistent with all applicable Standards.
- c. *Second story, 630 square foot addition with a 443 square foot exterior deck.*
 - i. The removal of two-thirds of the distinctive Mansard roof will be a substantial change to one of the home's most important stylistic features. It will also require the partial removal of the character-defining chimney on the north elevation. These features characterize the residence and their removal will impact the overall integrity of the property. If the 2nd story addition and staircase to the 2nd story on the north elevation are constructed, then the essential form and integrity of the historic house will be permanently impaired.
 - ii. The Secretary of the Interior's Standards and Guidelines for Rehabilitation do not recommend removing or substantially changing a roof form that is important in defining the overall historic character of a building.
- d. *Bottom of the existing North brick chimney to remain in place, removing the top portion and chimney cap for a second story addition; an addition of a new fireplace with chimney.*
 - i. Partial removal of the character defining chimney (the top 1.5') will change distinctive features, spatial relationships, and overall integrity of the property.
- e. *Addition of a new mulch pathway leading to the ADU. No other landscape changes. Replace existing north fence with brick wall.*
 - i. No comment.

- f. *All proposed exterior doors and windows to match the existing architectural style.*
 - i. No comments specifically regarding doors and windows proposed for the ADU. No changes proposed for fenestration of the existing building.

STAFF ANALYSIS

Secretary of the Interior's Standards. Per Carmel by-the-Sea Municipal Code (CMC) Section 17.32.120, Alteration of Historic Resources, the proposed project shall first obtain a determination of consistency with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Standards). The Standards identify four primary treatment approaches to historic resources: preservation, rehabilitation, restoration, and reconstruction. Rehabilitation is the recommended standard of treatment for this project. **Rehabilitation** is defined as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.” (36 CFR 67.2(b)).

Preservation Brief 14 states that: *“It is difficult, if not impossible to minimize the impact of adding an entire new floor to relatively low buildings, such as small-scale residential or commercial structures, even if the new addition is set back from the plane of the façade. Constructing another floor on top of a small one, two, or three-story building is seldom appropriate for buildings of this size as it would measurably alter the building’s proportions and profile and negatively impact its historic character.”*

The Standards include ten criteria for evaluating modifications to historic resources (Attachment 3). A Phase II Evaluation of the proposed project (Attachment 4) was prepared by a City-contracted qualified professional, Margaret (Meg) Clovis, October, 2025. Upon review of the project plans (Attachment 5) and having completed a site visit, Ms. Clovis found that the 30-square foot addition at the northeast corner of the garage and the 95 square foot addition at the rear of the property meet applicable Standards One, Two, Nine, and Ten, and that the 630-square foot addition of a second story and roof deck does not meet standards One, Two, Five, Nine, and Ten. All other standards are not applicable. The evaluation concludes that the project, as proposed, does not meet the applicable *Secretary of the Interior’s Standards for Rehabilitation* and will have a significant impact on the historic resource. Staff concurs with Ms. Clovis’ evaluation. Below is an analysis of the Standards:

Standard One: *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The Helen Leslie House has been a single-family residence since it was constructed in 1963. A second story addition to the rear half of the house is proposed. This will require the removal of two-thirds of the distinctive Mansard roof which will be a substantial change to one of the home’s most important stylistic features. It will also require the

removal of the character-defining chimney on the north elevation. The proposed work is not consistent with Standard One.

Standard Two: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.*

The Secretary of the Interior's Standards and Guidelines for Rehabilitation do not recommend removing or substantially changing a roof that is important in defining the overall historic character of a building. Preservation Brief 14 states that:

"It is difficult, if not impossible to minimize the impact of adding an entire new floor to relatively low buildings, such as small-scale residential or commercial structures, even if the new addition is set back from the plane of the façade. Constructing another floor on top of a small one, two, or three-story building is seldom appropriate for buildings of this size as it would measurably alter the building's proportions and profile and negatively impact its historic character."

The proposed work is not consistent with Standard Two.

The addition of the 30 square foot half bath and laundry room to the northeast corner of the garage and 95 square foot addition to the rear will not affect the property's historic character because it will be in an inconspicuous location. The work will not require the removal or alteration of distinctive materials or spatial relationships that characterize the property. The proposed work is consistent with Standard Two.

Standard Three: *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.*

No conjectural features or architectural elements that would create a false sense of history are planned for the project. This Standard is not applicable.

Standard Four: *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

There have been minimal changes to the property since its construction in 1963. This Standard is not applicable.

Standard Five: *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved*

The project will include the partial removal of the character-defining Mansard roof and partial removal of the chimney on the north elevation. These features, especially the Mansard roof, characterize the property and their removal will impact the overall integrity of the property.

The proposed work is not consistent with Standard Five.

Standard Six: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

This project does not focus on the repair of historic features. Standard Six is not applicable.

Standard Seven: *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Surface cleaning is not proposed for this project. This Standard is not applicable.

Standard Eight: *Archeological resources will be protected and preserved in place.*

The property is not located within Carmel's Archeological Overlay Zone, and there is no evidence in the historical record that archeological resources are located on the site. This Standard is not applicable.

Standard Nine: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The proposed second story addition will destroy two-thirds of the character-defining Mansard roof as well as the top 1.5' of the character-defining north chimney. The addition will not be compatible in terms of size, scale, massing, and proportion (see Standard Two) and the addition will severely impact the integrity of the historic house. The proposed work is not consistent with Standard Nine.

The 30 square foot bathroom and laundry room expansion and 95 square foot rear first-floor addition will not destroy any historic materials, features, or spatial relationships that characterize the property. The garage roof will be extended to accommodate the new additions, and plans illustrate that the dimensions of the Mansard roof will be replicated (see Plan Sheet 15). There is no indication on the plans regarding how the new siding will be differentiated from the original. Considering the small size of the addition, it may be visually awkward to differentiate the old from the new by changing the width of the siding. A more subtle differentiation may be achieved by using the same width boards but with a different shadow line. The new window that will be installed in the garage addition is compatible with other window openings throughout the house. The proposed work will be consistent with Standard Nine once the plans indicate how the siding will be differentiated.

Standard Ten: *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If the 2nd story addition and staircase on the north elevation are constructed, then the essential form and integrity of the historic house will be permanently impaired. The proposed work is not consistent with Standard Ten.

If the bathroom and laundry room addition and first-floor rear addition are removed in the future, the essential form and integrity of the house will still be intact. The proposed bathroom and laundry room addition and rear first-floor addition are consistent with Standard Ten.

Environmental Review: Staff recommends, pursuant to CEQA regulations, that the Application be found “not a project” pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency with the Standards does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment. A CEQA analysis and determination will be conducted as part of the Design Study review.

FISCAL IMPACT:

n/a

ATTACHMENTS:

- 1. Attachment 1 - Resolution
- 2. Attachment 2 - DPR
- 3. Attachment 3 - Secretary's Standards - Rehabilitation
- 4. Attachment 4 - Phase II Report
- 5. Attachment 5 - Project Plans
- 6. Attachment 6 - Site Photos updated 05.18.26
- 7. Attachment 7 - Memo updated 05.18.26

CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD

HISTORIC RESOURCES BOARD RESOLUTION NO. 2026-00X-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA FOR DESIGN STUDY APPLICATION 26063 (HUSTED) FINDING THE PROPOSED ROOF REMOVAL AND INSTALLATION OF A SECOND STORY ADDITION INCONSISTENT WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES ("STANDARDS") AND ISSUING A DETERMINATION OF CONSISTENCY WITH THE STANDARDS FOR THE 30-SQUARE ADDITION TO THE NORTHEAST CORNER OF THE GARAGE AND 95-SQUARE FOOT ADDITION AT THE REAR AT THE HISTORIC "HELEN LESLIE HOUSE" LOCATED ON CARMELO STREET, 4 SOUTHEAST OF 12TH AVENUE IN THE SINGLE-FAMILY RESIDENTIAL (R-1) DISTRICT. APN: 010-285-015-000.

WHEREAS, on March 3, 2026, Tai Tang ("Applicant") submitted an application on behalf of Allyson & David Husted ("Owner") the addition of a second story ADU and associated site improvements under Design Study DS 26063 (Husted) described herein as ("Application"); and

WHEREAS, the Application has been submitted for the property located at Carmelo Street 4 Southeast of 12th Avenue in the Single-Family Residential (R-1) District (Block CC, Lot 8); and

WHEREAS, the project site contains a historic resource listed as the "Helen Leslie House" on the Carmel Inventory of Historic Resources; and

WHEREAS, in accordance with Carmel by-the-Sea Municipal Code (CMC) Section 17.58.040.B (Residential District Track Two Design Review), substantial alterations and projects that increase floor area by more than 10 percent are eligible for track two design review; and

WHEREAS, in accordance with CMC Section 17.32.140 (Determination of Consistency with the Secretary's Standards), all major and minor alterations to historic resources shall require a determination of consistency with the Secretary's Standards; and

WHEREAS, in accordance with CMC Section 17.32.160 (Historic Evaluation Process for Major Alterations), a major alteration includes a substantial alteration as defined in CMC 17.70.020 and additions exceeding two percent of the existing floor area or volume; and

WHEREAS, in accordance with CMC Section 17.32.160.B, a determination of consistency for major alterations shall be prepared by a qualified professional; and

WHEREAS, Margaret Clovis, a qualified professional, prepared a Phase Two Historic Assessment on March 26, 2026 and found parts of the project consistent with all applicable Secretary's Standards for Rehabilitation and some parts inconsistent with all applicable Secretary's Standards for Rehabilitation; and

WHEREAS, except for the addition of 30-square feet to the northeast corner of the garage and 95-square foot first-floor addition to the rear and changes to landscaping and extension of the front brick wall, the proposed alterations (removal of two-thirds of the Mansard roof and portion of the north chimney for an addition of 630 square feet of living space and rooftop deck) would compromise the integrity of the historic resource; and

WHEREAS, on May 8, 2026, a notice of public hearing was published in the Carmel Pine Cone for the May 18, 2025, Historic Resources Board meeting in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before May 8, 2026, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before May 15, 2026, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on May 18, 2026, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the Application, including, without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Board at the hearing, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is "not be a project" pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **FIND** the proposed roof removal and installation of a second story addition inconsistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (“Standards”) and issuing a Determination of Consistency with the Standards for the 30-square addition to the northeast corner of the garage and 95-square foot addition to the rear of the house at the historic “Helen Leslie House” located on Carmelo Street, 4 Southeast of 12th Avenue in the Single-Family Residential (R-1) District. APN: 010-285-015-000.

PASSED, APPROVED, AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 18th day of May, 2026, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Jordan Chroman
Chair

Shelby Gorman
Historic Resources Board Secretary

State of California -- The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 10

*Resource Name or #: (Assigned by recorder) Helen Leslie House

P1. Other Identifier: Helen Leslie House

*P2. Location: Not for Publication Unrestricted *a. County Monterey

and (P2b and P2c or P2d. Attach a Location Map as necessary)

*b. USGS 7.5' Quad Monterey Date 2012 T ; R ; ¼ of ¼ of Sec ; Mount Diablo B.M.

c. Address Carmelo 4 SE of 12th Ave. City Carmel by the Sea Zip 93921

d. UTM: (Give more than one for large and/or linear resources) Zone ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN 010-285-015, Block CC, Lot 8

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Built in 1963, the one-story Helen Leslie house is an example of the Hollywood Regency style, which is a rarity in Carmel. The house is situated along the length of the 4000 sq. ft lot, with the front door facing south. The garage is the only section of the house visible from the front (west) elevation. A curved brick planter and curved brick stairs, overhung by sculptural oak trees, lead to the non-original front gate and wall which obscures the house from the street. The gate opens onto a brick patio. A large, fixed multipaned window flanked by faux shutters is located on the southern wall of the garage. The original building plans indicate that this window was originally French doors. A wide brick chimney is located on the western wall.

The double front door is centrally located on the south elevation and leads to a narrow foyer that acts as a connector to the two wings of the house. The west wing includes the kitchen, dining/family room and garage. The living room and bedrooms are in the east wing. The house has a distinctive Mansard (cont. p.3)

*P3b. Resource Attributes: (List attributes and codes) HP2, Single-family home

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Carmelo St. Elevation, 09/2025

*P6. Date Constructed/Age and

Sources: 1963 Historic

Prehistoric Both

Building Permit # 3988

*P7. Owner and Address:

David & Allyson Husted

1755 St. Helena Dr.

Danville, CA. 94526

*P8. Recorded by: (Name, affiliation, and address)

Meg Clovis

14024 Reservation Rd.

Salinas, CA 93908

*P9. Date Recorded: 10/2025

*P10. Survey Type: (Describe) Intensive

*P11. Report Citation: (cite survey report and other sources, or enter "none.") None

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List)

BUILDING, STRUCTURE, AND OBJECT RECORD

***NRHP Status Code**

***Resource Name or #** (Assigned by recorder) Helen Leslie House

B1. Historic Name: Helen Leslie House

B2. Common Name: Helen Leslie House

B3. Original Use: Residence

B4. Present Use: Residence

***B5. Architectural Style:** Hollywood Regency

***B6. Construction History:** (Construction date, alteration, and date of alterations) Built in 1963 (see P3a for description of alterations and dates).

***B7. Moved?** No Yes Unknown **Date:** **Original Location:**

***B8. Related Features:** N/A

B9a. Architect/Designer: Wendell Waldo Roscoe

b. Builder: Harvey C. Kraftzcek

***B10. Significance: Theme** Postwar Development (1946-1965) **Area** Carmel by the Sea

Period of Significance 1963 **Property Type** Residence **Applicable Criteria** CR 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Address integrity.)

Helen Ritter Leslie (1904-1986) built the house located at Carmelo 4 SE of 12th Avenue in 1963. Mrs. Leslie worked in retail, specializing in women’s corset sales. After moving from Burlingame to Carmel, she was hired by Holman’s Department Store in Pacific Grove. Mrs. Leslie is not included as a significant person in Carmel’s Historic Context Statement.

Mrs. Leslie hired Wendell Waldo Roscoe (1918-2018) to design her house in Carmel. Roscoe bought an airplane while in his teens and taught himself to fly. Prior to World War II he taught Royal Air Force recruits to fly and later flew for Pan Am. He learned architectural design and building when he added a garage to his San Francisco house and then went on to build a home in Los Altos. Eventually he developed the Pink Horse Ranch, a 42-acre subdivision in the Los Altos hills, where he designed all 400 homes in either the Ranch or Revival styles. Mrs. Leslie may have become aware of his work while she was living in Burlingame. Wendell Roscoe is not included as a significant designer in Carmel’s Historic Context Statement.

B11. Additional Resource Attributes (List attributes and codes):

***B12. References:**

Carmel Context Statement & Historic Preservation Ordinance

Building File, Carmel Planning Dept.

National Register Bulletin 15

McAlester, Virginia. *A Field Guide to American Houses*. New York, 2019

Census Records & US Directories accessed through Ancestry.com.

Carmel Pine Cone, accessed through Harrison Memorial Library.

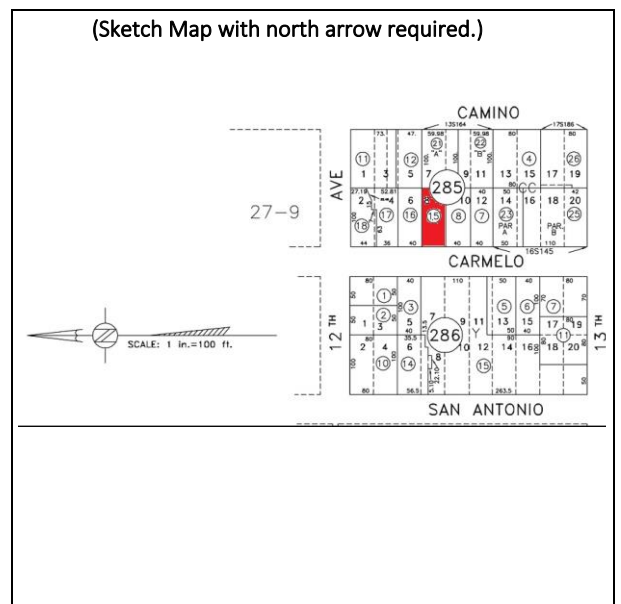
Roscoe, Wendell, Obit. *Los Altos Town Crier*, 8/29/2018

B13. Remarks

***B14. Evaluator:** Meg Clovis

***Date of Evaluation:** 10/2025

(This space reserved for official comments.)



P3a. Description continued:

roof, a Hollywood Regency style feature. The original plans indicate that a portion of the roof once had iron cresting.

Exterior walls are clad with V-groove horizontal wood siding (principally on the north elevation) and brick veneer. Fenestration varies and includes horizontally oriented multi-paned windows and large multi-paned picture windows. Several of the windows have faux shutters. The two most distinctive windows face the narrow interior patio on the north elevation. The living room has a floor to ceiling French curve window, and the family/dining room has a floor to ceiling corner window. The panes are separated into a grid of squares by a deep-silled frame. It is an unusual design feature since these windows face each other but one draws from classical sources while the other is distinctly modern. A recurring design theme is the use of arched raised panels in the front door, shutters, and garage door. The original plans indicate that the same arched panels were repeated on interior elements such as the closet doors. Arched elements are a feature of the Hollywood Regency style.

Wendell Roscoe designed Mrs. Leslie's house in the Hollywood Regency style which was popularized by John Elgin Woolf in Los Angeles. The style is an over-the-top mix of classical, revival, art deco and mid-century modern styles. The Hollywood Regency style reflects the Golden Age of Hollywood and mimics the sleek set designs of the studio era. It is a rare style in Carmel but reflects the historic context theme of *Postwar Development (1946-1965)*, when architects were shifting to and experimenting with contemporary styles like Hollywood Regency.

Characteristics of the style that are found in the Helen Leslie house include:

- Mansard roof
- Double front door
- Arched raised panels in the front door, shutters, and garage door
- French curve window and stylized corner window facing the north patio
- Two side wings linked by the foyer connector
- Wall chimney
- Brick veneer exterior

Permitted alterations to the house include:

- BP# 97-237 (11/18/1997): Addition of 52 sq. ft. bathroom to rear elevation
- BP# 03-123 (6/27/2003): Reroof
- DS10-81 (8/9/2010): Replace all windows with wood

Observed changes:

- Replacement of the French doors in the garage with a fixed, multi-paned window with obscured glass.
- Construction of wall across west patio (front elevation)

Integrity

Integrity is defined as the ability of a property to convey its significance. There are seven aspects of integrity and to retain integrity a property must retain several, if not most, aspects. A small addition was built on the rear elevation of the Helen Leslie House, and the windows have been replaced, albeit in the original openings.

Neither of these changes have detracted from the property's integrity.

- **Location:** The Helen Leslie House is still in its original location.
- **Design:** The Helen Leslie House retains its original design such as its compound plan with two wings connected by the foyer, Mansard roof, and north patio floor-to-ceiling windows.
- **Setting:** The Helen Leslie House is still located in a residential setting.
- **Materials:** The Helen Leslie House retains its original materials such as the horizontal wood siding and brick veneer siding.
- **Workmanship:** The Helen Leslie House retains its original workmanship such as the repeated use of the raised arched panels in features like the front doors and shutters.
- **Feeling:** The Helen Leslie House retains the physical features that convey its historic character, i.e., a 1963 Hollywood Regency residence in Carmel.
- **Association:** This aspect of integrity is only applicable to properties eligible under Events, Patterns and Trends and People.

B10. Significance continued:

Evaluation for Significance

Historians use National Register Bulletin 15¹ as a guide when evaluating a property's significance whether on a local, state, or national level. As a first step, to determine whether a property is significant, it must be evaluated within its historic context and the City of Carmel's Historic Context Statement² provides this context. The City of Carmel's Historic Preservation Ordinance (Section 17.32.040) reiterates the role of *National Register Bulletin 15* in the evaluation of historic resources. Adopted eligibility criteria is modeled on the California Register's four criteria with the addition of specific qualifications for Criterion 3 (Section 17.32.040.D).

The Helen Leslie House is not eligible under **Criterion One (Events, Patterns, Trends)** because no specific event led to the construction of the building and no important event took place in the building.

The Helen Leslie House is not eligible under **Criterion Two (Person)** because the original owner, Helen Leslie, did not make any significant contributions to any of the themes identified in Carmel's Historic Context Statement.

Criterion Three (Architecture) has three eligibility factors as follows:

- a) The property embodies the distinctive characteristics of a type, period, or method of construction; or

¹ National Register Bulletin 15. *How to Apply the National Register Criteria for Evaluation*. National Park Service. 1998.

² *Historic Context Statement: Carmel-by-the-Sea*. Approved by the City Council January 2025.

- b) The property represents the work of a master or important creative individual; or
- c) The property possesses high artistic values.

The Helen Leslie House is eligible under the first part of **Criterion Three (Architecture)**, at a local level, because it embodies the distinctive characteristics common to the Hollywood Regency style.

The Helen Leslie House is not eligible under the second part of Criterion Three because it does not represent the best work of Wendell Waldo Roscoe, which is concentrated in the Pink Horse subdivision in the Los Altos Hills. Bulletin 15 explains that a property is not eligible as the work of a master just because it was designed or built by a notable creative individual. Rather, "a property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular idea or theme in his or her craft."

The Helen Leslie House does not meet the third part of Criterion Three because it does not express aesthetic ideals or design concepts.

The California Register's **Fourth Criterion (Information Potential)** is generally reserved for archeological sites. The Helen Leslie House is in Carmel's Archaeological Overlay Zone, however there is no evidence in the historical record that the property meets the eligibility requirements for Criterion Four.

To be eligible for the **Carmel Historic Inventory** a resource must represent a theme in the Context Statement, retain substantial integrity, be at least 50 years old, and meet at least one of the four criteria for listing in the California Register. Additional criteria for properties eligible under Criterion Three are cited in Carmel's Municipal Code (§ 17.32.040(D).4) and Carmel's Historic Context Statement (p. 140) as follows:

"Properties that display particularly rare architectural styles and vernacular/utilitarian types shall be given special consideration due to their particularly unusual qualities. Such rare examples, which contribute to diversity in the community, need not have been designed by known architects, designer/builders or contractors. Rather, rare styles and types that contribute to Carmel's unique sense of time and place shall be deemed significant."

The Helen Leslie House is over 50 years old and meets California Register Criteria Three. It represents the Historic Context theme of *Postwar Development (1946-1965)* and retains substantial integrity. It is a rare example of the Hollywood Regency style and meets the specific qualifications for Criterion Three as described in Carmel's Historic Preservation Ordinance. The Helen Leslie House is eligible for inclusion on the Carmel Historic Inventory.

In summary, the Carmel Historic Context Statement, the Carmel Historic Preservation Ordinance, and the historical record support the eligibility of the Helen Leslie House for the Carmel Historic Inventory.



Figure 1: View of the front patio looking northeast.



Figure 2: View of the front patio looking northwest.



Figure 3: View of front door.



Figure 4: View of French curve window, interior patio.



Figure 5: View of grid window, interior patio.



Figure 6: View of property prior to construction of west elevation fence.

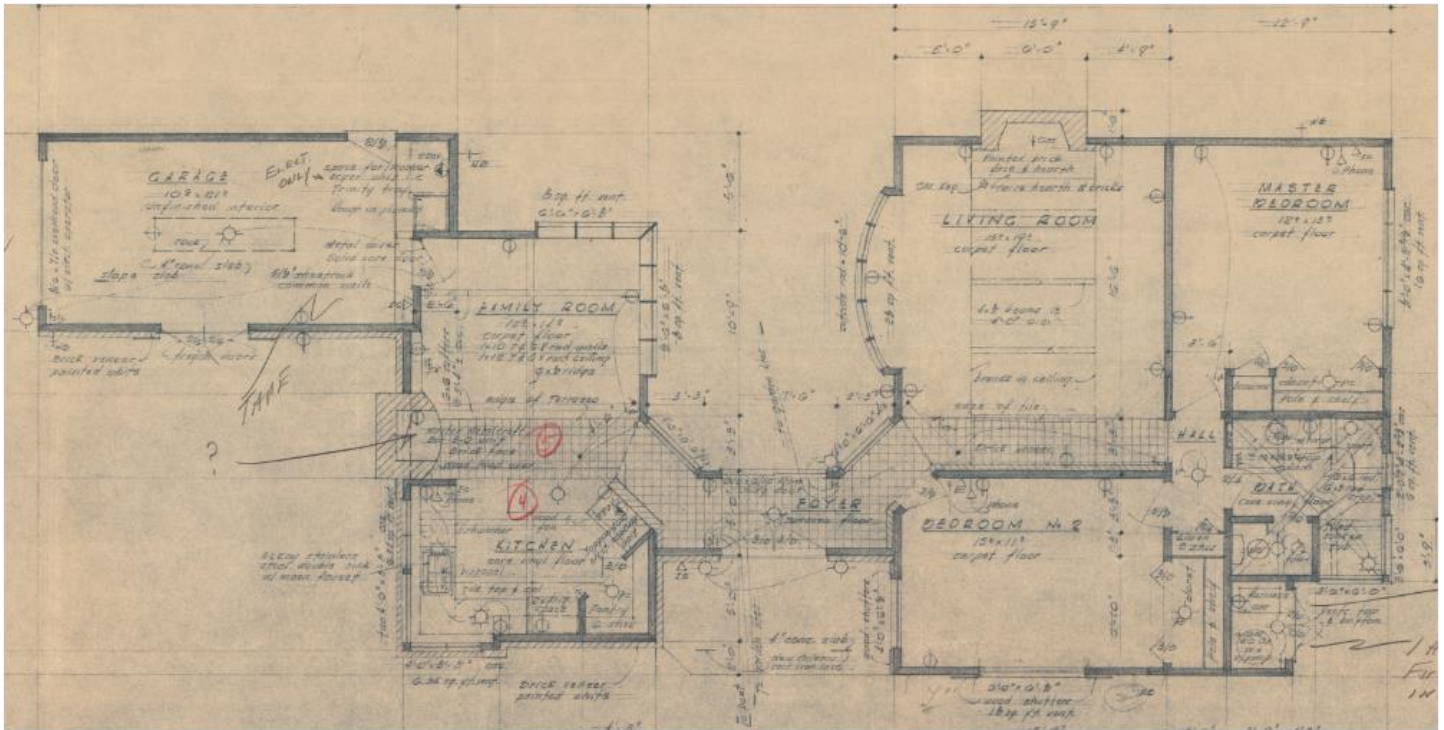


Figure 7: Original floor plan, 1963.

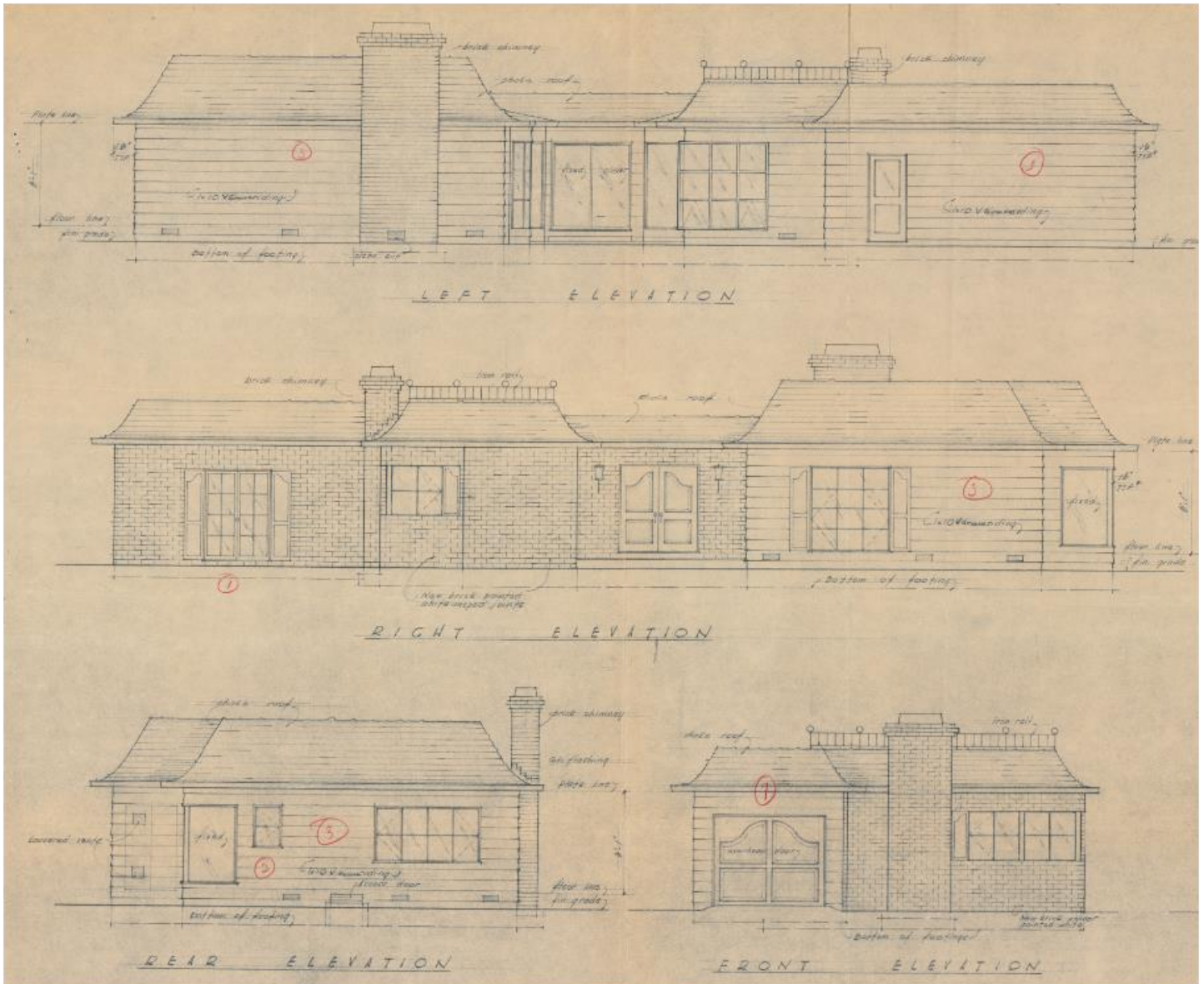


Figure 8: Original elevations, 1963..

SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES
Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Source: U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington, D.C., 2017.

March 26, 2026

Phase Two Report for the Helen Leslie House (APN 010-285-015), Carmel-by-the-Sea, CA.

Executive Summary

The Helen Leslie House is located on Carmelo Street, 4 SE of 12th Avenue. An intensive survey of the property was completed in October 2025, and it was determined that the house was eligible for the Carmel Inventory under California Register Criterion 3 (Architecture), at the local level because it is a good example of the Hollywood Regency style. The Helen Leslie House was listed on the Carmel Inventory of Historic Resources on November 6, 2025.

The house was built in 1963 by Helen Leslie who worked at Holman's Department Store. The house was designed by contractor Wendell Waldo Roscoe, who was well known in Los Altos for his Pink Horse Ranch subdivision. The subdivision featured Ranch and Revival style homes, including homes designed in the Hollywood Regency style. Roscoe is not considered a significant contractor in Carmel.

The survey form notes the following additions and alterations to the house:

- BP# 97-237 (11/18/1997): Addition of a 52 sq. ft. bathroom on the southeast corner of the house.
- BP# 03-123 (6/27/2003): Reroof
- DS# 10-81 (8/9/2010): Replace all windows with wood.

Observed changes include:

- The replacement of the French doors in the garage with a fixed multi-paned window with obscure glass.
- Construction of a brick wall across the west patio (front elevation).

Character-Defining Features

A character-defining feature is an aspect of a building's design, construction, or detail that is representative of the building's function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing, materials, craftsmanship, site characteristics and landscaping within the period of significance. The period of significance for the Helen Leslie House is 1963, the year of construction.

For an important historic resource to preserve its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in developing a plan that incorporates an appropriate level of rehabilitation. Following are the character-defining features of the Helen Leslie House:

- Mansard roof
- Double front door

- Arched raised panels in the front door, shutters, and garage door
- French curve window and stylized corner window facing the interior north patio
- Front and north patio spaces
- Massing that includes two, one-story side wings linked by a foyer connector
- Brick chimneys on the west and north elevations
- Brick veneer exterior siding

Proposed Project Description

The project includes the following changes to the Helen Leslie House:

- a) Two-thirds of the character-defining Mansard roof will be removed (over the living room and bedroom wing). A 630 sq. ft. second story ADU will be built in place of the Mansard roof. The ADU will have a side-gabled roof. Solar panels will be added to the ADU roof. The ADU exterior walls will have narrow horizontal wood siding (see Plan Sheet 17).
- b) A 443 sq. ft. full-width deck will be built off the ADU, on the east elevation.
- c) The fireplace and character-defining chimney on the north elevation will be demolished to accommodate the separate entrance and staircase to the second floor ADU. This will decrease the dimensions of the living room. A new interior fireplace and chimney will be built that matches the existing.
- d) Addition of a 115 sq. ft. half bathroom and laundry room to the northeast corner of the garage.
- e) All the new exterior doors and windows in the ADU will match existing windows and doors.

The Secretary of the Interior’s Standards for Rehabilitation

Compliance Evaluation

As a historical resource, the Helen Leslie House is subject to review under the California Environmental Quality Act (CEQA). Generally, under CEQA, a project that follows the *Standards for Rehabilitation* contained within *The Secretary of the Interior’s Standards for the Treatment of Historic Properties* is considered to have mitigated impacts to a historical resource to a less-than-significant level (CEQA Guidelines 15064.5).

The compliance of the proposed work on the Helen Leslie House is reviewed below with respect to the *Rehabilitation Standards*. The Standards are indicated in italics, followed by a discussion regarding the project’s consistency or inconsistency with each Standard.

Rehabilitation is defined as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.” (36 CFR 67.2(b)).

Standard One

A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The Helen Leslie House has been a single-family residence since it was constructed in 1963. A new ADU is proposed as a second story to the house. This will require the removal of two-thirds of the distinctive Mansard roof which will be a substantial change to one of the home's most important stylistic features. It will also require the removal of the character-defining chimney on the north elevation. The proposed work is not consistent with Standard One.

A 115 sq. ft half bath and laundry room will be added to the northeast corner of the garage, which is a secondary elevation. This addition will not change distinctive materials, features, or spatial relationships associated with the Helen Leslie House. The proposed work is consistent with Standard One.

Standard Two

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.

The Secretary of the Interior's Standards and Guidelines for Rehabilitation do not recommend removing or substantially changing a roof that is important in defining the overall historic character of a building. Preservation Brief 14¹ states that:

"It is difficult, if not impossible to minimize the impact of adding an entire new floor to relatively low buildings, such as small-scale residential or commercial structures, even if the new addition is set back from the plane of the façade. Constructing another floor on top of a small one, two, or three-story building is seldom appropriate for buildings of this size as it would measurably alter the building's proportions and profile and negatively impact its historic character."

The proposed work is not consistent with Standard Two.

The addition of the 115 sq. ft. half bath and laundry room to the northeast corner of the garage will not affect the property's historic character because it will be in an inconspicuous location. The work will not require the removal or alteration of distinctive materials or spatial relationships that characterize the property. The proposed work is consistent with Standard Two.

Standard Three

Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historical properties, will not be undertaken.

No conjectural features or architectural elements that would create a false sense of history are planned for the project. This Standard is not applicable.

¹ Preservation Brief 14. *New Exterior Additions to Historic Buildings: Preservation Concerns*. National Park Service. August 2010.

Standard Four

Changes to a property that have acquired historic significance in their own right will be retained and preserved.

There have been minimal changes to the property since its construction in 1963. This Standard is not applicable.

Standard Five

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The project will include the removal of the character-defining Mansard roof and the chimney on the north elevation. These features, especially the Mansard roof, characterize the property and their removal will impact the overall integrity of the property. The proposed work is not consistent with Standard Five.

Standard Six

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

This project does not focus on the repair of historic features. Standard Six is not applicable.

Standard Seven

Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Surface cleaning is not proposed for this project. This Standard is not applicable.

Standard Eight

Archeological resources will be protected and preserved in place.

The property is not located within Carmel's Archeological Overlay Zone, and there is no evidence in the historical record that archeological resources are located on the site. This Standard is not applicable.

Standard Nine

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

The proposed addition of the second floor ADU will destroy two-thirds of the character-defining Mansard roof as well as the character-defining north chimney. The addition will not be compatible in terms of size, scale, massing, and proportion (see Standard Two) and the addition will severely impact the integrity of the historic house. The proposed work is not consistent with Standard Nine.

The 115 sq. ft. bathroom and laundry room will not destroy any historic materials, features, or spatial relationships that characterize the property. The garage roof will be extended to accommodate the new addition, and plans illustrate that the dimensions of the Mansard roof will be replicated (see Plan Sheet 15). There is no indication on the plans regarding how the new siding will be differentiated from the original. Considering the small size of the addition, it may be visually awkward to differentiate the old from the new by changing the width of the siding. A more subtle differentiation may be achieved by using the same width boards but with a different shadow line. The new window that will be installed in the addition is compatible with other window openings throughout the house. The proposed work will be consistent with Standard Nine once the plans indicate how the siding will be differentiated.

Standard Ten

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the ADU and staircase to the ADU on the north elevation are constructed, then the essential form and integrity of the historic house will be permanently impaired. The proposed work is not consistent with Standard Ten.

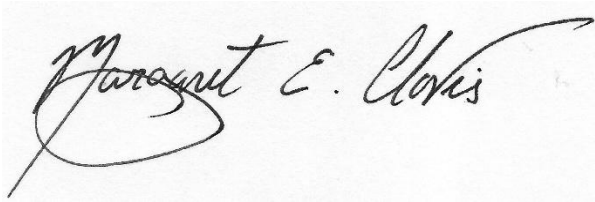
If the bathroom and laundry room addition are removed in the future, the essential form and integrity of the house will still be intact. The proposed bathroom and laundry room addition is consistent with Standard Ten.

Conclusion

ADU: The proposed project does not meet Standards One, Two, Five, Nine and Ten of the *Secretary of the Interior's Standards and Guidelines for Rehabilitation*. Standards Three, Four, Six, Seven and Eight are not applicable. The proposed project will have a significant impact on the historic resource.

Bathroom/Laundry Room: The proposed project meets Standards One Two, Nine and Ten of the *Secretary of the Interior's Standards and Guidelines for Rehabilitation*. Standards, Three, Four, Five, Six, Seven and Eight are not applicable. Plans should indicate how the new siding will be differentiated from the old. The proposed project will not have a significant impact on the historic resource.

Respectfully Submitted,

A handwritten signature in black ink on a light-colored background. The signature reads "Margaret E. Clovis" in a cursive, flowing script.

Margaret Clovis



Figure 1: View of Helen Leslie House from Carmelo Street.



Figure 2: View of front patio looking northwest.



Figure 3: View of front entrance.



Figure 4: View of front patio looking northeast.

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PROPOSED STREET VIEW



EXISTING HOUSE FACADE



EXISTING STREET ELEVATION

SHEET INDEX

| | |
|----|-------------------------------------|
| 1 | COVER PAGE |
| 2 | TOPOGRAPHIC SURVEY |
| 3 | EXISTING SITE PLAN |
| 4 | PROPOSED SITE PLAN |
| 5 | EXISTING SITE COVERAGE PLAN |
| 6 | PROPOSED SITE COVERAGE PLAN |
| 7 | PRELIMINARY GRADING & DRAINAGE PLAN |
| 8 | EXISTING FLOOR PLAN |
| 9 | PROPOSED FLOOR PLAN - MAIN LEVEL |
| 10 | PROPOSED FLOOR PLAN - SECOND FLOOR |
| 11 | WEST STREET ELEVATION |
| 12 | WEST ELEVATION |
| 13 | EAST ELEVATION |
| 14 | SOUTH ELEVATION |
| 15 | NORTH ELEVATION |
| 16 | STREETSCAPE ELEVATIONS |
| 17 | FINISH MATERIALS |

SCOPE OF WORK

ADDITION OF 115 SF TO A 1403 SF OF EXISTING SINGLE-FAMILY RESIDENCE WITH A 274 SF EXISTING GARAGE. THIS ADDITION INCLUDES A HALF BATH WITH A LAUNDRY ROOM AND THE EXPANSION OF AN EXISTING PRIMARY BEDROOM, CLOSET AND PRIMARY BATHROOM. ADDITION OF RADIANT HEAT THROUGHOUT THE HOUSE.

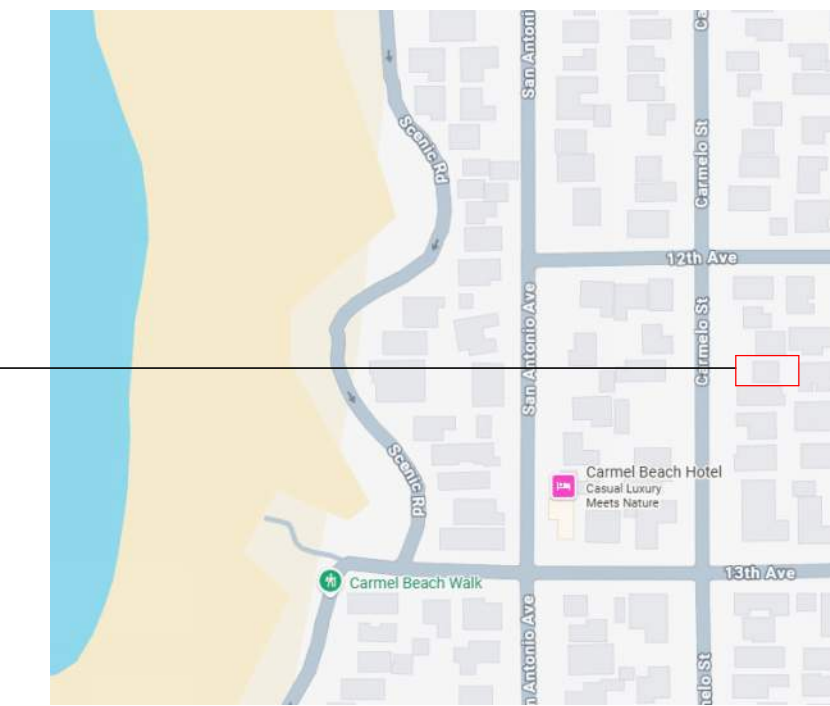
ADDITION OF AN ATTACHED 630 SF ADU ON THE SECOND FLOOR WITH A 443 SF EXTERIOR DECK. ADDITION OF SOLAR PANELS ON TOP OF ADU.

(E) NORTH BRICK CHIMNEY TO REMAIN IN PLACE, REMOVING THE CHIMNEY CAP FOR ADU EXPANSION. AN ADDITION OF A NEW FIREPLACE WITH CHIMNEY.

ADDITION OF A NEW MULCH PATHWAY LEADING TO THE ADU. NO OTHER LANDSCAPE CHANGES. REPLACE (E) NORTH FENCE W/ BRICK FENCE.

ALL PROPOSED EXTERIOR DOORS AND WINDOWS TO MATCH THE EXISTING ARCHITECTURAL STYLE.

VICINITY MAP



PROJECT LOCATION

PROJECT DATA

| | |
|-------------|--|
| CLIENT NAME | ALLYSON & DAVID HUSTED C/O STUDIO SCHICKETANZ |
| ARCHITECT | STUDIO SCHICKETANZ P.O. BOX 2704 CARMEL, CA 93921 PHONE : 831.622.9248 / CONTACT : TAI TANG EMAIL : ttang@studioschicketanz.com |

| | |
|------------------|---|
| PROPERTY ADDRESS | CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 |
| APN/ LOT SIZE: | 010-285-015 / 0.3 ACRES |
| ZONING: | R1 |
| LOT TYPE: | INTERIOR LOT |

LOT COVERAGE CALCULATIONS: (PER CARMEL-BY-THE-SEA ZONING CODE 17.10.030 SEC.C)

| | |
|-------------------------|----------|
| LOT SIZE | 4,000 SF |
| MAXIMUM BASE FLOOR AREA | 1,800 SF |

| MAIN HOUSE FLOOR AREA CALCULATIONS: | | EXISTING | PROPOSED |
|-------------------------------------|---------|----------|--|
| MAIN HOUSE | 1403 SF | 1492 SF | |
| GARAGE | 274 SF | 253 SF | |
| TOTAL INCLUDING GARAGE | 1677 SF | 1745 SF | (TOTAL MAIN HOUSE AREA INCREASE 68 SQFT) |

| ADU FLOOR AREA CALCULATIONS: | | EXISTING | PROPOSED |
|------------------------------|--|----------|----------|
| EXISTING HOUSE LIVING AREA | | 1266 SF | |
| PROPOSED ADU FLOOR AREA | | 585 SF | |

| | |
|---------------------------------|----------|
| MAX. ALLOWABLE ADU FLOOR AREA : | 633 SF * |
|---------------------------------|----------|

* PER CARMEL-BY-THE-SEA ZONING CODE 17.08.050 G.4.C AN ACCESSORY DWELLING UNIT ATTACHED TO THE EXISTING SINGLE-FAMILY HOME SHALL HAVE A MINIMUM FLOOR AREA OF 150 SQUARE FEET AND THE MAXIMUM FLOOR AREA SHALL NOT EXCEED 50% OF THE LIVING AREA OF THE EXISTING SINGLE-FAMILY HOME.

| SITE COVERAGE CALCULATIONS: | | EXISTING | PROPOSED |
|-----------------------------|---------|----------|----------|
| IMPERMEABLE | 1316 SF | 1223 SF | |
| PERMEABLE/SEMI-PERMEABLE | 343 SF | 156 SF | |
| PLANTING/MULCH/DIRT AREA | 649 SF | 823 SF | |

ZONING REGULATIONS

| SETBACKS: | | EXISTING | PROPOSED | MINIMUM ALLOWED |
|-----------|--|----------|----------|-----------------|
| FRONT | | 15' - 0" | 15' - 0" | 15' - 0" |
| REAR *** | | 3' - 0" | 3' - 0" | 3' - 0" *** |
| SIDE 1 ** | | 3' - 0" | 3' - 0" | 3' - 0" ** |
| SIDE 2 ** | | 3' - 0" | 3' - 0" | 7' - 0" ** |

** PER CARMEL-BY-THE-SEA ZONING CODE 17.10.030 A. FIGURE II-2 COMPOSITE SETBACKS. SIDEYARD SETBACKS MAY VARY THROUGHOUT THE DEPTH OF THE LOT BUT SHALL NOT BE LESS THAN 3 FEET ON EITHER SIDE OR EQUAL TO LESS THAN 25% OF THE LOT WIDTH ON BOTH SIDES.

*** PER CARMEL-BY-THE-SEA ZONING CODE 17.10.030 A THE REAR SETBACK IS THREE FEET FOR THOSE PORTIONS OF STRUCTURES LESS THAN 15 FEET IN HEIGHT.

| BUILDING HEIGHT : | | EXISTING | PROPOSED | MAXIMUM ALLOWED |
|-------------------|--|--------------|----------|-----------------|
| ROOF HEIGHT : | | 14' - 6 1/2" | 19' - 6" | 24' - 0" |
| PLATE HEIGHT : | | 9' - 5 1/2" | 18' - 0" | 18' - 0" |

| | |
|--------------------|----|
| TREE REMOVAL : | 0 |
| PROPOSED GRADING : | NA |

| | |
|-----------------------|---------------------------------|
| WATER SOURCE: | MPWMD |
| SEWER PROVIDER: | CARMEL AREA WASTEWATER DISTRICT |
| ELECTRICITY PROVIDER: | PG&E |

TITLE COVER PAGE

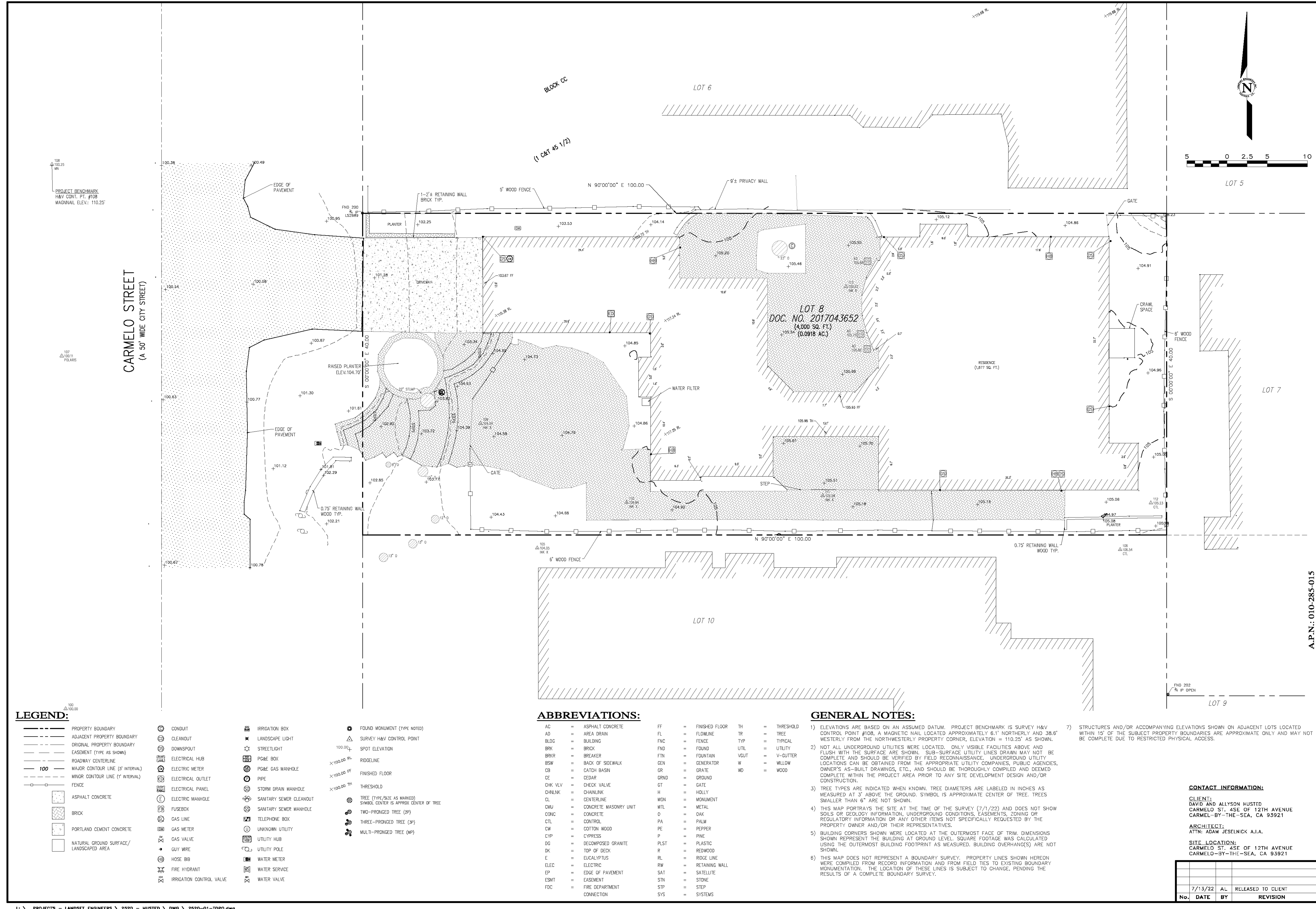
HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

STUDIO SCHICKETANZ P.O. Box 2704, Carmel, CA, 93921 831.622.9000

| | | |
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| DATE | 04.28.2026 | SHEET 1 04.28.2026 |
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| JOB NUMBER | 2504 | |

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LEGEND:

- | | | |
|--|--|---|
| <ul style="list-style-type: none"> --- PROPERTY BOUNDARY --- ADJACENT PROPERTY BOUNDARY --- ORIGINAL PROPERTY BOUNDARY --- EASEMENT (TYPE AS SHOWN) --- ROADWAY CENTERLINE --- MAJOR CONTOUR LINE (5' INTERVAL) --- MINOR CONTOUR LINE (1' INTERVAL) --- FENCE ASPHALT CONCRETE BRICK PORTLAND CEMENT CONCRETE NATURAL GROUND SURFACE/ LANDSCAPED AREA | <ul style="list-style-type: none"> CONDIT CLEANOUT DOWNSPOUT ELECTRICAL HUB ELECTRIC METER ELECTRICAL OUTLET ELECTRICAL PANEL ELECTRIC MANHOLE FUSEBOX GAS LINE GAS METER GAS VALVE GUY WIRE HOSE BIB FIRE HYDRANT IRRIGATION CONTROL VALVE IRRIGATION BOX LANDSCAPE LIGHT STREETLIGHT PG&E BOX PG&E GAS MANHOLE PIPE STORM DRAIN MANHOLE SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE TELEPHONE BOX UTILITY HUB UTILITY POLE WATER METER WATER SERVICE WATER VALVE | <ul style="list-style-type: none"> FOUND MONUMENT (TYPE NOTED) SURVEY H&V CONTROL POINT SPOT ELEVATION 100.00 RL 100.00 FF 100.00 TH THRESHOLD TREE (TYPE, SIZE AS MARKED) SYMBOL CENTER IS APPROX CENTER OF TREE TWO-PRONGED TREE (2P) THREE-PRONGED TREE (3P) MULTI-PRONGED TREE (MP) |
|--|--|---|

ABBREVIATIONS:

- | | | |
|----------------------------------|---------------------|-----------------|
| AC = ASPHALT CONCRETE | FF = FINISHED FLOOR | TH = THRESHOLD |
| AD = AREA DRAIN | FL = FLOWLINE | TR = TREE |
| BLDG = BUILDING | FNC = FENCE | TYP = TYPICAL |
| BRK = BRICK | FND = FOUND | UTIL = UTILITY |
| BRKR = BREAKER | FTN = FOUNTAIN | VGUT = V-GUTTER |
| BSW = BACK OF SIDEWALK | GEN = GENERATOR | W = WILLOW |
| CB = CATCH BASIN | GR = GRATE | WO = WOOD |
| CE = CEDAR | GRND = GROUND | |
| CHK VLV = CHECK VALVE | GT = GATE | |
| CHLNK = CHAINLINK | H = HOLLY | |
| CL = CENTERLINE | MON = MONUMENT | |
| CMU = CONCRETE MASONRY UNIT | MTL = METAL | |
| CONC = CONCRETE | D = DAK | |
| CIL = CONTROL | PA = PALM | |
| CW = COTTON WOOD | PE = PEPPER | |
| CYP = CYPRESS | P = PINE | |
| DG = DECOMPOSED GRANITE | PLST = PLASTIC | |
| DK = TOP OF DECK | R = REDWOOD | |
| EL = EUCALYPTUS | RL = ROSE LINE | |
| ELEC = ELECTRIC | RW = RETAINING WALL | |
| EP = EDGE OF PAVEMENT | SAT = SATELLITE | |
| ESMT = EASEMENT | SN = STONE | |
| FDC = FIRE DEPARTMENT CONNECTION | STP = STEP | |
| | SYS = SYSTEMS | |

GENERAL NOTES:

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #108, A MAGNETIC NAIL LOCATED APPROXIMATELY 6.1' NORTHERLY AND 38.6' WESTERLY FROM THE NORTHWESTERLY PROPERTY CORNER, ELEVATION = 110.25' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (7/1/22) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
- STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.

CONTACT INFORMATION:

CLIENT:
 DAVID AND ALLYSON HUSTED
 CARMELO ST. 4SE OF 12TH AVENUE
 CARMELO-BY-THE-SEA, CA 93921

ARCHITECT:
 ATTN: ADAM JESELNICK A.I.A.

SITE LOCATION:
 CARMELO ST. 4SE OF 12TH AVENUE
 CARMELO-BY-THE-SEA, CA 93921

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| SCALE: 1" = 5' |
| DATE: JULY 2022 |
| JOB NO. 2520-01 |
| SHEET 1 |
| OF 1 SHEETS |
| 7/13/22 AL RELEASED TO CLIENT |
| No. DATE BY REVISION |

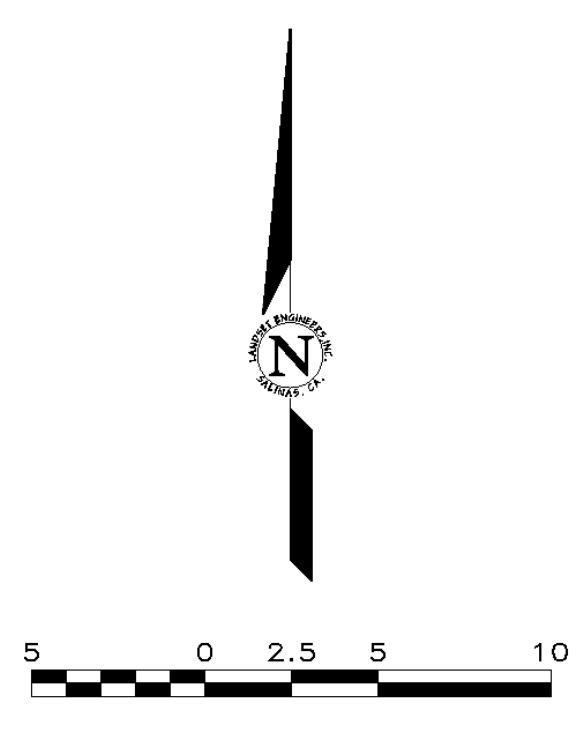
A.P.N.: 010-285-015

TOPOGRAPHIC MAP
 OF
THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2017043652
OFFICIAL RECORDS OF MONTEREY COUNTY
CARMEL-BY-THE-SEA, CALIFORNIA



APPROVED BY:

 GUY R. GIBSON, P.E.
 P.E. No. 87703



TITLE TOPOGRAPHIC SURVEY

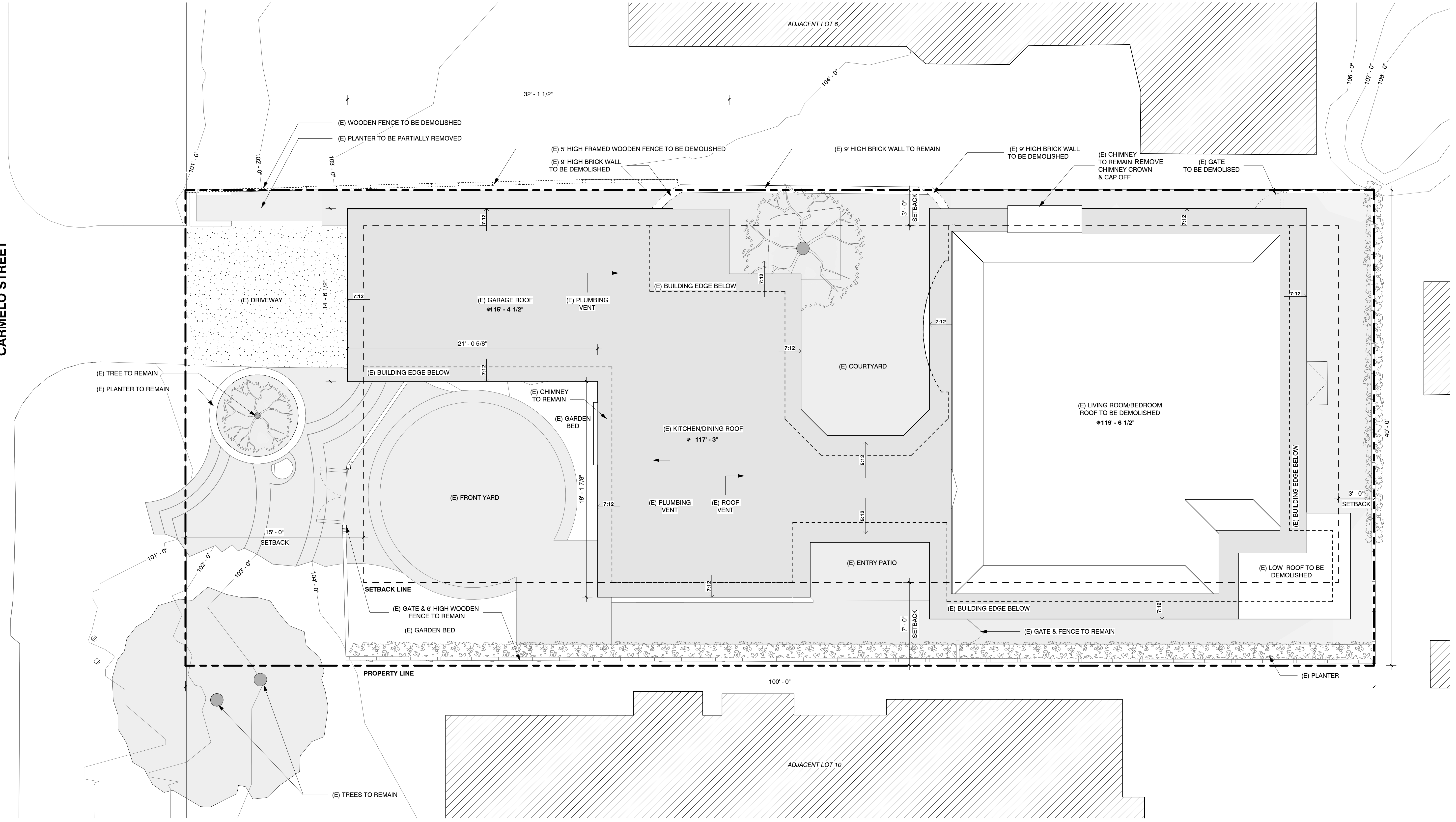
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CARMELO STREET



TITLE
 EXISTING SITE PLAN

HUSTED RESIDENCE

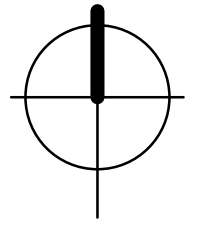
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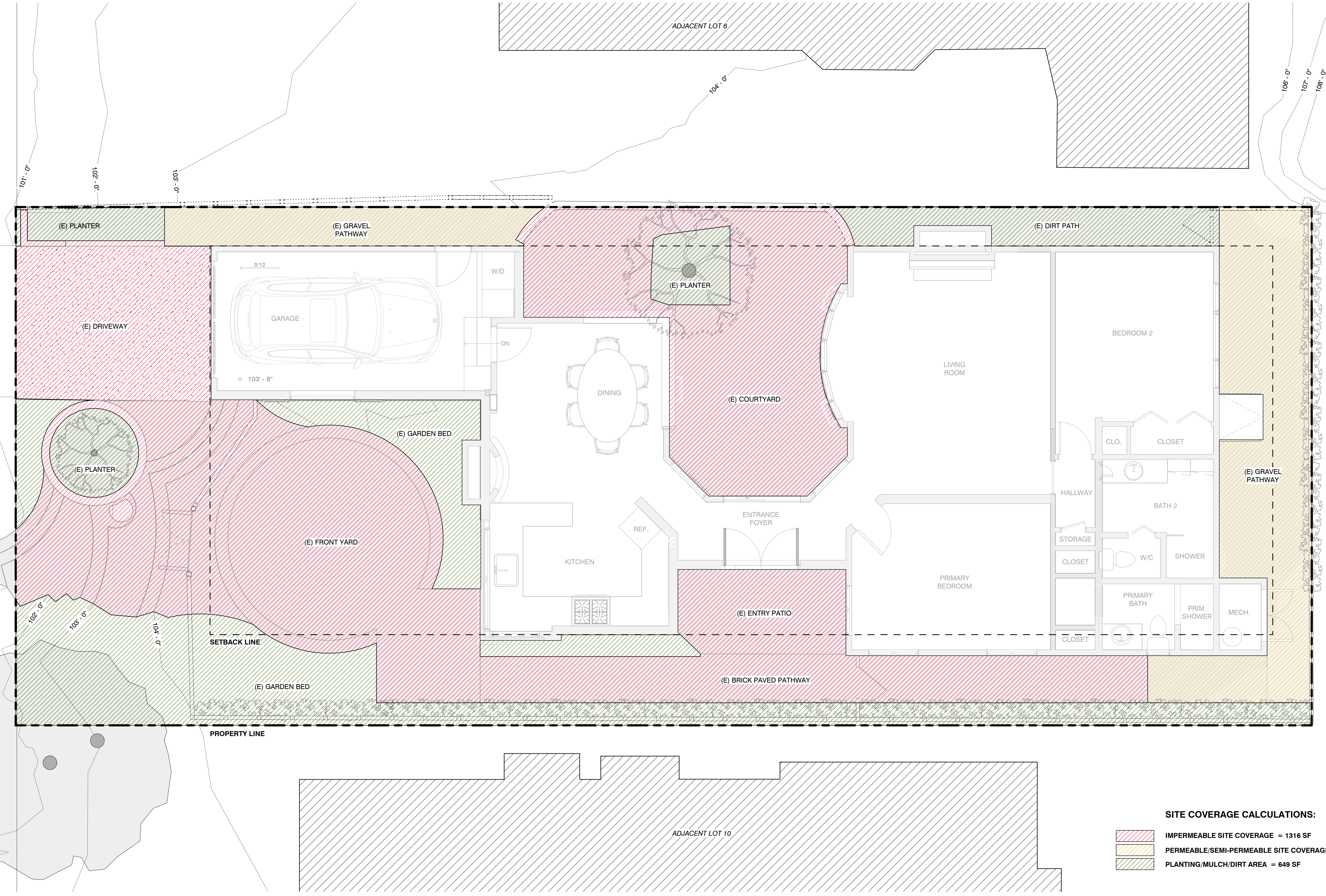
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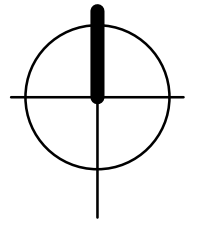
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SITE COVERAGE CALCULATIONS:

| | |
|---|---|
| | IMPERMEABLE SITE COVERAGE = 1316 SF |
| | PERMEABLE/SEMI-PERMEABLE SITE COVERAGE = 343 SF |
| | PLANTING/MULCH/DIRT AREA = 649 SF |



TITLE EXISTING SITE COVERAGE PLAN

HUSTED RESIDENCE

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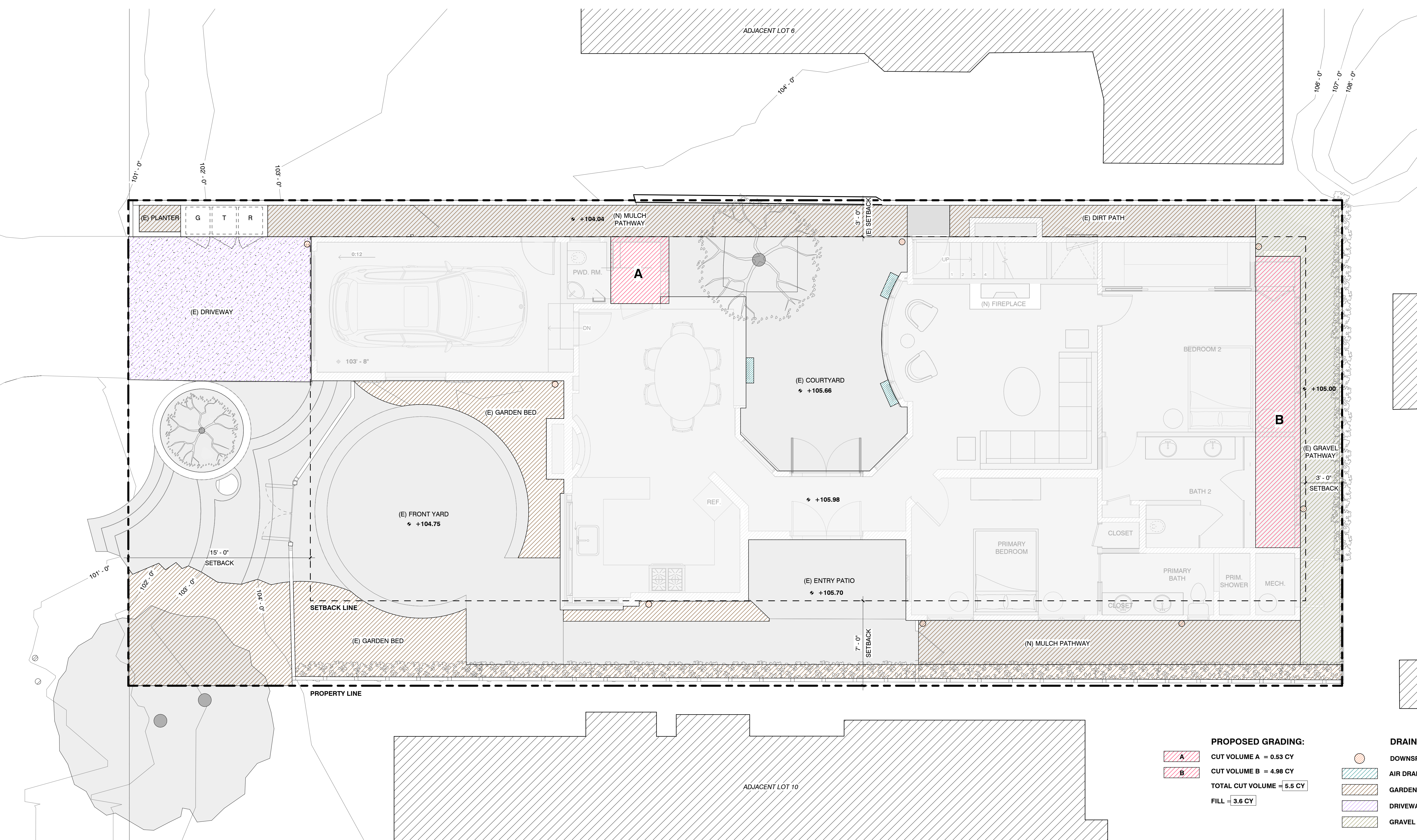
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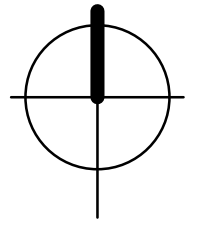
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CARMELO STREET



- PROPOSED GRADING:**
- A** CUT VOLUME A = 0.53 CY
 - B** CUT VOLUME B = 4.98 CY
 - TOTAL CUT VOLUME = 5.5 CY
 - FILL = 3.6 CY
- DRAINAGE:**
- DOWNSPOUT
 - AIR DRAIN
 - GARDEN BED/VEGETATED SURFACE/MULCH
 - DRIVEWAY
 - GRAVEL PATHWAY



TITLE PRELIMINARY GRADING & DRAINAGE PLAN

HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

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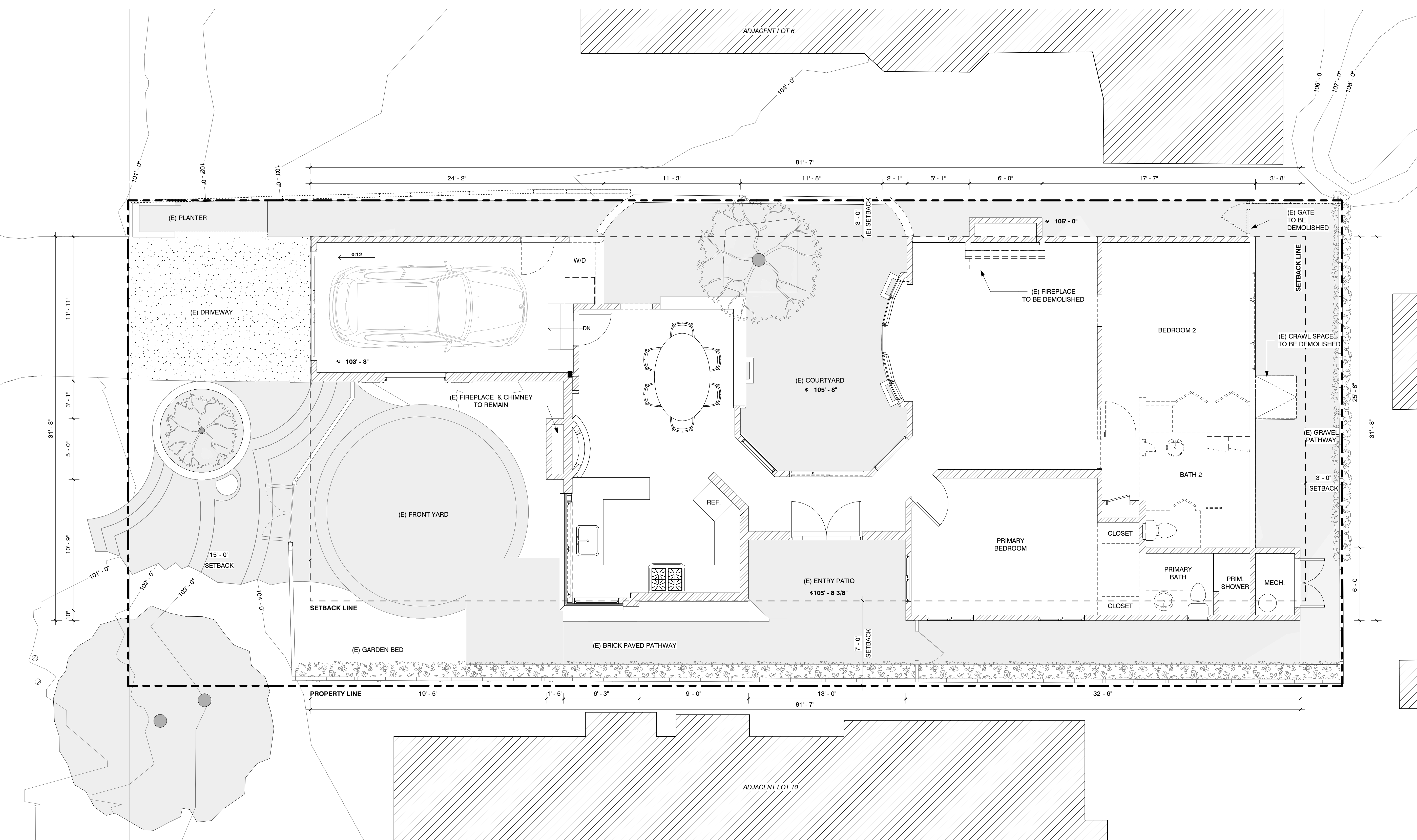
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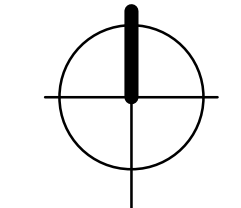
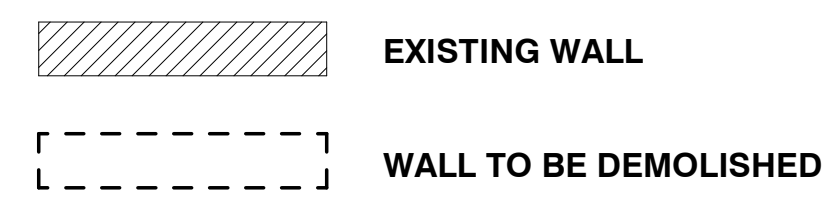
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CARMELO STREET



PLAN NOTES

9% OF EXISTING EXTERIOR STRUCTURAL WALLS ARE PROPOSED FOR DEMOLITION
3% OF INTERIOR WALLS ARE PROPOSED FOR DEMOLITION



TITLE
EXISTING FLOOR PLAN

HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

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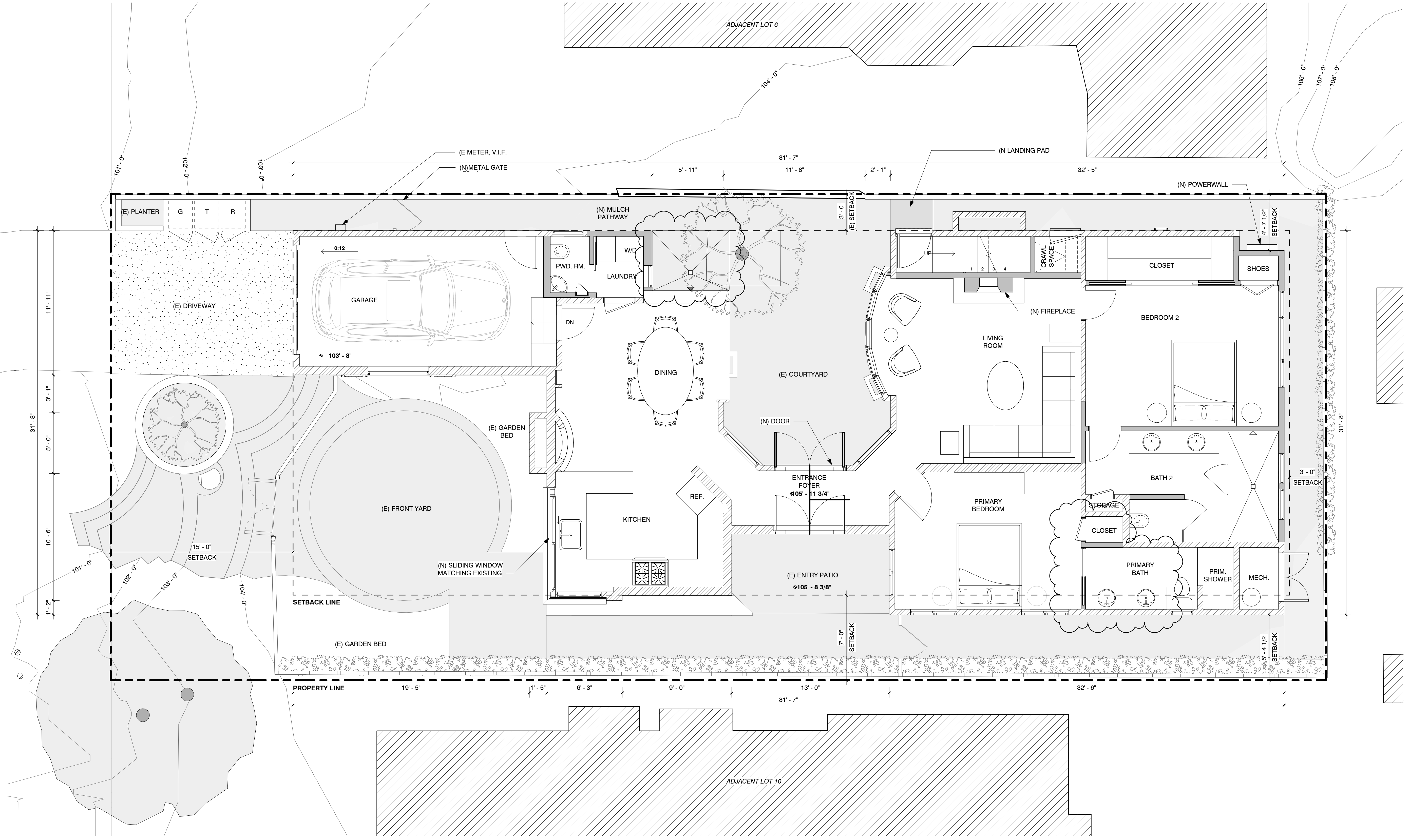
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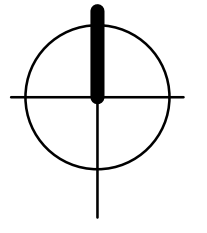
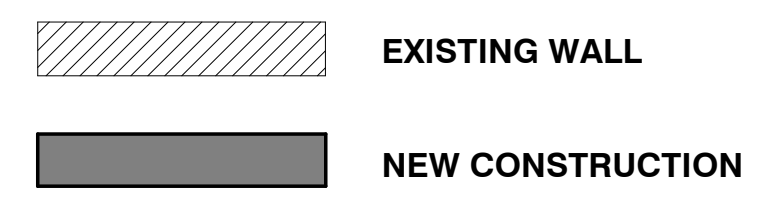
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CARMELO STREET



PLAN NOTES

9% OF EXISTING EXTERIOR STRUCTURAL WALLS ARE PROPOSED FOR DEMOLITION.
 3% OF INTERIOR WALLS ARE PROPOSED FOR DEMOLITION.
 35% OF NEW WALLS ARE PROPOSED TO BE BUILT.
 ADD RADIANT HEAT THROUGHOUT THE HOUSE.



TITLE PROPOSED FLOOR PLAN - MAIN LEVEL

HUSTED RESIDENCE

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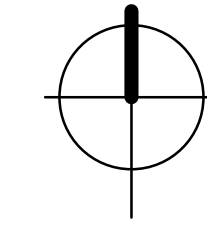
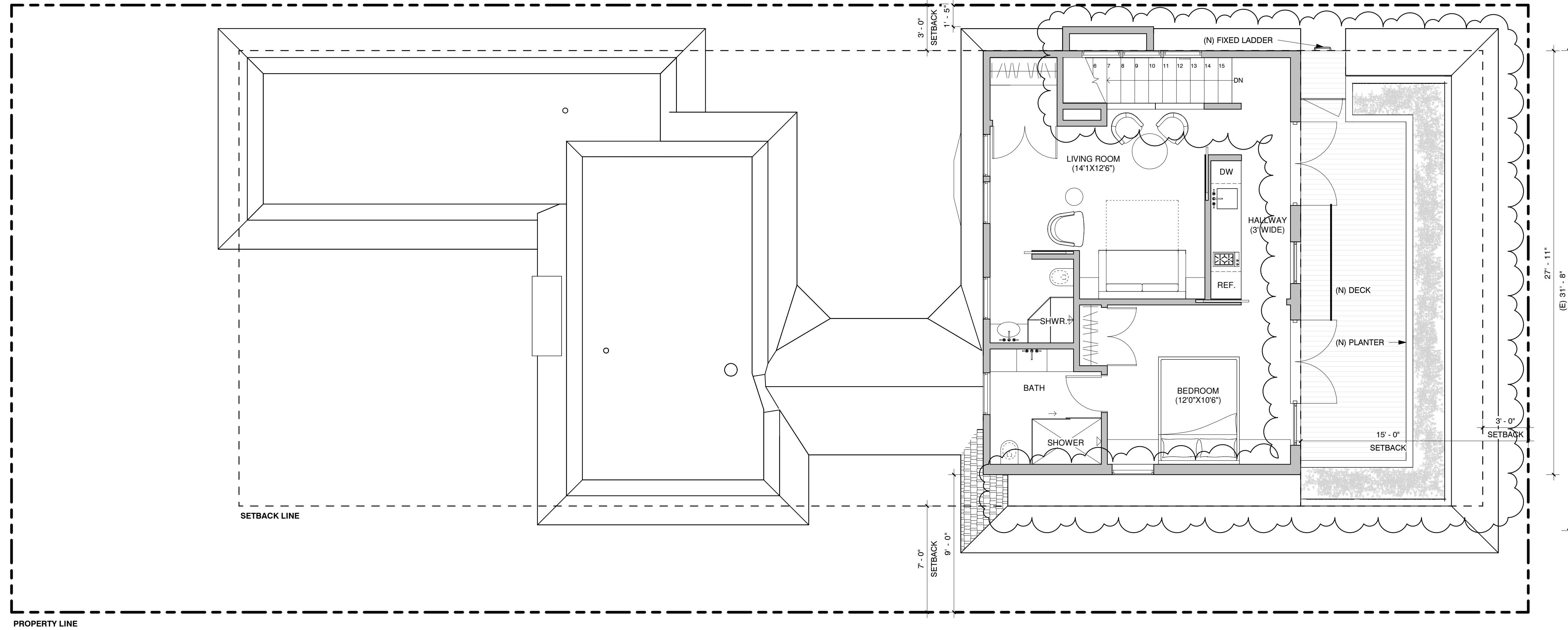
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TITLE PROPOSED FLOOR PLAN - SECOND FLOOR

HUSTED RESIDENCE

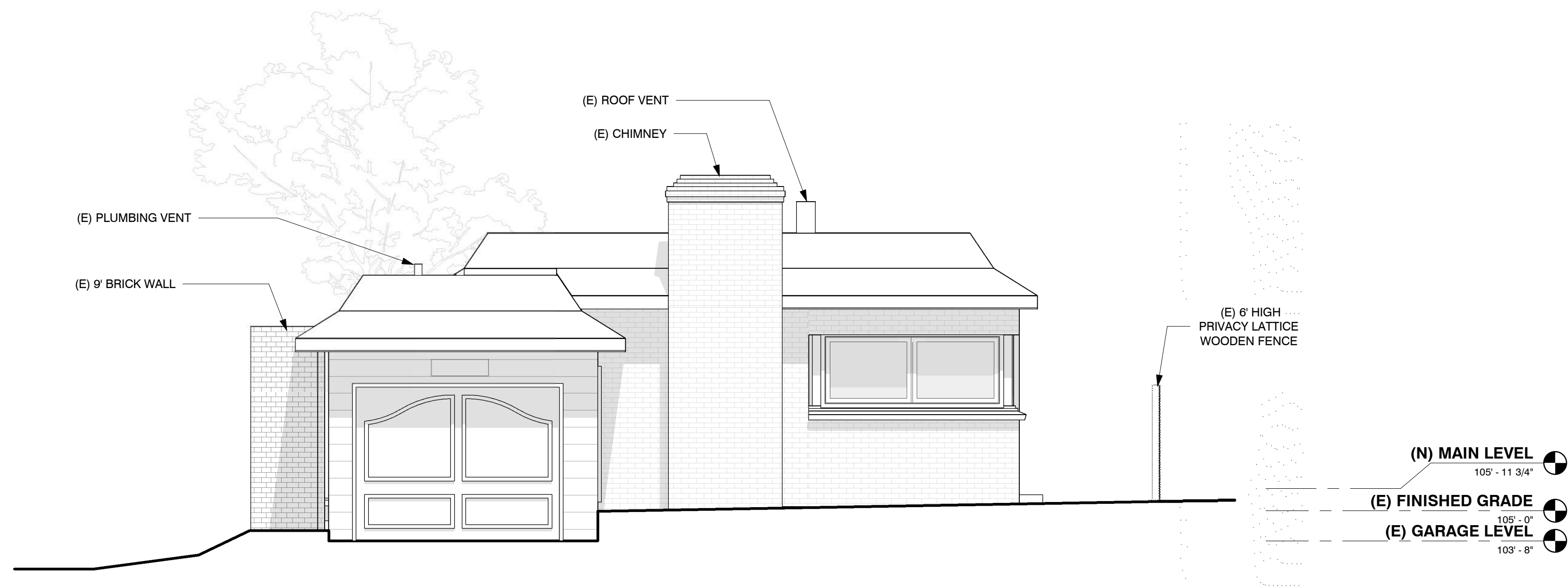
ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

STUDIO SCHICKETANZ P.O. Box 2704, Carmel, CA, 93921 831.622.9000

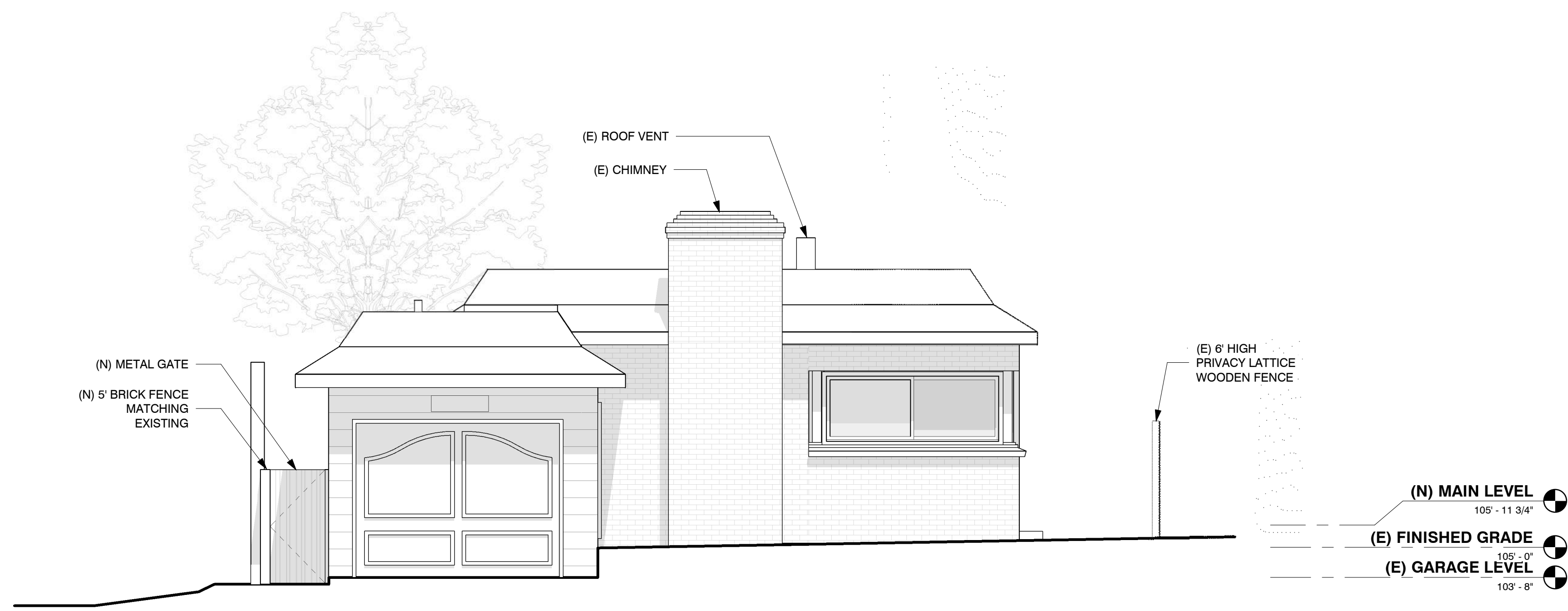
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1 EXISTING - WEST STREET ELEVATION
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2 PROPOSED- WEST STREET ELEVATION
1/4" = 1'-0"

TITLE WEST STREET ELEVATION

HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

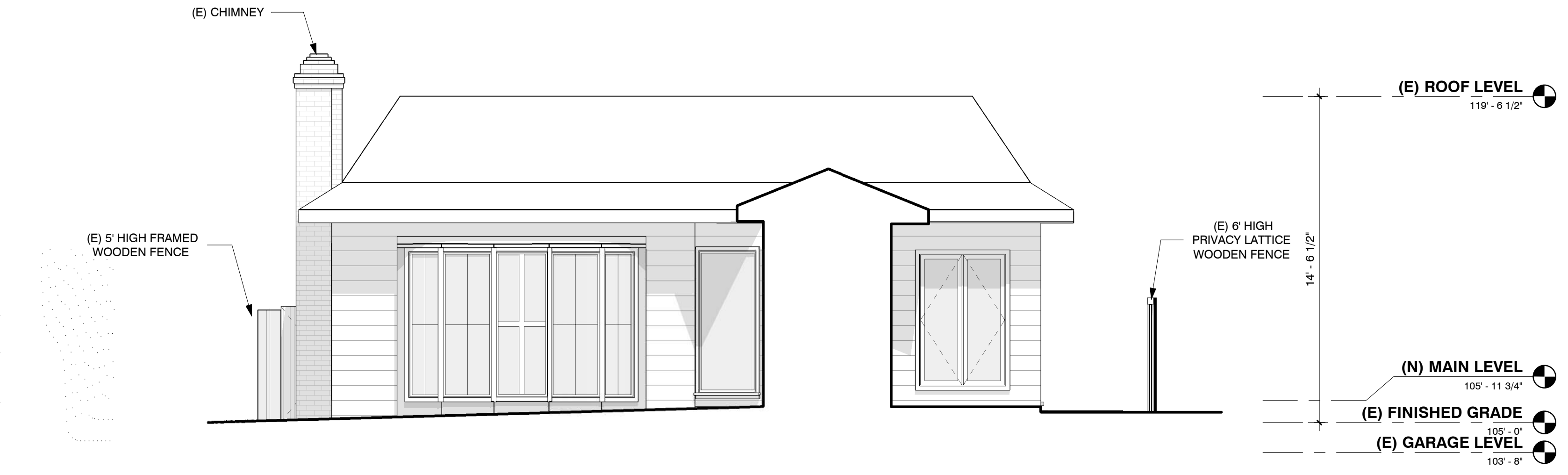
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1 **EXISTING - WEST ELEVATION**
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2 **PROPOSED- WEST ELEVATION**
 1/4" = 1'-0"

TITLE WEST ELEVATION

HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

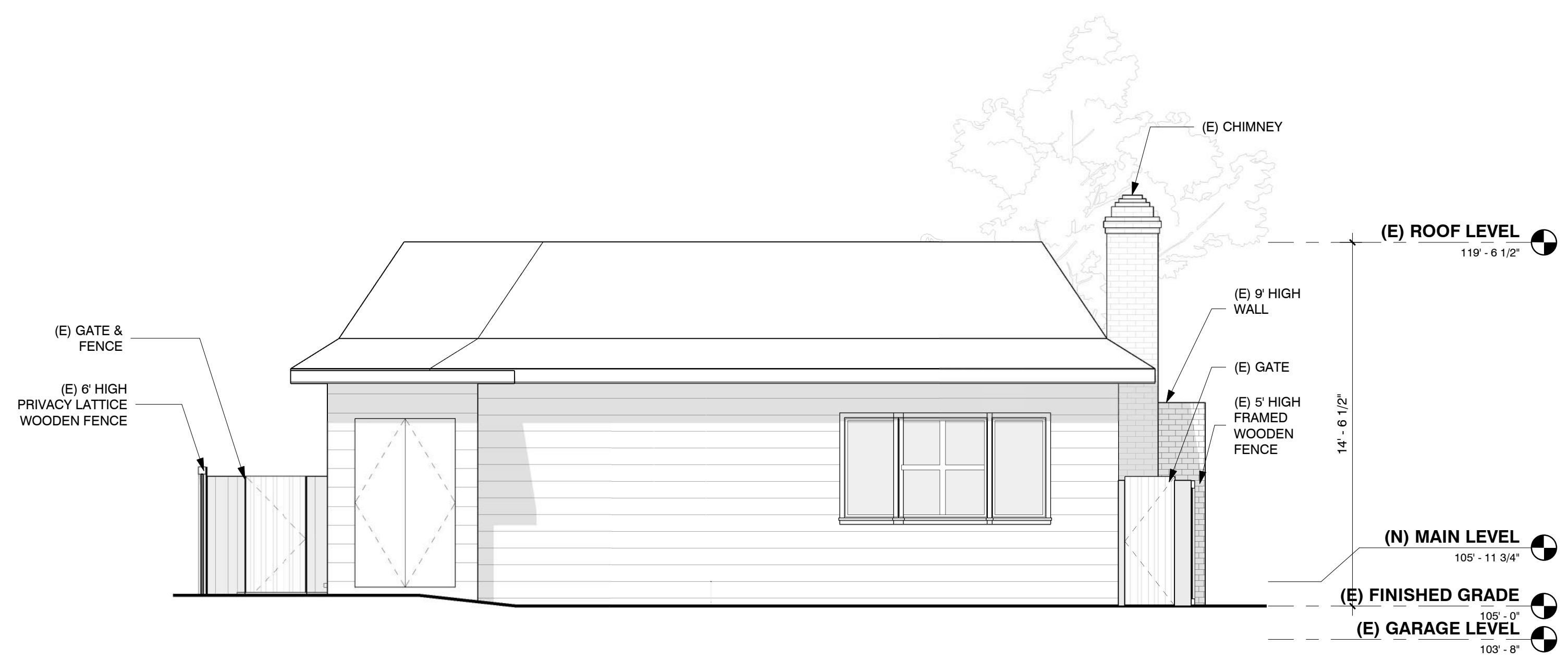
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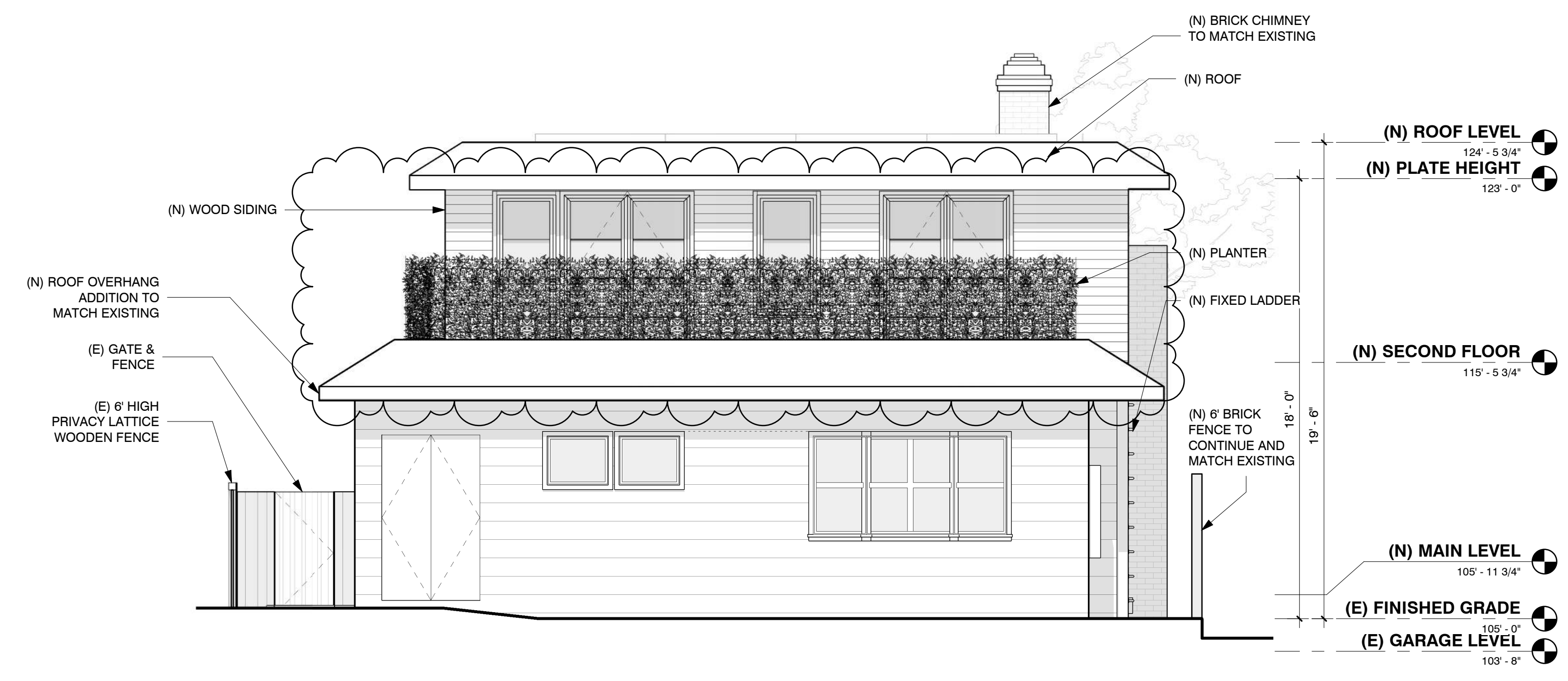
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1 EXISTING - EAST ELEVATION
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2 PROPOSED - EAST ELEVATION
 1/4" = 1'-0"

TITLE EAST ELEVATION

HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

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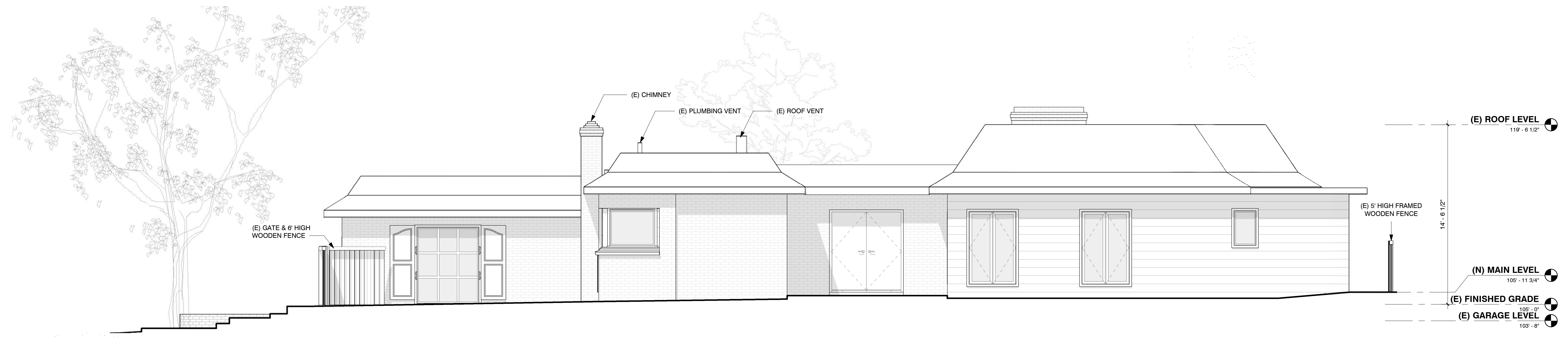
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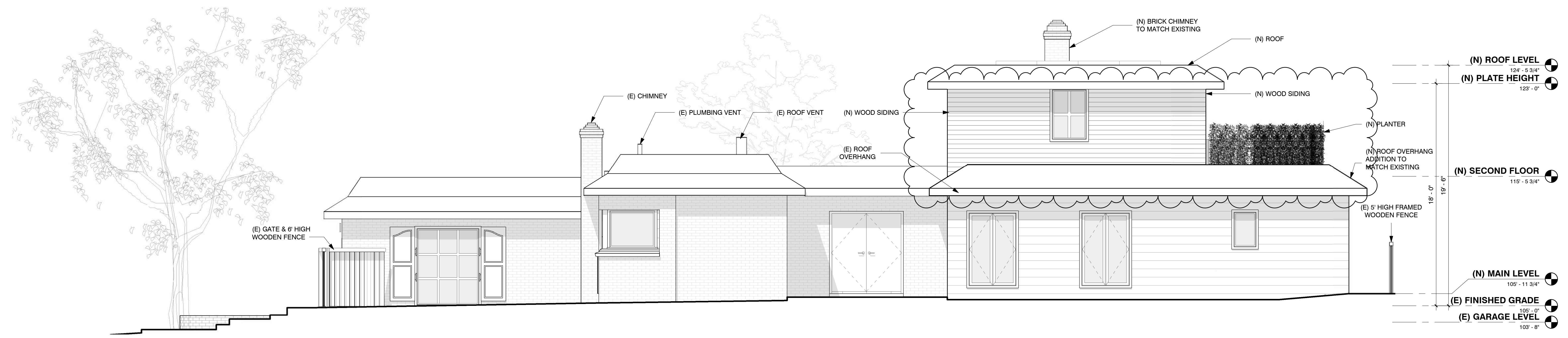
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1 EXISTING - SOUTH ELEVATION
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2 PROPOSED - SOUTH ELEVATION
 1/4" = 1'-0"

TITLE SOUTH ELEVATION

HUSTED RESIDENCE

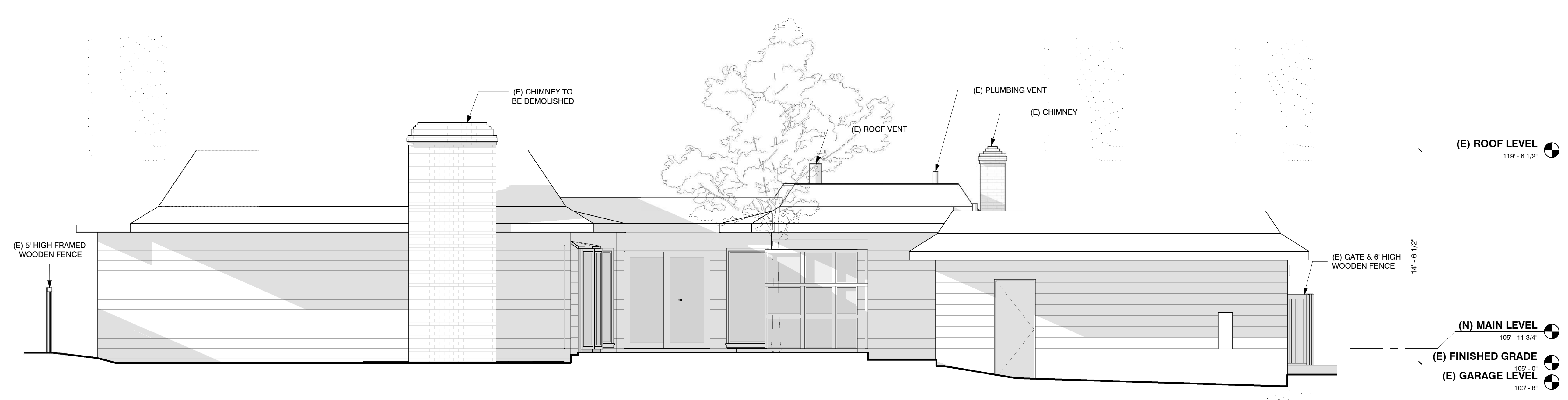
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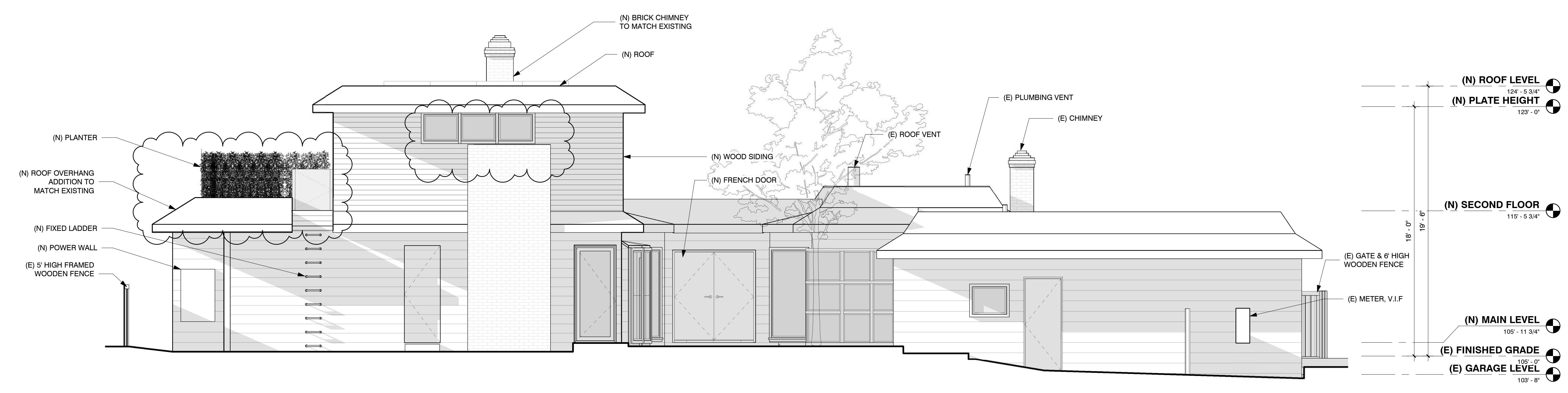
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1 **EXISTING - NORTH ELEVATION**
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2 **PROPOSED - NORTH ELEVATION**
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STREET ELEVATION - NEIGHBOUR'S PROPERTY AT THE NORTH OF THE LOT



EXISTING STREET ELEVATION OF THE PROPERTY



STREET ELEVATION - NEIGHBOUR'S PROPERTY AT THE SOUTH OF THE LOT

TITLE
STREETSCAPE ELEVATIONS

HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

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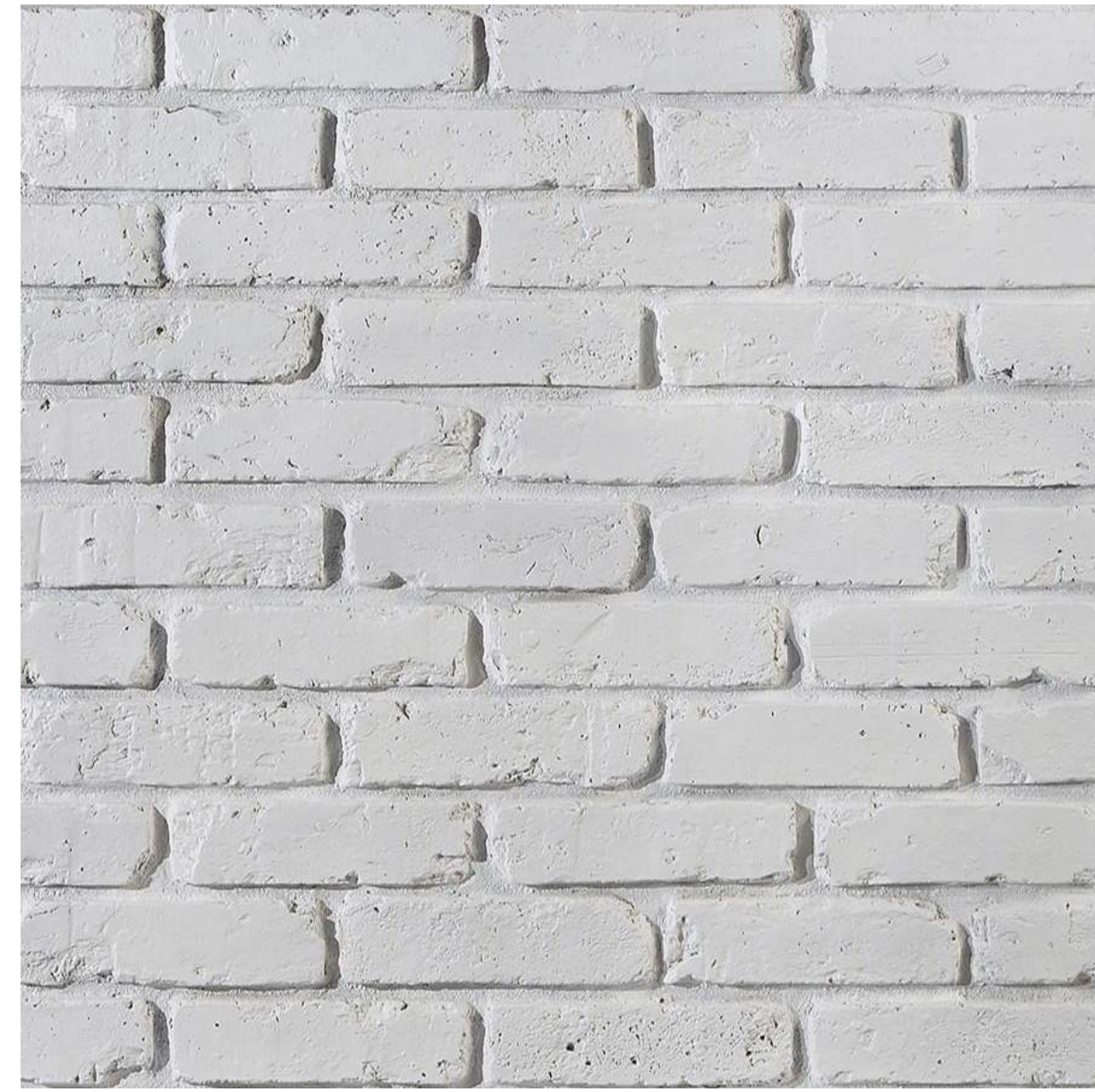
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(N) EXTERIOR BRICK VENEER WALL TO MATCH EXISTING



COLOR: MATCH EXISTING

(N) EXTERIOR NARROW WOOD SIDING



COLOR: MATCH EXISTING

(E) EXTERIOR WOOD SIDING WALL



COLOR: MATCH EXISTING

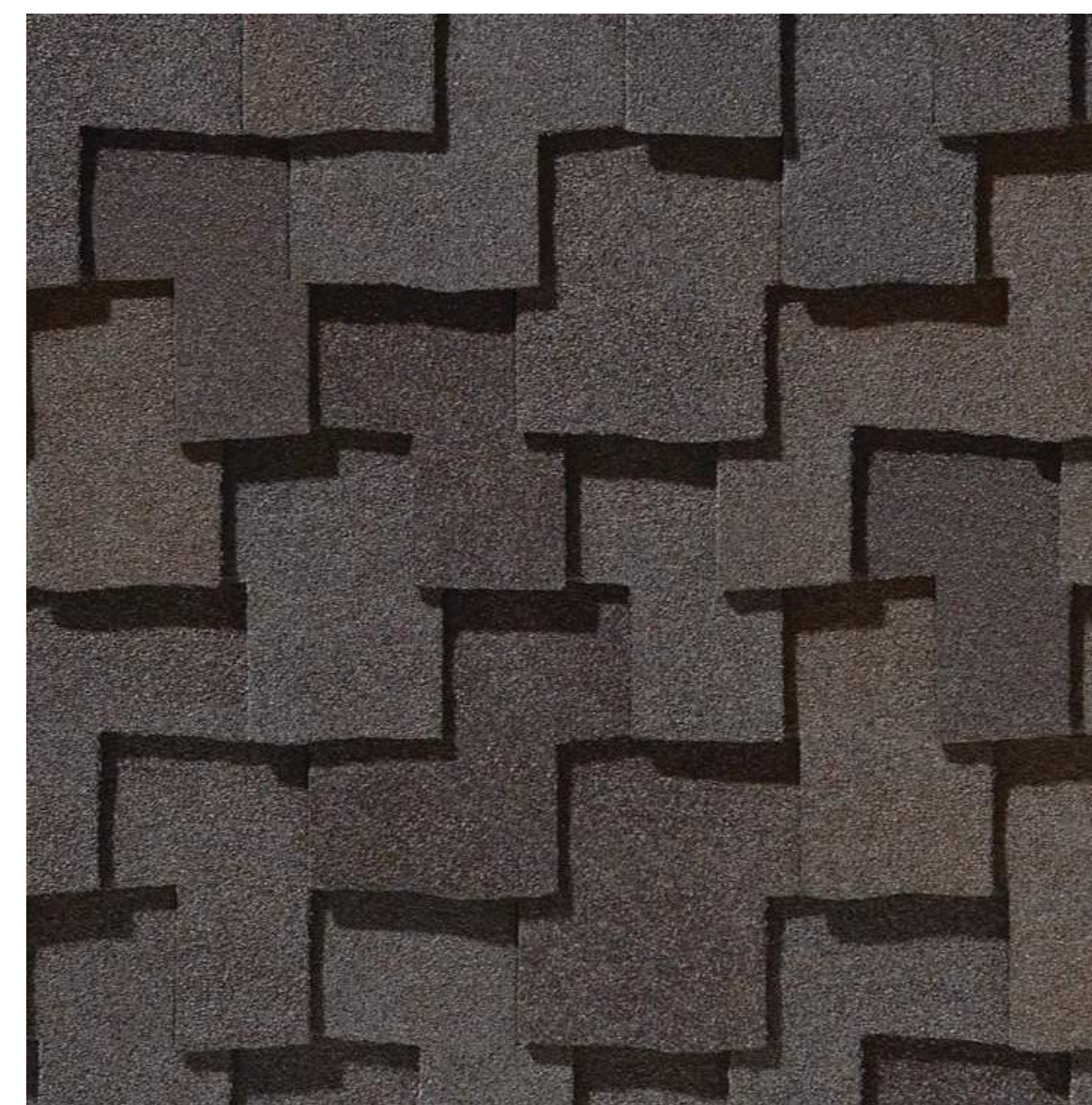
(N) EXTERIOR WINDOWS TO MATCH (E) WOODEN WINDOWS



(N) EXTERIOR DOORS TO MATCH (E) WOODEN DOORS



(N) EXTERIOR ROOFING MATERIAL TO MATCH EXISTING SHINGLES



(N) WOOD FRENCH DOOR, COURTYARD



COLOR: MATCH EXISTING

TITLE FINISH MATERIALS

HUSTED RESIDENCE

ALLYSON & DAVID HUSTED CARMELO ST. 4SE OF 12TH AVENUE, CARMEL-BY-THE-SEA, CA 93921 APN 010-285-015

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View from Carmelo Street in front of neighbors to the north. View looking southeast.



View of west elevation from Carmelo Street, view looking east.



View from Carmelo Street in front of neighbor to the south. View looking northeast.



View from intersection of Camino Real and 12th, view looking southwest.

May 14, 2026

TO: Erin Lewis, Assistant Planner

FROM: Meg Clovis, Historian

RE: Proposed Additions to Helen Leslie House

At your request, I am providing further comment on the proposed changes to the Helen Leslie House, which is listed in Carmel's Inventory of Historic Resources. The February 2026 plans showed a 115 sq. ft. addition, but I have since been informed that the total addition will be 124.87 sq. ft., consisting of 30 sq. ft. at the northeast corner of the garage and 94.87 sq. ft. at the rear (west elevation), extending nearly the full length of that elevation.

Preservation Brief 14 summarizes guidelines that apply to new exterior additions to historic buildings as follows:

- a) *A new addition should be simple and unobtrusive in design and should be distinguished from the historic building.*

The proposed additions are simple and unobtrusive in design. Wood siding is often differentiated by using either wider or narrower boards on the addition. As noted in the Phase II report, changing siding widths on the 30 sq. ft. addition may create an awkward transition between old and new. A subtler distinction could be achieved by using boards of the same width with a different shadow line. The plans also indicate that the garage roof will be extended to accommodate the addition and that the Mansard roof dimensions will be replicated.

Because the rear addition is larger, a different board width could be used to distinguish it from the historic structure. Plan Sheet 13 appears to show a shed roof over the addition, although this should be confirmed. The proposed windows are also compatible with those used elsewhere on the house.

- b) *A new addition should not be highly visible from the public right-of-way; a rear or other secondary elevation is usually the best location for a new addition.*

The 30 sq. ft. addition is located on a secondary elevation and the 94.87 sq. ft. addition is located on the rear elevation. Neither will be visible from the public-right-of-way.

- c) *The construction materials and the color of the new addition should be harmonious with the historic building materials.*

The construction materials (wood) and color of the new additions will be harmonious with the historic building materials.

d) *The new addition should be smaller than the historic building – it should be subordinate in both size and design to the historic building.*

Both new additions are subordinate in size and design to the historic building.



CITY OF CARMEL-BY-THE-SEA
Historic Resources Board
Staff Report

May 18, 2026
PUBLIC HEARINGS

TO: Historic Resources Board Members
SUBMITTED BY: Katherine Wallace, Associate Planner
BY:
SUBJECT: **DR 26031 (Pine Inn):** Consideration of a Determination of Consistency with the Secretary of the Interior's Standards for Design Review 26031 (Pine Inn) for fire sprinkler equipment at the historic "Pine Inn" located on Ocean Avenue between Monte Verde Street and Lincoln Street in the Central Commercial (CC) Zoning District and Downtown Conservation District Overlay. APN: 010-213-003-000.

RECOMMENDATION:

Adopt a Resolution (Attachment 1) finding the proposed project consistent with the established design context of the Downtown Conservation District, and consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Standards"), and issuing a Determination of Consistency with the Standards for the proposed fire sprinkler equipment at the historic "Pine Inn" located on Ocean Avenue between Monte Verde Street and Lincoln Street in the Central Commercial (CC) Zoning District and Downtown Conservation District Overlay. APN: 010-213-003-000.

BACKGROUND / SUMMARY:

BACKGROUND/SUMMARY

The 23,270 square-foot subject property contains the "Pine Inn," constructed as the Hotel Carmelo in the Craftsman style in 1889 and moved to its present location in 1903. In 1928, a major Spanish Eclectic-style addition designed by Blaine and Olson and constructed by M.J. Murphy surrounded the earlier Craftsman-style building core. Significant regional architect Jon Konigshofer designed a rooftop garden terrace and shops and courtyard spaces in the 1940s. The hotel and shopping complex are contained in the block bounded by Ocean Avenue, Lincoln Street, 6th Avenue and Monte Verde Street. The property was designated as a historic resource on May 25, 2005, by Carmel's Department of Community Planning and Building. Per the intensive survey completed by Richard Janick in 2003, the "Pine Inn" qualifies for listing under California Register Criterion One (Events) as the premier hostelry in the history of the Downtown District of Carmel-by-the-Sea. The 2003 DPR form states, "The Pine Inn

embraces the historical development of downtown Carmel from the 1880s to the present. The mix of architectural styles from Craftsman to Spanish to modern technology mirrors Carmel's overall architectural development. The architects and builders, including Delos Goldsmith, Thomas Morgan, Blaine and Olsen, and M.J. Murphy, also attest to the Pine Inn's historical significance." The Pine Inn has undergone multiple changes since its construction in the 1880s, however, the property retains sufficient integrity to convey its significance under Criterion One (Events). The primary building campaigns and relevant alterations are listed below.

- 1889: Hotel Carmelo constructed at NE corner of Ocean Ave. and Junipero St.
- 1903: Building relocated to NE corner of Ocean Ave. and Monte Verde St. by the Carmel Development Company. Single-story, hipped roof addition constructed and tents added surrounding the building for additional guests.
- 1928: Substantial remodeling campaign in a Spanish Eclectic style surrounding the core of the original hotel, designed by Blaine and Olson and constructed by M.J. Murphy.
- 1940s: Modernist-style storefronts and connecting paved paths surrounding the hotel designed by Jon Konigshofer. Rooftop garden added at the corner of Ocean Ave. and Monte Verde St.
- 1955: Halls and hotel lobby remodeled.
- 1972: Glass gazebo added to the central courtyard.
- 1980s – Present: Numerous interior remodeling and upgrades to individual shops throughout the complex, as new tenants moved into the units.
- 2002: Pine Inn-Monte Verde Street Entry: improvements to the Monte Verde St. entrance including the remodeling the entrance steps and rails and the rooftop terrace by Jon Thodos, architect. The wood lattice surrounding the fire infrastructure at the utility entrance was installed at this time.

On January 27, 2026, the applicant submitted a Design Review application DR 26031 (Pine Inn) proposing an upgrade of existing fire sprinkler infrastructure at two locations: on Monte Verde Street beneath the rooftop terrace, and at the Lincoln Street courtyard entrance (specifically, the south wall of Retail Unit #7).

Additions and alterations to historic properties require a Determination of Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties ("Secretary's Standards"). The project has been reviewed by qualified professional Seth Bergstein and found consistent with the Secretary's Standards as proposed.

Additionally, due to the project's location (Block 73) within the Downtown Conservation District, the project is required to be evaluated by the Historic Resources Board pursuant to Carmel Municipal Code Section 17.20.280.A, which states:

The following procedures shall apply to all applications for demolitions, rebuilds, exterior alterations and additions to building sites located in the downtown conservation district.

A. Historic Resources. Projects affecting any historic resource shall require approval by the Historic Resources Board consistent with Chapter 17.32 CMC. In its review, the Board shall apply the Secretary of Interior's Standards and shall adopt the following findings:

1. The historic character of the property will be retained and preserved. Distinctive materials, features, spaces, and spatial relationships that characterize the property will be preserved.

2. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the property will be preserved.

3. The new work shall be subtly differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion and massing to protect the integrity of the property and its environment.

4. The proposed development is consistent with the established design context of the conservation district and will not adversely affect any historic resources on the project site or on adjacent sites.

Following action by the Historic Resources Board, the project shall then be scheduled for final review by the Planning Commission consistent with Chapter 17.58 CMC.

PROJECT DESCRIPTION

Monte Verde Street Proposed Work: The proposed location of the fire sprinkler upgrade on Monte Verde Street is adjacent to and south of the Monte Verde Street entrance steps in the present location of the fire suppression infrastructure. The work at this location includes the removal of both existing lattice screens, the replacement of the existing fire sprinkler infrastructure, and in-kind replacement of the wood lattice screens. Any stone disturbed for installation of the upgrades would be repaired in-kind with Carmel stone, as necessary. Following the removal of the plastic box screen and the installation of the fire suppression infrastructure upgrade north of the utility room entrance, a new lattice box screen would be constructed in wood to match the lattice screen to the south of the utility entrance. It should be noted that the Carmel stone walls and lattice screens are recent additions to this location, likely added in the early 2000s, and are not historic additions to the Pine Inn complex.

Lincoln Street Proposed Work: The location of the proposed Lincoln Street fire sprinkler riser upgrade is on the south building wall of Retail Unit #7 (presently occupied by Windy Oaks Winery). The proposed utility cabinet would be installed by cutting a section of the brick planter to create a platform for the riser box. The brass riser connection would be at the southwest building corner. At this location, 6 brick courses of the existing brick planter would be removed for level placement of the box. The stucco on the brick base course that exists on the south building wall would be removed, allowing the brick detail to be exposed.

STAFF ANALYSIS

Secretary of the Interior's Standards. Per Carmel by-the-Sea Municipal Code (CMC) Section 17.32.120, Alteration of Historic Resources, the proposed project shall first obtain a determination of consistency with the *Secretary of the Interior's Standards for*

the Treatment of Historic Properties (Standards). The Standards identify four primary treatment approaches to historic resources: preservation, rehabilitation, restoration, and reconstruction. Rehabilitation is the recommended standard of treatment for this project. **Rehabilitation** is defined as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.” (36 CFR 67.2(b)).

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment, *Preservation*; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.

The Standards include ten criteria for evaluating modifications to historic resources (Attachment 3). A Phase II Evaluation of the proposed project (Attachment 4) was prepared by a City-contracted qualified professional, Seth Bergstein, in May 2026. Upon review of the project plans (Attachment 5) and having completed a site visit, Mr. Bergstein found that the proposed project meets applicable Standards 5, 6 and 9. All other standards are not applicable. The evaluation concludes that the project, as proposed, meets the applicable *Secretary of the Interior’s Standards for Rehabilitation* and will not have a significant impact on the historic resource. Staff concurs with Mr. Bergstein’s evaluation. Below is an analysis of the Standards (broken down by work location):

Standard Five: *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Monte Verde Street: While the wood and plastic lattice screens are recent additions to the site, they represent recent distinctive finishes that would be replaced (in wood) after the fire suppression infrastructure is upgraded. In addition, any repairs to the Carmel stone crib wall will be made with in-kind replacement with Carmel stone that matches the existing.

Lincoln Street: The brick base course on the south building wall of Unit #7 has been overlaid with stucco. The proposed installation of the riser box within the planter would remove approximately 5 feet of the stucco coating at the east end of the south building wall and rehabilitate the brick base course of the wall, in support of this Standard.

Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.*

Replacement of missing features will be substantiated by documentary and physical evidence.

Monte Verde Street: Impacts to the Carmel stone crib wall would be repaired in-kind with Carmel stone, as needed in support of this Standard. The plastic lattice box to the north of the utility entrance would be replaced with a wood lattice box, which is a more appropriate material for the building. To the south of the entrance, an in-kind lattice wood lattice screen would replace the existing screen to be removed. These details are in accordance with this Standard.

Lincoln Street: The brick planter would be repaired in kind after the installation of the wood cabinet housing the fire suppression infrastructure, in support of this Standard.

Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Monte Verde Street: The proposed fire suppression infrastructure upgrades are in the same locations as the existing infrastructure, would be hidden beneath lattice screens and would be compatible with the existing materials at this location. As the proposed improvements are necessary infrastructure upgrades in their present locations and are not architectural additions to the site, differentiation is not a consideration at this location.

Lincoln Street: The proposed riser box is a necessary addition to the south wall of Unit #7 and would protect the historic integrity of the Pine Inn complex and its environment. The box is small and would be detailed in a manner that is compatible with the building design and detailing of the south elevation, while not being overly obtrusive on the south building wall of Retail Unit #7.

Environmental Review: Staff recommends, pursuant to CEQA regulations, that the Application be found “not a project” pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency with the Standards does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment. A CEQA analysis and determination will be conducted as part of the Design Study review.

FISCAL IMPACT:

N/A

ATTACHMENTS:

1. Attachment 1 - DR 26031 (Pine Inn) Resolution
2. Attachment 2 - DPR Form (Pine Inn)
3. Attachment 3 - Secretary's Standards - Rehabilitation
4. Attachment 4 - DR 26031 Pine Inn Historic Assessment 05.06.26

5. Attachment 5 - DR 26031 (Pine Inn) Plans

CITY OF CARMEL-BY-THE-SEA
HISTORIC RESOURCES BOARD

HISTORIC RESOURCES BOARD RESOLUTION NO. 2026-00X-HRB

A RESOLUTION OF THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA FOR DESIGN REVIEW APPLICATION 26031 (PINE INN) FINDING THE PROPOSED PROJECT CONSISTENT WITH THE ESTABLISHED DESIGN CONTEXT OF THE DOWNTOWN CONSERVATION DISTRICT, AND CONSISTENT WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES ("STANDARDS"), AND ISSUING A DETERMINATION OF CONSISTENCY WITH THE STANDARDS FOR THE PROPOSED FIRE SPRINKLER EQUIPMENT AT THE HISTORIC "PINE INN" LOCATED ON OCEAN AVENUE BETWEEN MONTE VERDE STREET AND LINCOLN STREET IN THE CENTRAL COMMERCIAL (CC) ZONING DISTRICT AND DOWNTOWN CONSERVATION DISTRICT OVERLAY. APN: 010-213-003-000.

WHEREAS, on January 27, 2026, Erik Dyar ("Applicant") submitted an application on behalf of Richard Gunnar ("Owner") for fire sprinkler equipment and screening under Design Review DR 26031 (Pine Inn) described herein as ("Application"); and

WHEREAS, the Application has been submitted for the property located at Ocean Avenue between Monte Verde Street and Lincoln Street in the Central Commercial (CC) Zoning District and Downtown Conservation District (Block 73, Lots 1-10); and

WHEREAS, the project site contains a historic resource listed as the "Pine Inn" on the Carmel Inventory of Historic Resources; and

Whereas, projects on both historic and non-historic properties in the Downtown Conservation District require review by the Historic Resources Board; and

WHEREAS, pursuant to CMC 17.20.280.A, Historic Resources, Projects affecting any historic resource shall require approval by the Historic Resources Board consistent with Carmel-by-the-Sea Municipal Code (CMC) Chapter 17.32. In its review, the Board shall apply the Secretary of Interior's Standards and shall adopt the following findings: 1. The historic character of the property will be retained and preserved. Distinctive materials, features, spaces, and spatial relationships that characterize the property will be preserved; 2. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the property will be preserved; 3. The new work shall be subtly differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion and massing to protect the integrity of the property and its environment; and 4. The proposed development is consistent with the established design context of the conservation district and will not adversely affect any historic resources on the project site or on adjacent sites; and

WHEREAS, in accordance with CMC Section 17.32.140 (Determination of Consistency with the Secretary's Standards), all major and minor alterations to historic resources shall require a determination of consistency with the Secretary's Standards; and

WHEREAS, in accordance with CMC Section 17.32.160.B, a determination of consistency for major alterations shall be prepared by a qualified professional; and

WHEREAS, Seth Bergstein, a qualified professional, prepared a Phase Two Historic Assessment on May 6, 2026 and found the project consistent with all applicable Secretary's Standards for Rehabilitation; and

WHEREAS, the proposed project would not compromise the integrity of the historic resource; and

WHEREAS, on May 8, 2026, a notice of public hearing was published in the Carmel Pine Cone for the May 18, 2026, Historic Resources Board meeting in compliance with State law (California Government Code 65091) and mailed to owners of real property within a 300-foot radius of the project indicating the date and time of the public hearing; and

WHEREAS, on or before May 8, 2026, the Applicant posted the public notice on the project site and hand-delivered a copy of the public notice to each property within a 100-foot radius of the project site indicating the date and time of the public hearing; and

WHEREAS, on or before May 15, 2026, the meeting agenda was posted in three locations in compliance with State law indicating the date and time of the public hearing; and

WHEREAS, on May 18, 2026, the Historic Resources Board held a duly noticed public hearing to receive public testimony regarding the Application, including, without limitation, the information provided to the Board by City staff and through public testimony on the project; and

WHEREAS, this Resolution and its findings are made based upon the evidence presented to the Board at the hearing, including, without limitation, the staff report and attachments submitted by the Community Planning and Building Department; and

WHEREAS, the Historic Resources Board did hear and consider all said reports, attachments, recommendations, and testimony herein above set forth and used their independent judgment to evaluate the project; and

WHEREAS, the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA"), together with State Guidelines (14 California Code Regulations §§ 15000, *et seq.*, the "CEQA Guidelines") and City Environmental Regulations (CMC 17.60) require that certain projects be reviewed for environmental impacts and that environmental documents be prepared; and

WHEREAS, pursuant to CEQA regulations, the Application is “not be a project” pursuant to section 15378 of the CEQA Guidelines. The issuance of a determination of consistency or inconsistency does not grant any permits or entitlements approving a project that would result in a direct or indirect physical change in the environment; and

WHEREAS, the facts set forth in the recitals are true and correct and are incorporated herein by reference.

NOW, THEREFORE, BE IT RESOLVED that the Historic Resources Board of the City of Carmel-By-The-Sea does hereby **FIND** the proposed project consistent with the established design context of the Downtown Conservation District, and consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (“Standards”), and does **ISSUE** a Determination of Consistency with the Standards for the proposed fire sprinkler equipment at the historic “Pine Inn” located on Ocean Avenue between Monte Verde Street and Lincoln Street in the Central Commercial (CC) Zoning District and Downtown Conservation District Overlay. APN: 010-213-003-000.

PASSED, APPROVED, AND ADOPTED BY THE HISTORIC RESOURCES BOARD OF THE CITY OF CARMEL-BY-THE-SEA this 18th day of May, 2026, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

APPROVED:

ATTEST:

Jordan Chroman
Chair

Shelby Gorman
Historic Resources Board Secretary

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 5D1

Other Listings
 Review Code _____ Reviewer _____ Date _____

Page 1 of 5 Resource Name or #: (Assigned by recorder) Pine Inn

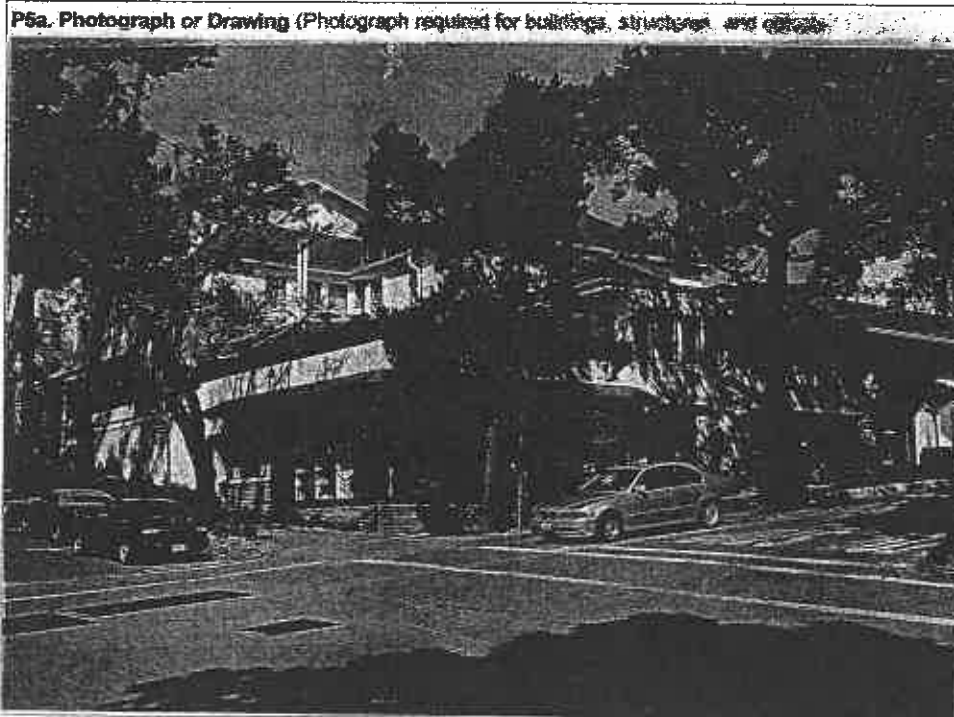
P1. Other Identifier:

P2. Location: Not for Publication Unrestricted a. County Monterey
 and (P2b and P2c or P2d. Attach a Location Map as necessary.)
 b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; E _____
 c. Address: _____ City Carmel-by-the-Sea Zip 93921
 d. UTM: (Give more than one for large and/linear resources) _____ ; _____ mE/ _____ mN
 e. Other Locational Data (Enter Parcel #, legal description, directions to resource, elevation, etc., as appropriate)
6th to Ocean, Lincoln to Monte Verde
(Block 73 - Entire) Parcel No. 10-213-3

P3. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
A rambling series of one, two and three story stuccoed and hipped roof buildings that have been added onto and altered from 1903 to the present. A section of ribboned windows on the second floor of the south elevation facing Ocean Avenue, adjacent to the main entrance passageway, date from the 1903 addition by architect Thomas Morgan to the Hotel Carmelo that was originally built by Delos Goldsmith and moved from the N.E. corner of Ocean and Junipero (then called Broadway). The three-story hipped roof section at the center of the complex is part of the Hotel Carmelo. The original Pine Inn was wood and in the "Craftsman Style." In 1928, a major renovation and addition was designed by Blaine and Olson and constructed by M. J. Murphy in a Spanish style. In 1940, many one story commercial shops were added along the perimeter of the hotel property and now encompass the entire block bounded by 6th, Ocean, Lincoln, and Monte Verde. A glass and steel gazebo was added to the open central courtyard in 1972 creating an additional dining room. For the most part, the Spanish style stucco wall surfaces have been maintained throughout the complex while the hodgepodge of interesting-hipped roofs have evolved from wood to composition shingles.

P3b. Resource Attributes: (List attributes and codes) HP6 - 1-3 story Commercial Building

P4. Resources Present Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #)
 Looking N.E. at South & West elevations. #38674-6. 3/17/03.

P6. Date Constructed/Age and Sources:
 Prehistoric Historic Both
1903 Carmel Building Files

P7. Owner and Address
Richard Gunner
555 W. Shaw, Suite B-4
Fresno, CA 93704

P8. Recorded by: (Name, affiliation, and address)
Richard N. Janick, P.O. Box 223408
Carmel, CA 93922, Carmel, CA 93922

P9. Date Recorded: 3/18/2003

P10. Survey Type: (Describe)
Carmel HRI 2001-2002

P11. Report Citation: (Cite survey report and other sources, or enter "none") Significant Building Survey 1978 Carmel Historical Survey 1989-96

Attachments NONE Continuation Sheet District Record Rock Art Record Other: (List)
 Location Map Building, Structure, and Object Record Linear Feature Record Artifact Record
 Sketch Map Archaeological Record Milling Station Record Photograph Record

BUILDING, STRUCTURE, AND OBJECT RECORD

B1. Historic Name:

B2. Common Name:

B3. Original Use: Commercial

B4. Present Use: Commercial

B5. Architectural Style: Arts and Crafts - Tudor - Spanish

B6. Construction History: (Construction date, alterations, and date of alterations)

- 1889 - Hotel Carmelo created by Delos Goldsmith for Abbie Jane Hunter at N. E. corner of Ocean and Junipero (known as Broadway)

(See Continuation Sheet)

B7. Moved? No Yes Unknown Date:

Original Location:

B8. Related Features:

B9a. Architect: Thomas Morgan - 1903; Blaine and Olson - 1928 b. Builder: M. J. Murphy

B10. Significance: Theme: Architectural Development of Carmel

Area: Carmel-by-the-Sea

Period of Significance: 1880-1940 Property Type: C-1

Applicable Criteria: CR#1

(Discuss importance in terms of historical or architectural context as defined by theme, period and geographic scope. Also address integrity.)

The Pine Inn qualifies under CR#1 as the premier hostelry in the history the Downtown District of Carmel-by-the-Sea. The Hotel Carmelo, built by Delos Goldsmith and Abbie Jane Hunter in the 1880's, originally located at the northeast corner of Ocean and Broadway (now Junipero), was moved to the northeast corner of Monte Verde and Ocean where a one story low hipped roof entrance, sun room, and dining room were added by architect Thomas Morgan in 1903 to the original two-story structure. The 1903 style was Craftsman. In 1928, a major remodel was designed by Blaine and Olson in a Spanish style with major additions to the existing buildings that would eventually encompass most of Block 73. The walls were covered with stucco and the shingled roofs remained intact. Parts of the hotel expanded to three stories on the sloping lot. A rendering appeared in a promotional pamphlet of contractor builder M. J. Murphy who carried out the major remodeling. In 1940, the interiors were remodeled in a Victorian style for owner Harison Godwin, and several one story retail shops were added to the southeast, southwest, and eastern perimeters of Block 73 almost encircling the hotel. An open courtyard in the center of the complex had a glass gazebo dining area added in 1972.

The Pine Inn embraces the historical development of downtown Carmel from the 1880s to the present. The mix of architectural styles from Craftsman to Spanish to modern technology mirrors Carmel's overall architectural development. The architects and builders, including Delos Goldsmith, Thomas Morgan, Blaine and Olson, and M. J. Murphy, also attest to the Pine Inn's historical significance.

(See Continuation Sheet)

B11. Additional Resource Attributes: (List attributes and codes)

B12. References:

- Hale, Sharon, A Tribute to Yesterday, 1980, Valley Press, pp. 10-12, 15-16, 19-21, 40-41, 63-64
- "Pine Inn to be Altered at Expense of \$250,000," Monterey Herald, September 21, 1928

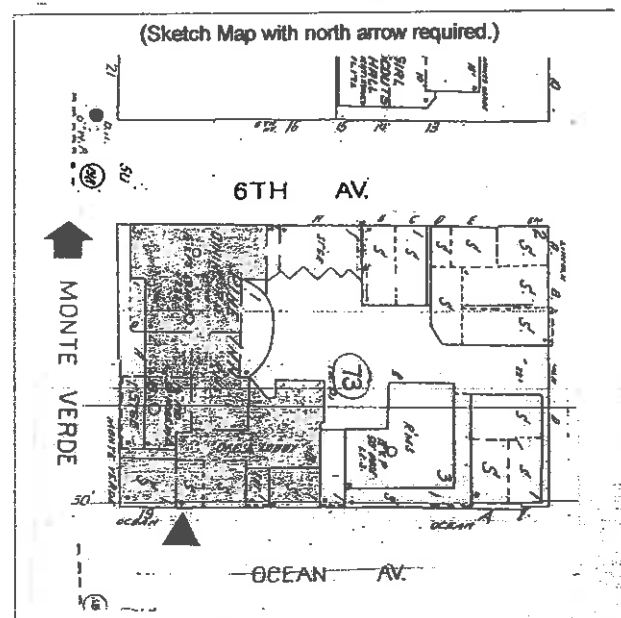
(See Continuation Sheet)

B13. Remarks: Zoning CHCS AD/ED

B14. Evaluator: Richard N. Janick

Date of Evaluation: 3/18/2003

(This space reserved for official comments.)



CONTINUATION SHEET

Page 3 of 5 Resource Name or #: (Assigned by recorder) Pine Inn
Recorded by: Richard N. Janick Date 3/18/2003 Continuation Update

B. 6. Construction History (Continued from Page 2)

2. 1903, Hotel Carmelo moved to lot at Ocean Avenue and Monte Verde (northeast corner) by Carmel Development Company (Devendorf & Powers). One story low hipped roof L plan addition added to original two-story hipped roof hotel. Also created adjacent tent grounds for camping. Architect: Thomas Morgan; Contractor: M. J. Murphy
3. Managers for Carmel Development Company of Pine Inn
 - a. George Shields - 1912
 - b. Roy Newberry - 1916
4. New Owner - 1922 - John Jordan (also owns Lobos Lodge)
 - a. 1928 - Major remodel (\$250,000) Spanish detailed plan by Blaine and Olson. Contractor: M. J. Murphy.
5. New Owner - 1940 - Harrison Godwin - Victorian interior remodel - 12 retail shops - outer lots
6. 1954-55 - Halls and lobby remodeled
7. 1972 - Glass "Gazebo" added to central courtyard by owner: Carroll McKee

B. 10. Significance (Continued from Page 2)

DELOS GOLDSMITH

Delos Goldsmith was born in Painsville, Ohio, on September 3, 1828. He left Ohio at the age of 19 for New Orleans. When New Orleans did not capture his youthful spirit, he moved to San Francisco in 1850 and was a witness to the great fire in 1851. A carpenter for two years in San Francisco, he worked on the first Presidio reservation, then left for Marysville, and later went to Yuma, Arizona. He worked in the oil business there until the outbreak of the Civil War at which time he was appointed citizen wagon-master of the Twenty-ninth Ohio Volunteers. Goldsmith was taken prisoner at Harper's Ferry and endured hardships until he managed to escape, which eventually took him south on a lumber expedition. In 1879, he became an agent for a Dr. Stockton who was involved in an oil concern.

Back in California again in 1888, Goldsmith came to Carmel in late 1888 where he erected a home for his wife's sister's daughter, Miss Robinson, in which he lived while constructing other homes for early residents - the Berwicks, Joseph Sley, and Miss M. E. Donnelly, among others. He built a shed for his carpenter shop on the southwest corner of Ocean and San Carlos, behind the Carmel Development Store. Between 1892 and 1894, acting on behalf of Abbie Jane Hunter, the wife of his nephew, Wesley Hunter, he constructed two lovely identical homes. One was on the northeast corner of Guadalupe and Fourth and later belonged to Mr. and Mrs. William Askew, Sr. The other home, on the northwest corner, became the Goldsmiths' home.

THOMAS MORGAN

Thomas Morgan was the brother of artist Mary deNeal Morgan.

BLAINE AND OLSON

Roger W. Blaine and David Olsen had been partners with Willson J. Wythe in Oakland, and were primarily church and commercial designers. Wythe, an instructor at UC Berkeley, died in 1926, and the firm of Blaine & Olsen only lasted until the Depression. Both Blaine and Olsen had spent some time traveling in Spain prior to the commission, so they were acutely aware of the nuances of Spanish architecture.

M. J. MURPHY

Michael J. Murphy was a pioneer builder and contractor in the earliest era of Carmel, and therefore helped to shape the entire architectural character of the village. He was born in Minden Utah in 1884 of hardworking parents of limited means. Young Murphy managed to finish high school, but then had to begin to earn a living as a house painter. In 1902, he visited Carmel and became attracted to the area. He married in 1904 and returned to Carmel to live. His son Frank was "the first white boy child" to be born in Carmel.

Murphy continued to be a house painter until after the San Francisco earthquake and fire of 1906 when a number of residents of that city came to Carmel to live in their summer homes and created a demand for housing. Although Murphy had no formal training as an architect or builder, he had learned enough about the trade while working as a house painter to be able to design and build simple structures that would suffice for those who came to live for the summer or reside temporarily until San Francisco was rebuilt. Murphy was soon in business erecting the simple board and batten structures so common in Carmel at the time.

(See Continuation Page 4)

CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 4 of 5 Resource Name or #: (Assigned by recorder) Pine Inn
Recorded by: Richard N. Janick Date 3/18/2003 Continuation Update

B. 10. Significance (Continued from Page 3)

Murphy continued to be a house painter until after the San Francisco earthquake and fire of 1906 when a number of residents of that city came to Carmel to live in their summer homes and created a demand for housing. Although Murphy had no formal training as an architect or builder, he had learned enough about the trade while working as a house painter to be able to design and build simple structures that would suffice for those who came to live for the summer or reside temporarily until San Francisco was rebuilt. Murphy was soon in business erecting the simple board and batten structures so common in Carmel at the time.

At the same time, Franklin Devendorf of the Carmel Development Company had purchased much of the land in Carmel, and began to subdivide and sell the parcels. Devendorf knew Murphy and had taken a liking to him. Therefore, when he needed more houses for his lots to satisfy his prospective buyers, he helped Murphy set up a construction business. Because of his passion to be the best, Murphy went to great lengths to make certain that his structures were solidly built of quality materials. As his reputation in this regard blossomed, more and more people wanted a Murphy house. Murphy obliged and built houses all over the Monterey Peninsula, using his own designs and doing much of the work himself. In 1914, Murphy established his own contracting business, opened up a lumber and building supply store and hired many workers.

To assure a supply of crushed rock and gravel, Murphy erected a rock crusher in Carmel Valley. He obtained his rock from the shore of the Pacific Ocean and his gravel from the Carmel River. His team of horses and his wagons became a familiar sight in the area. People turned to him for assistance when they needed help. When the surf piled up the sand and blocked the mouth of the river causing the water to back up and flood the artichoke fields, the farmers called on Murphy who took his earth scraper and a team of horses to open up the channel. When high winds lashed the area and threatened to topple trees, Murphy came to the rescue by tying a sturdy rope around several closely grouped trees, thereby enabling the trees to reinforce each other and resist the force of the wind. He also helped to plant trees in Carmel to stabilize the soil exposed by building activity, and to prevent the soil from being washed into the sea by the heavy rains.

As Murphy's own business grew, he added more carpenters, stone masons, plumbers, electricians, plasterers and painters to his staff. He needed administrative and managerial help, so he hired J. O. Handley as his General Manager. Handley remained in this capacity until he began his own construction supply business, Handley and Handley (later becoming H&H). While most of the structures that Murphy erected were of his own design, he was also the contractor for a number of well known architects - Julia Morgan, Bernard Ralph Maybeck, and Robert Stanton among them. In designing his buildings, Murphy would talk to the customer, visit the site to get a visual image of the proposed structure on the site, and then go home and put it on paper. His designs were simplified drawings, but were complete and accurate enough so that major changes could be made. Murphy was a most active and prolific builder in the area and did as much to give Carmel its character as any other single person. Handley has stated "that Murphy built more than half the houses in Carmel."

Among his most notable structures are the Pine Inn, which he completely remodeled with his own design, the La Playa Hotel, the Carmel Highlands Inn, the Carmel Art Association, the Holiday House, the Carmel Texaco Station, the Sundial Lodge, the Farley Building, the Carmel City Hall (originally All Saints Episcopal Church), and the Dansk Building. The Harrison Memorial Library was partially designed by Bernard Ralph Maybeck and constructed by Murphy. However, there are no known plans of the library to be found. According to Murphy's daughter, Mrs. Rosalie Gladney, Bernard Maybeck who lived in San Francisco, would come down periodically from the city, view the progress, consult with Murphy, and return to the city on the afternoon train. It is generally conceded that Murphy had as much to do with the design of this building as Maybeck.

(See Continuation Sheet Page 4)

B. 12. References (Continued from Page 2)

3. Carmel Building Files
4. CHCS, 1997
5. "Lessee Purchases Pine Inn Property," Carmel Pine Cone, April 6, 1922
6. "Pine Inn Gazebo: Instant Favorite," by Phyllis Jervey, The Peacock, August 24, 1972
7. Lis. Slevia, January 1945, "Carmel - Infancy to Adolescence"
8. Brochure "Structures of the Period," M. J. Murphy, Builder. Perspective drawing of remodeled Pine Inn (1926-28)
9. Sanborn Fire Maps (1910, 1924, 1938, 1962)

CONTINUATION SHEET

Primary #

HRI #

Trinomial

Page 5 of 5 Resource Name or #: (Assigned by recorder)

Pine Inn

Recorded by: Richard N. Janick

Date 3/18/2003

Continuation Update

B. 10. Significance (Continued from Continuation Page 4)

Another important structure that Murphy helped to build was Tor House, the famous home of poet Robinson Jeffers. The Jefferses designed Tor House and at first hired Murphy to build it. Then in a turn-about, Jeffers worked for Murphy at \$1.00 a day learning, by working alongside Murphy, how to build his home with granite boulders from the Carmel Beach. The first section of the house was finished by Murphy in 1919. Jeffers, himself, completed the rest of the structure, including the tower and wall, over an extended period of time.

Murphy was a busy, prolific builder for a long time, but he also contributed to the general welfare of the community in other ways. He was a member of the Carmel City Council, and the Carmel Building and Loan Society. He was a charter member and director of the Manzanita Club, a social organization for the community that conducted adult athletic events as well. When moving pictures came to Carmel in 1915, Murphy was one of a committee for the Carmel Hall Association to oversee the new business, and to make sure "first class" movies were shown every Saturday. The Murphys had four children. They and other village youngsters were always welcome at the Murphy Lumberyard to gather scrap wood for projects or just to play nearby. Before a permanent school was built, classes for eighteen children were held in Murphy's lumberyard for two years (1905 and 1906), and when the first Carmel Boy Scout Troop was organized, M. J. Murphy built the clubhouse.

Murphy retired in 1941, shortly after his wife's death. He turned his business over to his son Frank, and spent most of the remaining years of his life living in a summer house in Oregon and fishing in the McKenzie River. Murphy died there in 1949. M.J. Murphy, Inc., is still an active business in Carmel Valley, where it was relocated after Murphy sold the original Carmel store. It has been operated by his two grandsons since his son's death.

The Pine Inn clearly reflects the finding of, and is consistent with, the 1997 Carmel Historical Context Statement under the themes of architectural and economic development.



Looking N.E. at S-facing façade & W/side
Elev. 1903, #73-14-4, Pat Hathaway,
Historical California Views, Monterey

SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES
Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Source: U.S. Department of the Interior, National Park Service, Technical Preservation Services, Washington, D.C., 2017.

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

May 6, 2026

Katherine Wallace, Associate Planner
City of Carmel-by-the-Sea
PO Box CC
Carmel, CA 93921

Re: Historic Assessment for the Pine Inn Fire Sprinkler Upgrade: Phase One
NE Corner of Monte Verde St. and Ocean Ave., Carmel-by-the-Sea, CA
APN 010-213-003; DR 26031

Dear Ms. Wallace:

This letter evaluates the proposed fire sprinkler upgrade to the Pine Inn (on the HRI), located at the NE corner of Monte Verde Street and Ocean Avenue. PAST Consultants, LLC (PAST) completed a site visit to the property on April 21, 2026 to view the property's existing conditions and to evaluate project drawings for the locations of the proposed fire sprinkler upgrade repairs. Because of its significance and location within the Conservation District, the proposed repairs must conform to the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (the *Standards*). In this case, the treatment approach is Rehabilitation.



Figure 1. View of the Pine Inn looking northeast from the SW corner of Monte Verde St. and Ocean Ave.

Project Methodology

PAST reviewed the State of California, Department of Parks and Recreation (DPR) forms for the subject property prepared by Richard N. Janick, architectural historian, in 2003, all electronic files for the subject property available through the Carmel-by-the-sea GIS system (approximately 1,000 pages) and all relevant project drawings submitted by the architect. In addition, PAST attended a site visit to the subject property on April, 21, 2026 with you and the lead architect for Dyar Architecture, to review the project drawings and the proposed locations of the fire sprinkler infrastructure upgrades.

Property Description and Chronology

The subject property (Block 73, Lots 1, 4, 5, 6, 7, 8, 9 & 10) contains the Pine Inn, a rambling two-story building constructed as the Hotel Carmelo in the Craftsman style in 1889; and moved to its present location in 1903 as the flagship accommodations for the fledgling village. In 1928, a major Spanish Eclectic-style addition was designed by Blaine and Olson and constructed by M.J. Murphy, which surrounded the earlier Craftsman-style building core. Significant regional architect Jon Konigshofer designed the shops and courtyard spaces surrounding the hotel, as well as a rooftop garden for the Pine Inn in the 1940s. The hotel and shopping complex are contained in the entire block bounded by Ocean Ave., Lincoln St., 6th Ave. and Monte Verde St. (**Figure 1**).

Building Chronology

Review of the extensive permit record indicates numerous alterations to the Pine Inn and the surrounding shops and outdoor spaces, since the building was relocated in 1903. The following lists the primary building campaigns and the alterations at the subject locations of the proposed fire infrastructure upgrades.

- 1889: Hotel Carmelo constructed at NE corner of Ocean Ave. and Junipero St.
- 1903: Building relocated to NE corner of Ocean Ave. and Monte Verde St. by the Carmel Development Company. Single-story, hipped roof addition constructed and tents added surrounding the building for additional guests.
- 1928: Substantial remodeling campaign in a Spanish Eclectic style surrounding the core of the original hotel, designed by Blaine and Olson and constructed by M.J. Murphy.
- 1940s: Modernist-style storefronts and connecting paved paths surrounding the hotel designed by Jon Konigshofer. Rooftop garden added at the corner of Ocean Ave. and Monte Verde St.
- 1955: Halls and hotel lobby remodeled.
- 1972: Glass gazebo added to the central courtyard.
- 1980s – present: Numerous interior remodeling and upgrades to individual shops throughout the complex, as new tenants moved into the units.
- 2002: Pine Inn-Monte Verde Street Entry: improvements to the Monte Verde St. entrance including the remodeling the entrance steps and rails and the rooftop terrace by Jon Thodos,

architect. The wood lattice surrounding the fire infrastructure at the utility entrance was installed at this time (**Figure 3**).

Proposed Project

The proposed project is the upgrade of existing fire sprinkler infrastructure at two locations: on Monte Verde St., beneath the rooftop garden and at the Lincoln St. entrance to the complex, located on the south wall of Retail Unit #7 (**Figure 2**). Project drawings by Dyar Architecture, dated January 27, 2026 were the design drawings reviewed for this historic assessment.



Figure 2. Site plan showing the two proposed locations within the dashed ovals on Monte Verde and Lincoln Streets, taken from Sheet 2 of the Design Drawings by Dyar Architecture.

Proposed Location: Monte Verde Street

The proposed location of the fire sprinkler upgrade on Monte Verde Street is adjacent and south of the Monte Verde Street entrance steps in the present location of the fire suppression infrastructure (**Figures 3 and 4**).



Figures 3 and 4. Left image looks south down the Monte Verde St. sidewalk at the existing locations of the fire sprinkler infrastructure. Left arrow shows a plastic lattice screen added after 2002 in an effort to match the wood lattice screen installed during the 2002 Thodos remodeling campaign (right arrow). Right image views the lower utility room entrance and the two areas impacted.

The work at this location includes the removal of both lattice screens shown above and the replacement of the existing fire sprinkler infrastructure and in-kind replacement of the wood lattice screens. Any stone disturbed for installation of the upgrades will be repaired in-kind with Carmel stone, as necessary.

Following the removal of the plastic box screen and the installation of the fire suppression infrastructure upgrade north of the utility room entrance (**Figure 4**), a new lattice box screen will be constructed in wood to match the lattice screen to the south of the utility entrance.

It should be noted that the Carmel stone walls and lattice screens are recent additions to this location, likely added in the early 2000s, and are not historic additions to the Pine Inn complex.

Proposed Location: Lincoln Street

The location of the proposed fire sprinkler riser upgrade is on the south building wall of Retail Unit #7, as shown below (Figures 5 and 6).



Figures 5 and 6. Left image shows the Lincoln St. entrance and the location of the proposed utility box to house the fire sprinkler risers (arrow). Right image shows the brick planter and proposed location.

The proposed utility cabinet will be installed by cutting a section of the brick planter to create a platform for the riser box as shown below. The brass riser connection will be at the southwest building corner (Figure 7).

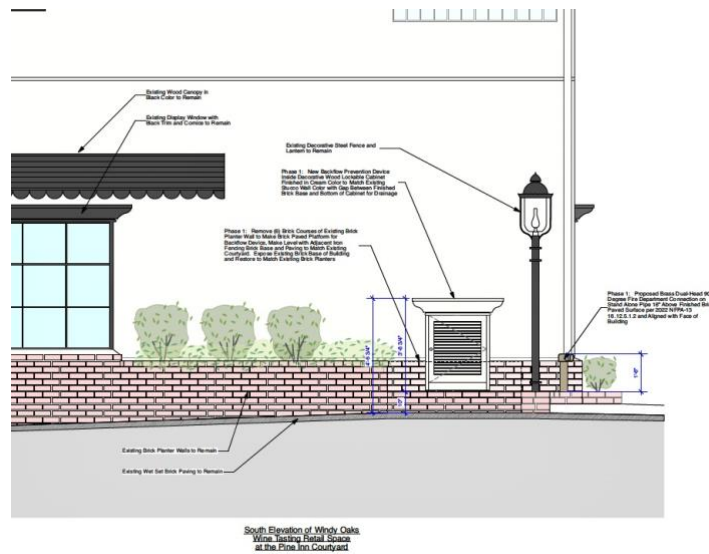


Figure 7. Detail of the proposed riser box and brass riser head, taken from Sheet 3 of the Design Drawings by Dyar Architecture.

At this location, 6 brick courses of the existing brick planter will be removed for level placement of the box. The stucco on the brick base course that exists on the south building wall will be removed, allowing the brick detail to be exposed.

Evaluation of Proposed Alterations

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the *Standards for Rehabilitation and Guidelines for Rehabilitation* to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

- design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Evaluation of Proposed Alterations

The *Rehabilitation Standards* applicable for this project are *Standards 5, 6 and 9*. The following lists these *Standards* in italics, with an evaluation given below each *Standard*.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Monte Verde Street:

While the wood and plastic lattice screens are recent additions to the site, they represent recent distinctive finishes that will be matched in-kind after the fire suppression infrastructure is upgraded. In addition, any repairs to the Carmel stone crib wall will be made with in-kind replacement with Carmel stone that matches the existing.

Lincoln Street:

The brick base course on the south building wall of Unit #7 has been overlaid with stucco. The proposed installation of the riser box within the planter will remove approximately 5 feet of the stucco coating at the east end of the south building wall and rehabilitate the brick base course of the wall, in support of this *Standard*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Monte Verde Street:

Impacts to the Carmel stone crib wall will be repaired in-kind with Carmel stone, as needed in support of this *Standard*. The plastic lattice box to the north of the utility entrance will be replaced with a wood lattice box, which is a more appropriate material for the building. To the south of the entrance, an in-kind lattice wood lattice screen will replace the existing screen to be removed. These details are in accordance with this *Standard*.

Lincoln Street:

The brick planter will be repaired in kind after the installation of the wood cabinet housing the fire suppression infrastructure, in support of this *Standard*.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Monte Verde Street:

The proposed fire suppression infrastructure upgrades are in the same locations as the existing infrastructure, will be hidden beneath the present lattice screens and will be compatible with the existing materials at this location. As the proposed improvements are necessary infrastructure upgrades in their present locations and are not architectural additions to the site, differentiation is not a consideration at this location.

Lincoln Street:

The proposed riser box is a necessary addition to the south wall of Unit #7 and will protect the historic integrity of the Pine Inn complex and its environment. The box is small and will be detailed in a manner that is compatible with the building design and detailing of the south elevation, while not being overly obtrusive on the south building wall of Retail Unit #7.

For these reasons, the proposed alterations to meet this *Standard*.

Conclusion

In conclusion, the proposed fire suppression infrastructure upgrades to the historic Pine Inn, located at the NE corner of Monte Verde Street and Ocean Avenue, Carmel-by-the-Sea, California meet the *Secretary of the Interior's Standards for Rehabilitation*. Because the proposed infrastructure additions to the site meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal



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Owner:
Richard V. Gunner,
The Gunner Companies

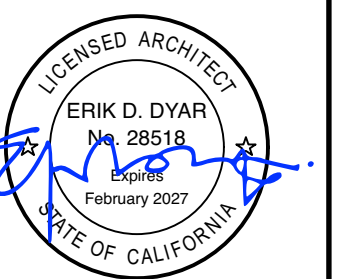
**Pine Inn
Fire Sprinkler Upgrade:
Phase 1**
NE Corner of Monte Verde Street and Ocean Avenue
Carmel-by-the-Sea, California 93921
APN: 010-213-003-000

Job No.

Date:
- January 27, 2026
Commercial Tract 1 Design
Review Submission

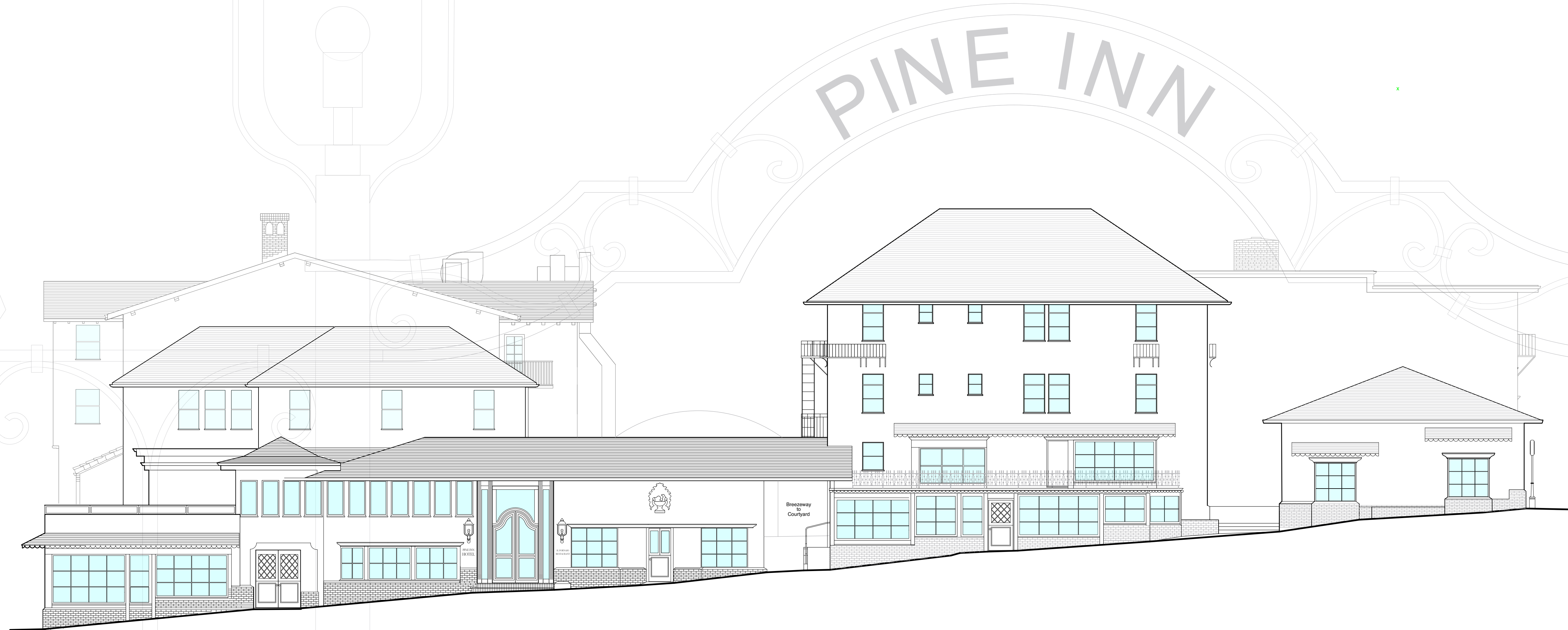
Cover Sheet

As Shown



Sheet No.

1



PINE INN HOTEL

SITE DATA

ZONING

APN: 010-213-003-000
Zoning: Central Commercial District (CC)

BUILDING COVERAGE

Allowable Building Coverage in
Central Commercial District = 95%*
Existing Building Coverage:
26,000 / 22,199 = 0.88 or 88%

*Per City of Carmel Interblock Walkway Bonus, Carmel
Municipal Code 17.14.130.A

Lot Size = 26,000 SF
Existing Building Coverage = 22,199 SF

SHEET INDEX:

- 1 Cover Sheet & Project Data
- 2 Street Level Site Plan
- 3 Proposed Lincoln Street Plan, Elevation and Section
- 4 Proposed Monte Verde Street Plan, Elevation and Section
- 5 Photographs of Existing Conditions
- 6 Existing and Proposed Lincoln Street Elevations
- 7 Existing and Proposed Monte Verde Street Elevations
- 8 Materials, Finishes and Equipment Specifications

Project Description:

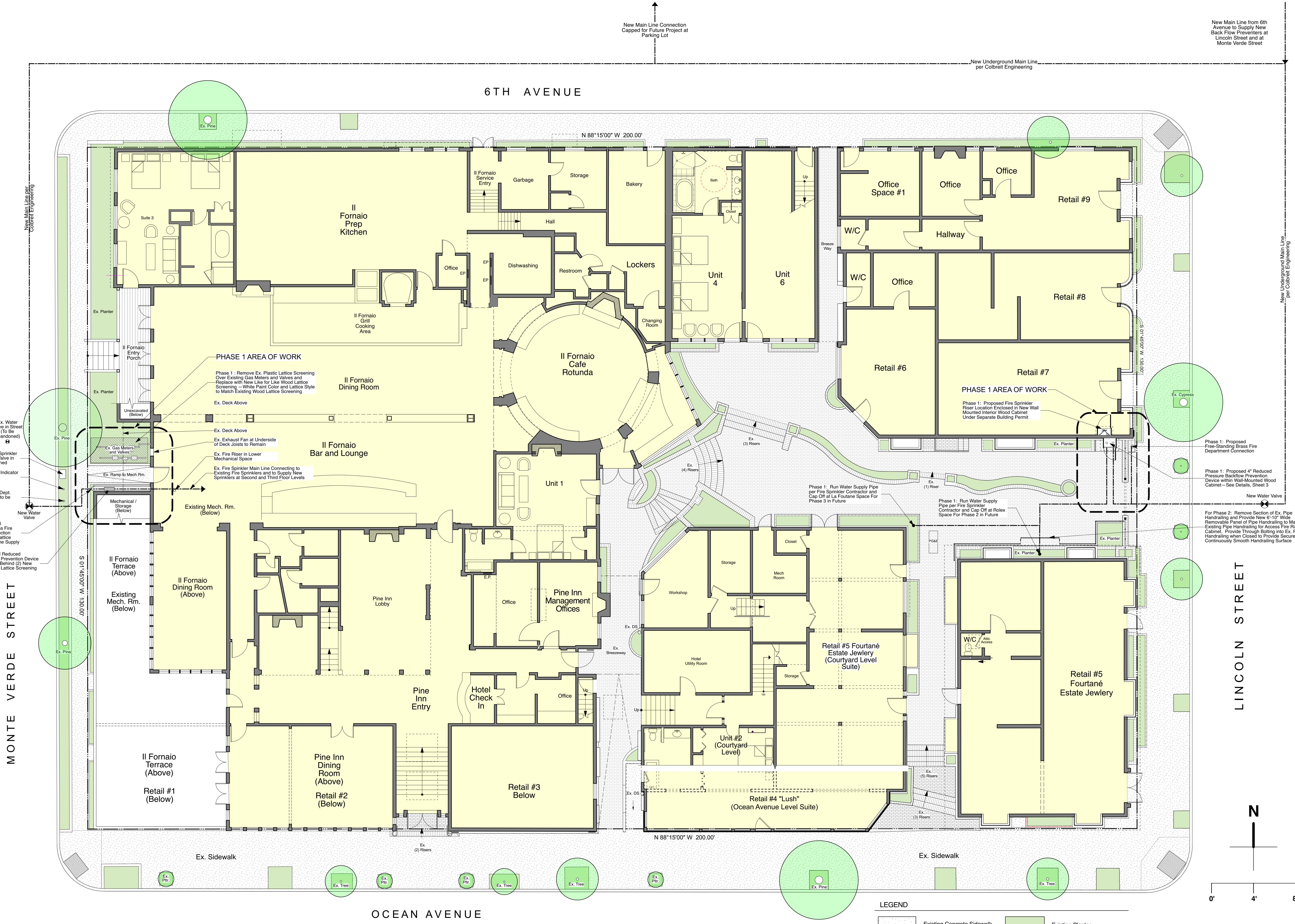
As Phase 1 of the Fire Sprinkler Upgrade for the Pine Inn Property and Retail Spaces, this permit is to provide New Screening for the New Fire Sprinkler Mechanical Equipment located on the Pine Inn Hotel Property which is historically significant and is included on the City's Historic Inventory. Phase 2 and Phase 3 are Not Part of this Permit and Will Be Applied For in the Future.

Phase 1:

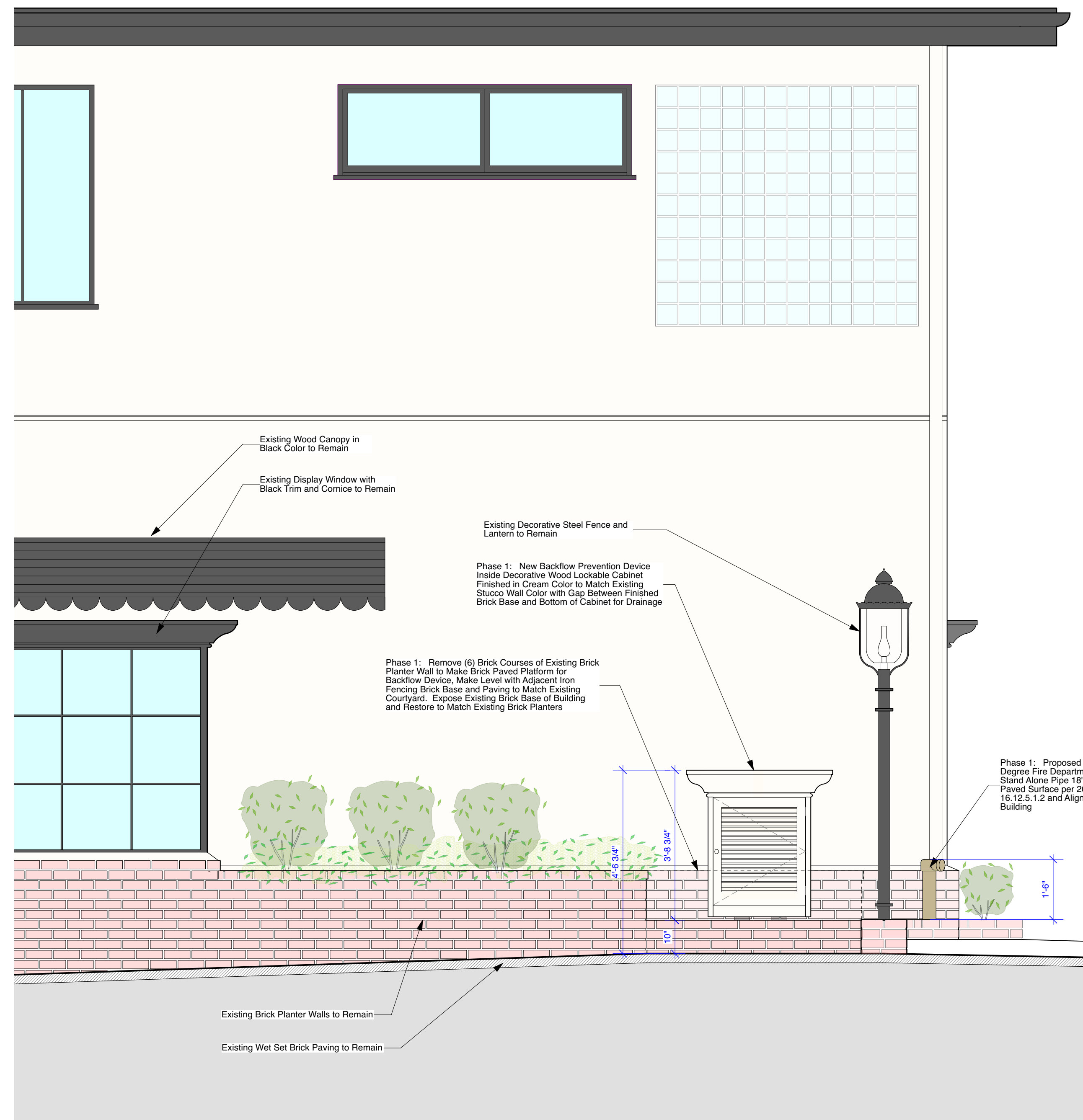
1. At Lincoln Street: Remove 24"W x 60"L x 14"H Section of Existing 24" High Brick Planter and Create a Brick Paved Base for the Installation of (1) New Backflow Device at Existing Courtyard Entry. Mount on the Exterior Wall of Retail Space #7 (the North Side of the Entry Courtyard) a New 45"H x 31"W x 23"D Wood Cabinet with Wooden Louvered Lockable Door to House (1) New Backflow Prevention Device per Fire Sprinkler Installation Contractor and Accompanying Water Flow Alarm System. Wood Cabinet Shall have Solid Wood Sides and Louvered Lockable Cabinet Door to be Painted in Off-White Color to Match Existing Stucco Color. Folded Seam Metal Roof and Wood Cornice Details to Match Profile of Existing Retail Bay Windows in Courtyard and be Differentiated from Existing Pine Inn Exterior Cabinets by Being Painted a Light Cream Color to Match Existing Stucco Paint Color.

2. At Monte Verde Street: Create Access Doors in Existing White Painted Wood Lattice Screening made with Like for Like New White Painted Wood Lattice Screening for (1) New Backflow Prevention Device per Fire Sprinkler Installation Contractor in Existing Planting Bed on the South Side of the Existing Walkway to the Mechanical Room. Remove Existing White Plastic Screening Covering Existing Gas Meters and Install New Like for Like White Painted Wood Lattice Screening to Match Existing Wood Lattice Screening on Site. Finish in White Paint Color to Match Existing.

No Trees will be Removed as part of this Permit.

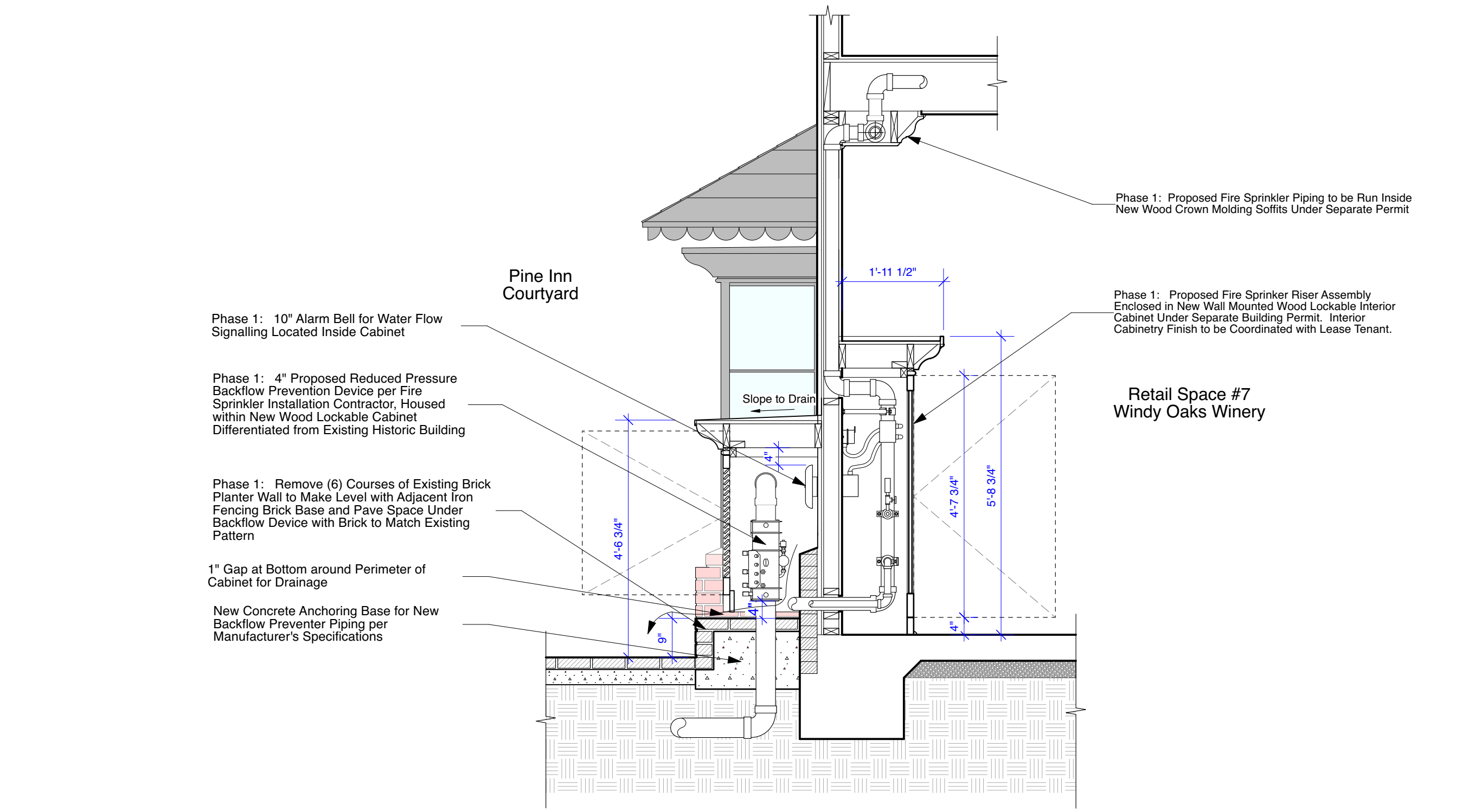


Proposed Courtyard / Street Level Plan

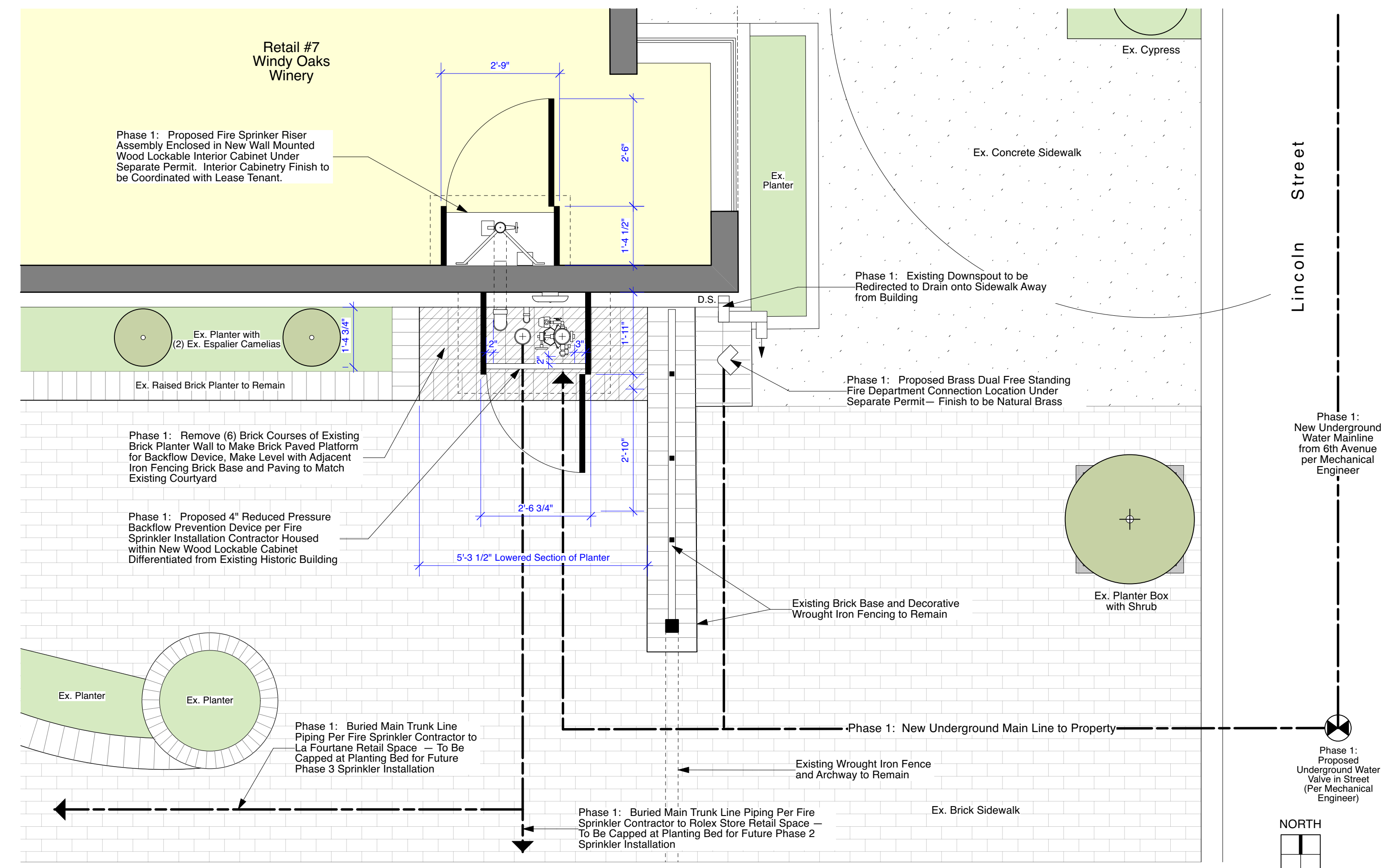


South Elevation of Windy Oaks Wine Tasting Retail Space at the Pine Inn Courtyard

3 Courtyard Elevation of Lincoln Street Backflow Prevention Device Location 1/2" = 1'-0"



2 Section Detail of Lincoln Street Backflow Prevention Device 1/2" = 1'-0"



1 Plan Detail of Lincoln Street Backflow Prevention Device Location 1/2" = 1'-0"

NOTE:
The Existing Brick of the Courtyard Shall be Removed, Saved and Reused After Backfilling of Trenching.



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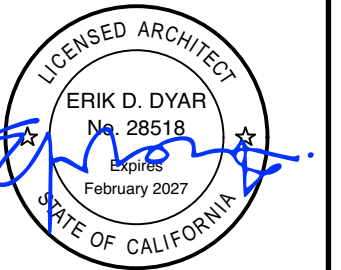
**Pine Inn
Fire Spinkler Upgrade:
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NE Corner of Monte Verde Street and Ocean Avenue
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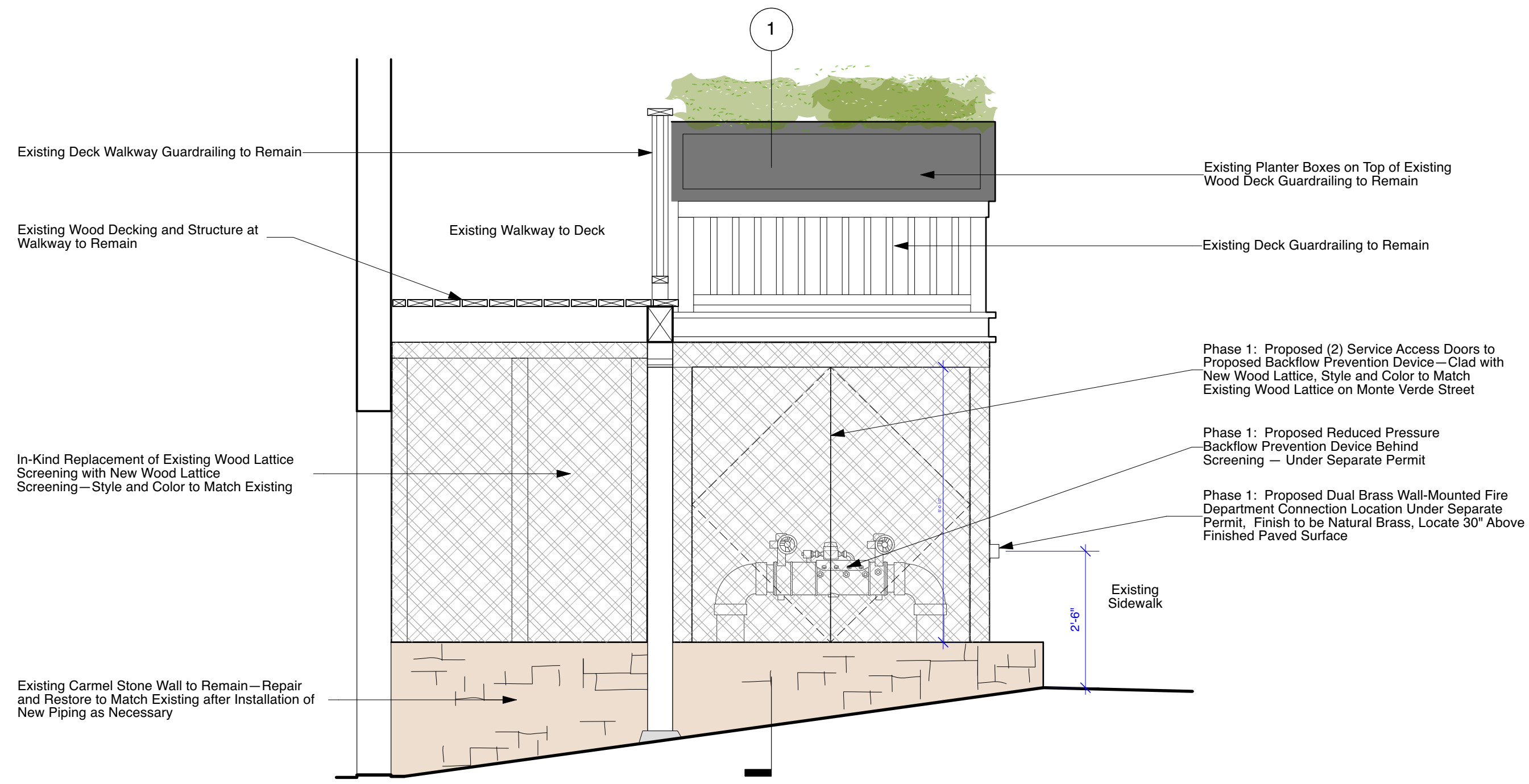
**Monte Verde
Street Proposed
Backflow
Equipment Plan,
Elevation and
Section**

As Shown

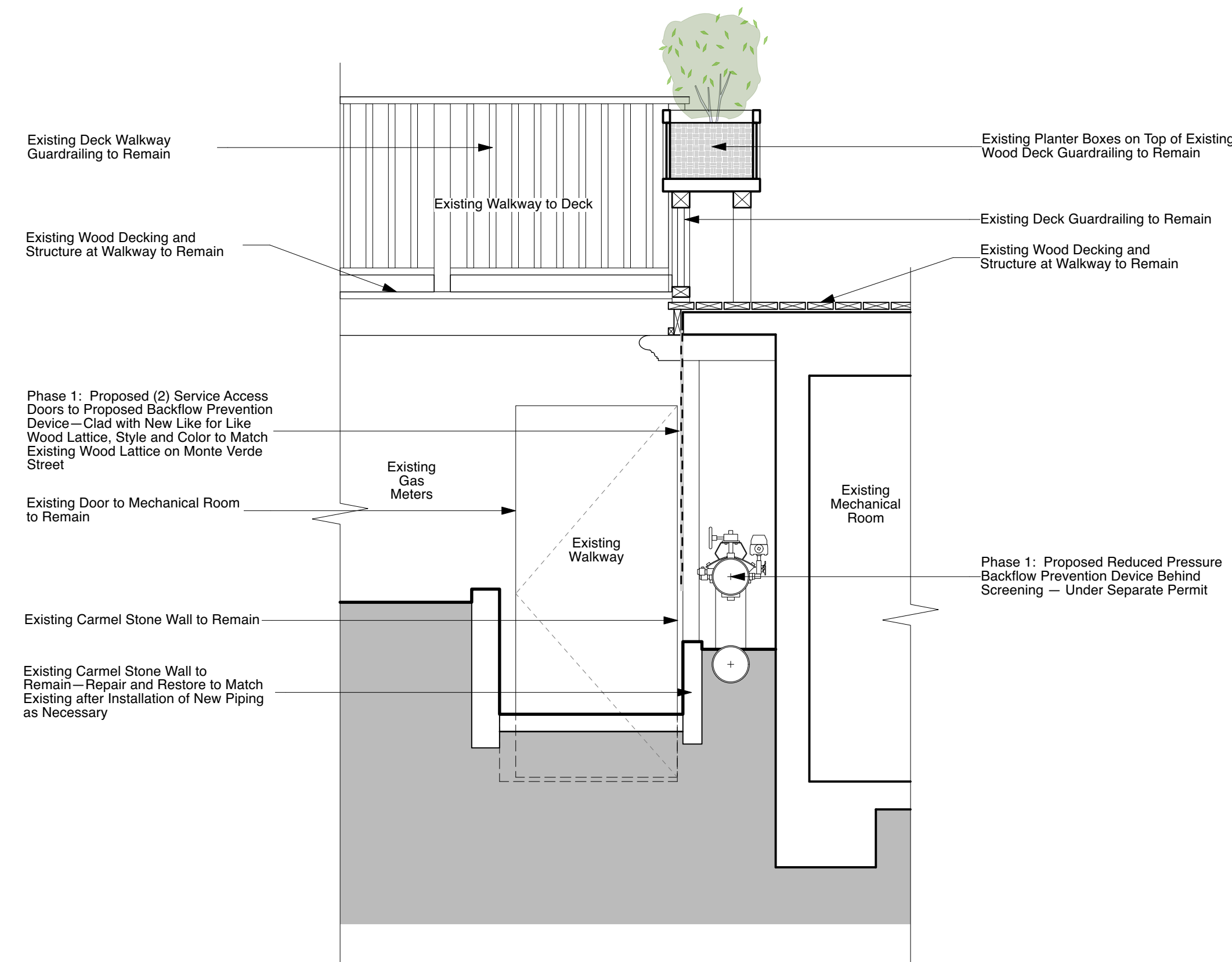


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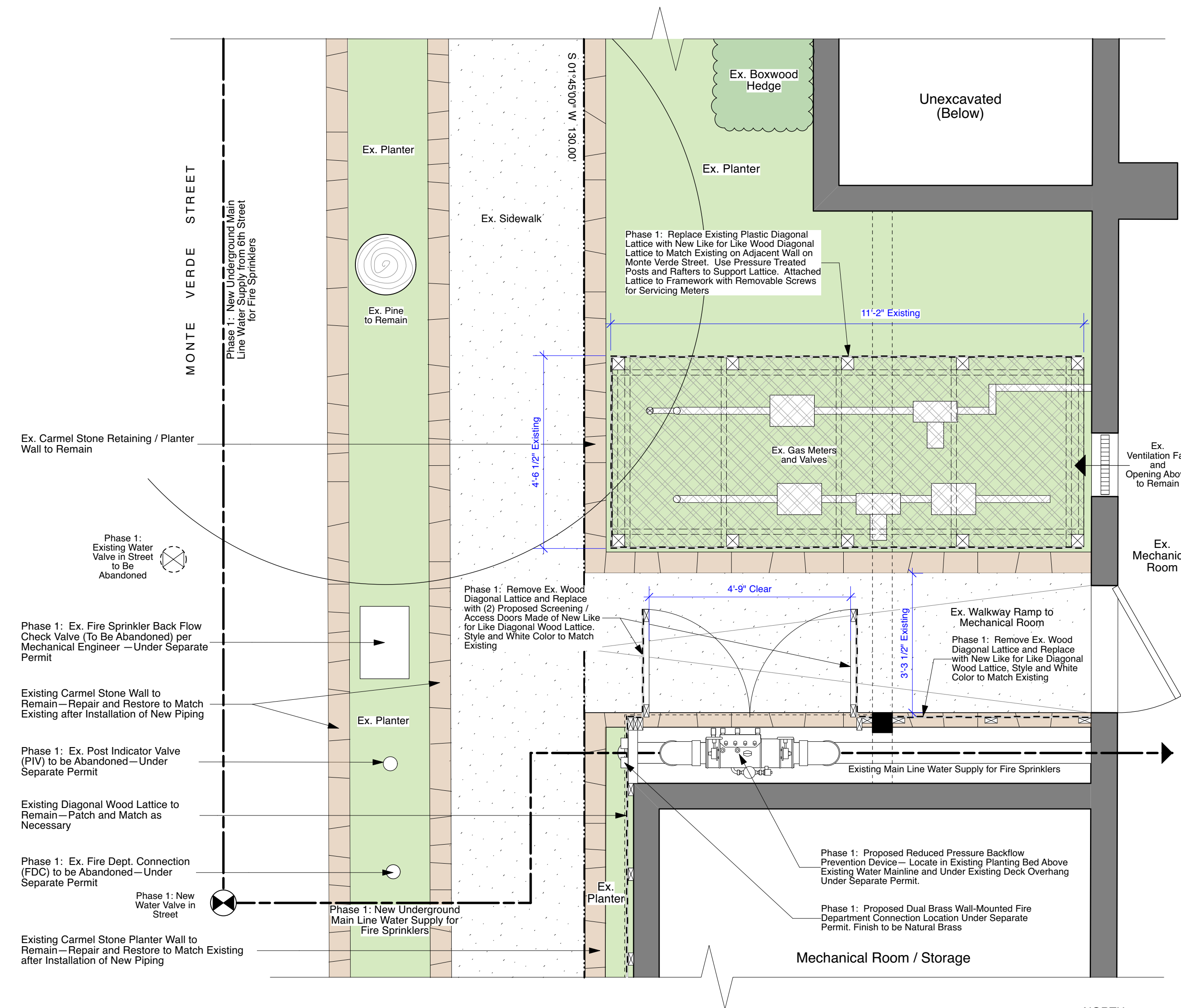
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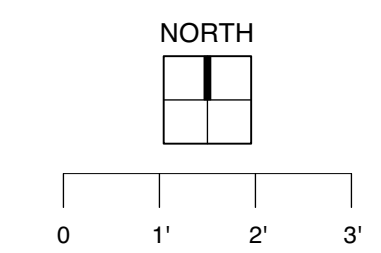
2 Elevation of Screening Wall for Backflow Prevention Device Location
1/2" = 1'-0"

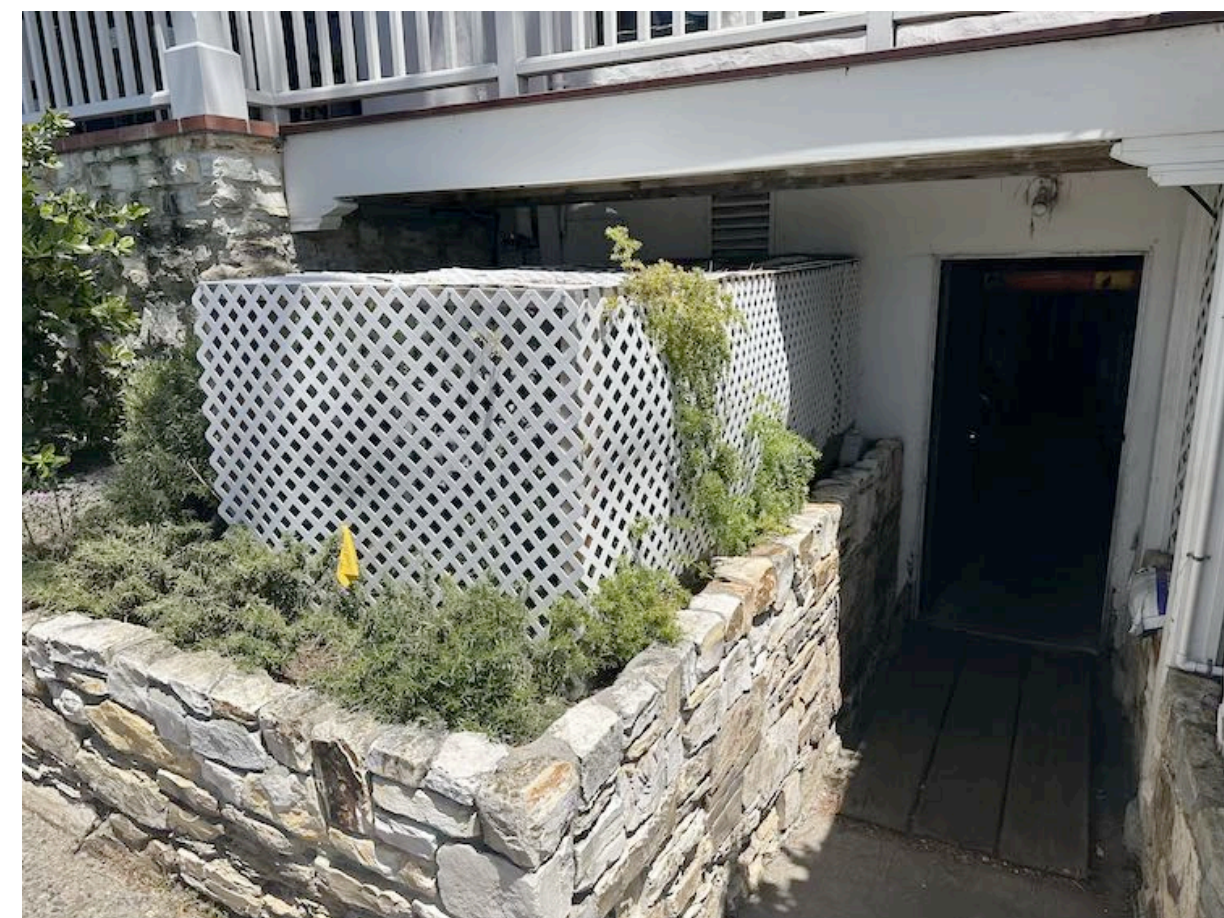


3 Section of Screening Wall for Backflow Prevention Device Location
1/2" = 1'-0"



1 Plan Detail of Monte Verde Street Backflow Prevention Device Location
1/2" = 1'-0"





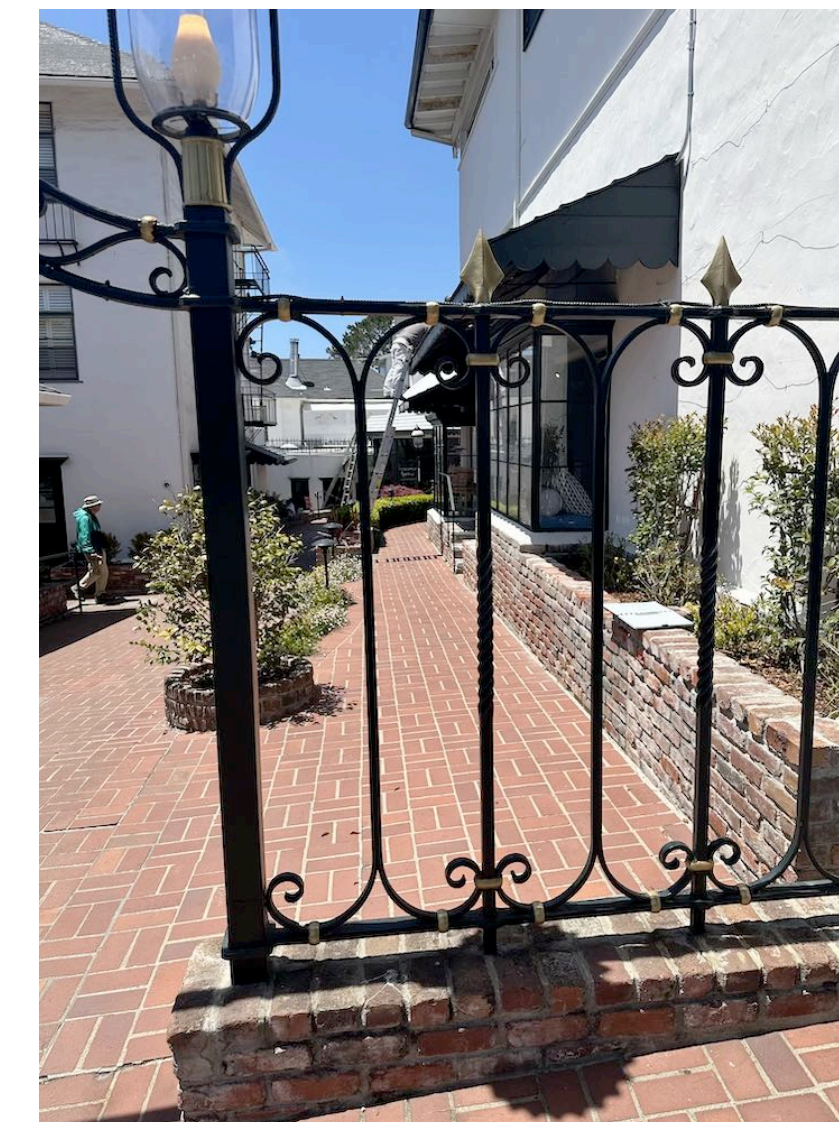
Existing Gas Meters and Screening and Mechanical Room Walkway at Monte Verde Street



Existing Gas Meters and Screening at Monte Verde Street



Existing Courtyard Entrance on Lincoln Street



Existing Courtyard Entrance from Lincoln Street



Proposed Location for New Planting Bed for New Reduced Pressure Backflow Device



Proposed Location of New Free Standing Fire Department Connection in Front of Existing Wrought Iron Fencing

2 Existing Conditions at Proposed Location of Backflow Prevention Device at Monte Verde Street

1 Existing Conditions at Proposed Location of Backflow Prevention Device at Lincoln Street

**D
A**
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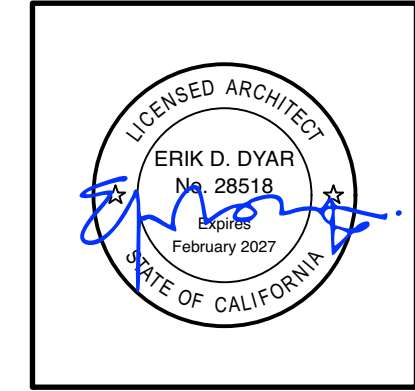
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Date:
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**Photographs
of Existing
Conditions**

As Shown



Sheet No.
5



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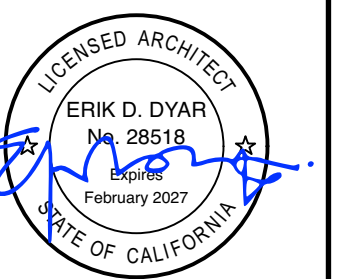
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**Existing and
Proposed Lincoln
Street Elevations**

As Shown

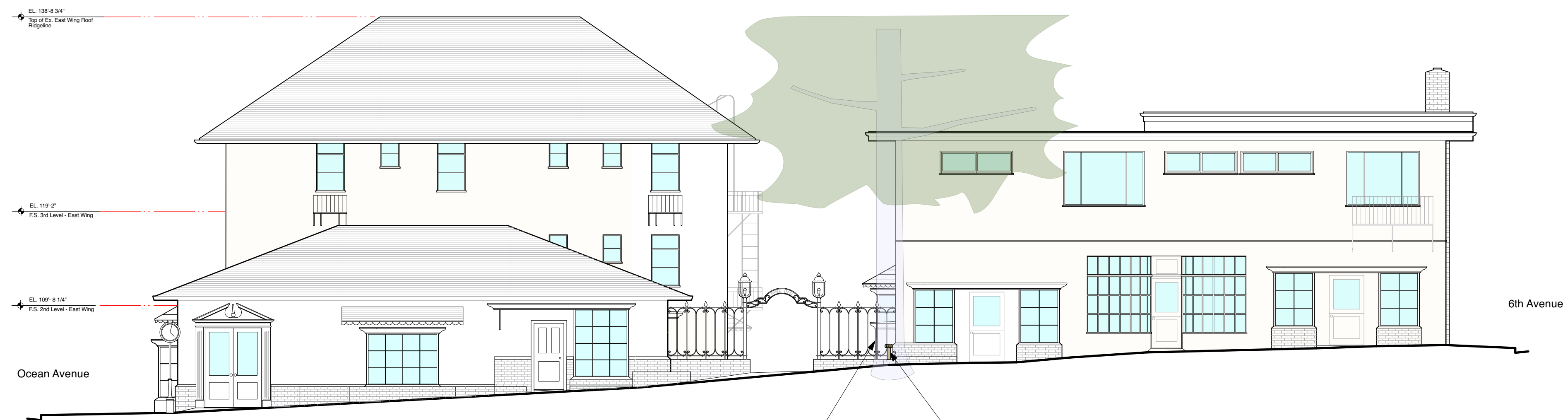


Sheet No.

6



Existing Lincoln Street Elevation
1/8" = 1'-0"



Proposed Lincoln Street Elevation
1/8" = 1'-0"



Existing Monte Verde Street Elevation
1/8" = 1'-0"



Proposed Monte Verde Street Elevation
1/8" = 1'-0"

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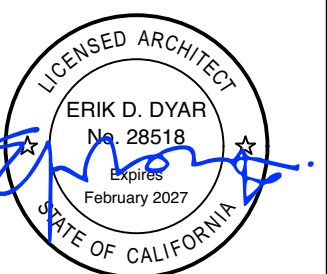
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Job No.

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- January 27, 2026
Commercial Tract 1 Design
Review Submission

**Existing and
Proposed
Monte Verde
Street Elevations**

As Shown



Sheet No.

ES-A-Deringer 30

Engineering Specification

Job Name: _____ Contractor: _____
 Job Location: _____ Approval: _____
 Engineer: _____ Contractor's P.O. No.: _____
 Approval: _____ Representative: _____

LEAD FREE

Deringer™ 30 Double Check Detector Assembly DCDA-II

2" – 8"

The Deringer™ 30 Double Check Detector assembly prevents non-health hazard pollutants from entering a potable water supply system when backpressure and/or back-siphonage conditions occur. Used primarily on fire sprinkler systems when monitoring of unauthorized water use is required.

Features

- Integral shutoff valves for indoor or outdoor application
- 100% stainless steel housing
- Tamper-resistant test cocks
- Patented Dual-action™ check modules
 - Popped action at low flow
 - Swing action at high flow
- Lead Free* Bronze bypass components
- Cut or gallons bypass meter
- DCDA-II single check bypass
- Silicone elastomer check discs
- Prewired supervisory switches
- Flange adapters available
- IPS grooved ends

Specification

The Deringer 30 Double Check Detector assembly shall use two independent Dual-action check modules and two integral resiliently seated shutoff valves, all of which shall be contained within a single rigid valve housing constructed entirely of 304 stainless steel. Both integral shutoff valves shall include prewired supervisory tamper switches contained within a weatherproof actuator housing approved for both indoor and outdoor use. The Dual-action check modules shall operate as a "popout style" check under low flow conditions, operate as a "swing style" check under high flow conditions, and use replaceable silicone elastomer sealing discs. The assembly test cocks shall be handle-less and operate by a tamper resistant actuator. The assembly shall have a single full access service port and cover with an in-line replaceable elastomer seal. The bypass assembly

*The wetted surface of this product contacted by consumable water contains less than 0.25% of lead by weight.
 Noryl is a registered trademark of SHPP Global Technologies B.V.

Approved for Fire Protection, Waterworks, Plumbing, and Irrigation Applications

shall include a meter registering either gallons or cubic feet, a single check valve, and required test cocks. The assembly shall be removable without special tools and approved for both horizontal and vertical applications.

Materials

Valve Housing: 304 Stainless Steel
 Valve Cover: 304 Stainless Steel
 SOV Discs: EPDM/MSDS
 SOV Shafts: 304 Stainless Steel
 Bypass Spring: 302 Stainless Steel
 SOV Bearings: PTFE Fluoropolymer/Bronze
 Non-wetted Bolts: Grade 8 Zinc Plated
 Check Discs: Silicone (NSF)
 Wetted Fasteners: 18-8 Stainless Steel
 Bypass Components: Lead Free Bronze
 Check Springs: 17-7 Stainless Steel
 Check Pins: Noryl® Polymer (NSF)
 Check Seats: Noryl® Polymer (NSF)
 O-rings: Buna-N (NSF)
 Bypass Internals: ABS Polymer (NSF)

Pressure – Temperature
 Temperature Range: 33°F – 140°F
 Working Pressure: 10 – 175 psi

NOTICE

The information contained herein is not intended to replace the full product installation and safety information available or the experience of a trained product installer. You are required to thoroughly read all installation instructions and product safety information before beginning the installation of this product.

AMES
FIRE & WATERWORKS
A WATTS Brand

Standards

AWWA C510-07 Compliant
 NSF/ANSI/CAN 61
 UL Certified Health Effects
 UL Certified to NSF/ANSI/CAN 372
 LEAD FREE

End Connections

- IPS Groove for Steel Pipe: AWWA C205
- Flange Adapters: ANSI B16.1 Class 125

Dimensions – Weights

| Size | Model | H | Hb | L | D | W | Weight |
|--------|-------|-------|--------|----|-------|--------|--------|
| 2 1/2" | 30 | 7 1/4 | 18 1/2 | 29 | 7 1/4 | 22 1/2 | 566 |
| 3" | 30 | 7 1/4 | 18 1/2 | 29 | 7 1/4 | 18 1/2 | 475 |
| 4" | 30 | 7 1/4 | 18 1/2 | 29 | 7 1/4 | 18 1/2 | 475 |
| 6" | 30 | 7 1/4 | 18 1/2 | 29 | 7 1/4 | 18 1/2 | 475 |
| 8" | 30 | 7 1/4 | 18 1/2 | 29 | 7 1/4 | 18 1/2 | 475 |

*H size uses a 2 1/2" assembly with 2 1/2" grooves to 2" female NPT adapter and couplings. Adapter and couplings ship unassembled.

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A WATTS Brand

USA: Backflow T: (878) 688-6046 • F: (878) 375-8333 • Ames@watworks.com
 USA: Control Valves T: (713) 943-0068 • F: (713) 944-9440 • Ames@watworks.com
 Canada: T: (800) 332-4000 • F: (905) 332-7069 • Ames@watworks.ca
 Latin America: T: (52) 55-4122-0108 • Ames@watworks.com

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4" Proposed Backflow Prevention Device 25"Lx 14.6"Hx 16.9"W

Fire Sprinkler Accessories

Fire Department Connection – Single Clapper, Siamese Straight Fig. 09-000

Description

The Straight Pattern Fire Department Connection is UL Listed and FM Approved. Manufactured from solid brass* components to increase service life. The single clapper design features brass clapper and brass seats within a cast brass body. The 2 1/2" inlets are pin lug design for ease of use and compatibility with local fire service districts. Swivel gaskets are included. Breakable caps or plugs should be installed to protect threads and prevent debris from being accidentally introduced into the water way.

Installation

Installation of the Fire Department Connection is achieved with readily available jobsite tools. Prior to installation make sure the proper identification sign has been installed on the nipple. Coat male threads of 4" IPS nipple liberally with a suitable pipe thread sealant such as PipeFt®. Tighten FDC one full turn past hand tight. Make sure FDC is aligned according to requirements.

DO NOT OVERTIGHTEN. OVERTIGHTENING MAY CAUSE SEVERE STRETCHING AND POSSIBLE CRACKING OF THE OF THE FDC BODY.

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Specifications

Size: 4" IPS Outlet (2) 2 1/2" Inlets

Type: Straight Pattern

Material: 816 Brass*

Finishes: Rough Brass
Polished Chrome**

Pin Lugs:

| | |
|---------|------------------|
| NST | 3,0686 x 7 1/2 T |
| BCT | 3,0000 x 8 TP |
| CF | 2,9900 x 7 1/2 T |
| CIN-new | 3,0580 x 6 TP |
| CIN-old | 3,0930 x 6 TP |
| CLV | 3,0780 x 8 TP |
| Dayton | 3,2340 x 6 TP |
| DET | 3,1250 x 7 1/2 T |
| NovoSco | 3,2300 x 5 TP |
| NYFD | 3,0300 x 8 TP |
| ONT | 3,0310 x 5 TP |
| PHX | 3,0520 x 6 TP |
| QST | 3,0310 x 7 TP |
| Raleigh | 3,3400 x 6 TP |
| Richmon | 3,3120 x 8 TP |
| TEM | 3,0750 x 6 TP |

Approvals:
UL Listed 300psi
FM Approved 300psi

*Contains lead. Not for use in water systems intended for human consumption.
**Polished chrome finish only available for NST pin lugs.

PROJECT INFORMATION

Project: _____
 Address: _____
 Contractor: _____
 Engineer: _____
 Submittal Date: _____

Notes 1: _____
 Notes 2: _____

FP-024

APPROVAL STAMP

Project: Approved
 Address: Approved as noted
 Contractor: Not approved
 Engineer: _____
 Remarks: _____

FP-SUB-09-000-v012024/016

Fire Department Connection

Single Clapper, Siamese 90°

Description

The 90 Degree Fire Department Connection is UL Listed and FM Approved. Manufactured from solid brass* components to increase service life. The single clapper design features brass clapper and brass seats within a cast brass body. The 2 1/2" inlets are pin lug design for ease of use and compatibility with local fire service districts. Swivel gaskets are included.

Installation

Installation of the Fire Department Connection is achieved with readily available job site tools. Prior to installation make sure the proper identification sign has been installed on the nipple. Coat male threads of 4" IPS nipple liberally with a suitable pipe thread sealant such as PipeFt®. Tighten FDC one full turn past hand tight. Make sure FDC is aligned according to requirements.

DO NOT OVERTIGHTEN. OVERTIGHTENING MAY CAUSE SEVERE STRETCHING AND POSSIBLE CRACKING OF THE OF THE FDC BODY.

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Specifications

Size: 4" IPS Outlet (2) 2 1/2" Inlets

Type: 90 Degree Pattern

Material: Brass*

Finishes: Rough Brass
Polished Chrome**

Pin Lugs:

| | |
|---------|------------------|
| NST | 3,0686 x 7 1/2 T |
| BCT | 3,0000 x 8 TP |
| CF | 2,9900 x 7 1/2 T |
| CIN-new | 3,0580 x 6 TP |
| CIN-old | 3,0930 x 6 TP |
| CLV | 3,0780 x 8 TP |
| Dayton | 3,2340 x 6 TP |
| NovoSco | 3,2300 x 5 TP |
| NYFD | 3,0300 x 8 TP |
| ONT | 3,0310 x 5 TP |
| PHX | 3,0520 x 6 TP |
| QST | 3,0310 x 7 TP |
| Raleigh | 3,3400 x 6 TP |
| Richmon | 3,3120 x 8 TP |
| TEM | 3,0750 x 6 TP |

Approvals:
UL Listed 300psi
FM Approved 300psi

*Contains lead. Not for use in water systems intended for human consumption.
**Polished chrome finish only available for NST pin lugs.

3108 LINDSEY AVE
CARLEBAD, CA 92010
+1 (760) 599-1188
+1 (800) 344-1822
+1 (800) 344-3775 FAX

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WARNING: Corrosion and Reproductive Harm - www.P60Warnings.org

UL LISTED FM APPROVED

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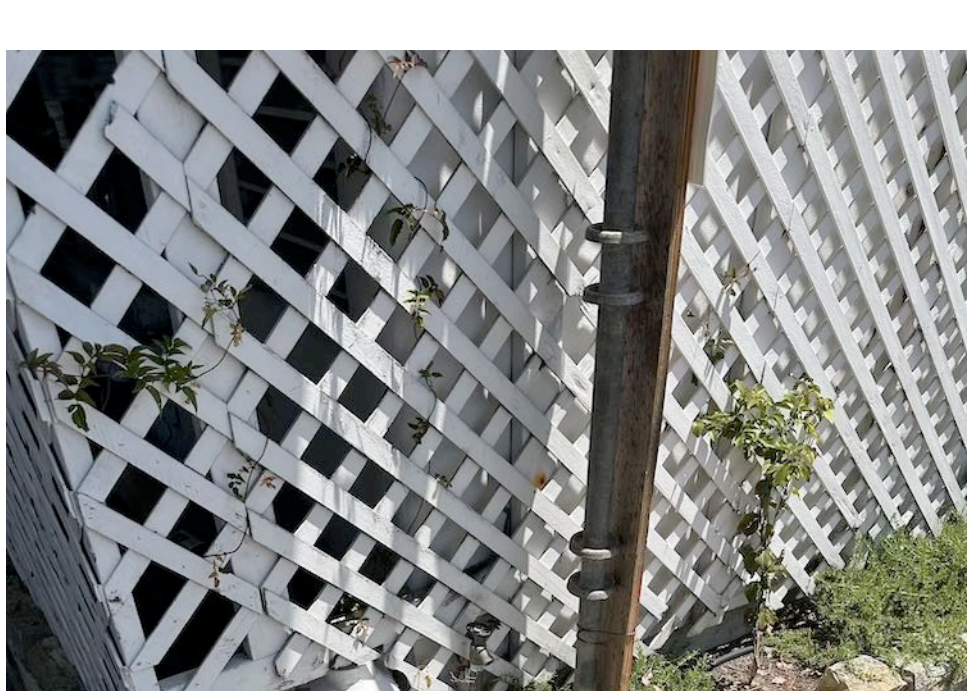
Proposed Brass Fire Department Connection on Free Standing Pipe on Lincoln Street



Proposed Exterior Fire Riser Cabinet Louvered Access Door



Off-White/Cream Color of Cabinet to Match Existing Color of Exterior Stucco Walls



Replacement Wood Lattice at Existing Gas Meters and Valves

**D
A**

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Phase 1**
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 APN: 010-213-003-000

Job No. _____

Date: _____
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Materials,
Finishes and
Product
Specifications

As Shown

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ERIK D. DYAR
 No. 28515
 February 2017
 STATE OF CALIFORNIA

Sheet No.
8