



# CITY OF CARMEL-BY-THE-SEA FOREST AND BEACH COMMISSION AGENDA

Forest and Beach Commissioners Sarah Berling,  
Kelly Brezoczky, Tamara Michie, Harry Ross, and  
Neal Rutta

All meetings are held in the City Council Chambers  
East Side of Monte Verde Street  
Between Ocean and 7th Avenues

**Regular Meeting**  
**Thursday, May 14, 2026**  
**2:30 PM**

**Tour 1:00 PM**  
**Meeting 2:30 PM**

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## HYBRID MEETING ATTENDANCE OPTIONS

This meeting will be held in person and via teleconference ("hybrid"). The public is welcome to attend the meeting in person or remotely via Zoom, however, the meeting will proceed as normal even if there are technical difficulties accessing Zoom. The City will do its best to resolve any technical issues as quickly as possible. To view or listen to the meeting from home, you may also watch the live stream on the City's YouTube page at: <https://www.youtube.com/@CityofCarmelbytheSea/streams>. To participate in the meeting via Zoom, copy and paste the link below into your browser.

<https://www.google.com/url?q=https://ci-carmel-ca-us.zoom.us/j/83372780195>  
Webinar ID: 833 7278 0195  
Passcode: 424131  
Join by phone: (253) 215-8782

## HOW TO OFFER PUBLIC COMMENT

The public may give public comment at this meeting in person or use the Zoom teleconference module, provided that there is access to Zoom during the meeting. Zoom comments will be taken after the in-person comments. The public can also email comments to [yculver@ci.carmel.ca.us](mailto:yculver@ci.carmel.ca.us). Comments must be received at least 2 hours before the meeting in order to be provided to the legislative body. Comments received after that time and up to the beginning of the meeting will be made part of the record.

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## TOUR OF INSPECTION

Prior to calling the meeting to order, the Board/Commission will conduct an on-site tour of inspection of the properties listed on the agenda and the public is welcome to join. After the tour is complete, the Board/Commission will begin the meeting in the City Council Chambers no earlier than the time noted on the agenda.

DS 26081 (P&T 2024 LLC) - 11th Avenue 2 northeast of Torres Street

DS 26084 (Britannia California) - San Antonio 2 SW 11th

DS 25095 (DCV Enterprise Partners II, LLC) - Camino Real 2 southwest of 7th Avenue

DS 25139 (Kshire Property Investments LLC) - Monte Verde Street 4 southwest of 3rd Avenue

Leadership Carmel Project - Lower Forest Hill Park adjacent to playground

## **CALL TO ORDER AND ROLL CALL - CHAMBERS**

### **PLEDGE OF ALLEGIANCE**

### **ANNOUNCEMENTS**

### **PUBLIC APPEARANCES**

Members of the public are entitled to speak on matters of municipal concern not on the agenda during Public Appearances. Each person's comments shall be limited to 3 minutes, or as otherwise established by the Chair. While stating your name is optional, it helps to identify speakers in the meeting minutes. Under the Brown Act, public comment for matters on the agenda must relate to that agenda item, and public comments for matters not on the agenda must relate to the subject matter jurisdiction of this legislative body. Remote or in-person participants who do not comply with the requirements of the Brown Act will be muted.

### **CONSENT AGENDA**

Items on the consent agenda are routine in nature and do not require discussion or independent action. Members of the Commission or the public may ask that any items be considered individually for purposes of Board/Commission discussion and/ or for public comment. Unless that is done, one motion may be used to adopt all recommended actions.

- 1) Approval for April Forest and Beach Meeting Minutes

### **PUBLIC HEARINGS**

- 2) Consideration of an Appeal filed for the denial of request to remove one (1) Monterey cypress tree at Carmelo Street 2 Northwest of 12th Ave (TR 25-165) (Continued from Feb 19)

### **ORDERS OF BUSINESS**

Orders of Business are agenda items that require Board or Commission discussion, debate,

direction to staff, and/or action.

- 3) Presentation by Leadership Carmel's class of 2026
- 4) Consideration of the tree density for a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 26081 (P&T 2024 LLC), located at 11th Avenue 2 northeast of Torres Street. APN 010-331-008-000.
- 5) Consideration of the tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 26084 (Britannia California), located at San Antonio 2 SW 11th. APN 010-291-002-000
- 6) Consideration of the tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 25095 (DCV Enterprise II, LLC), located at Camino Real 2 southwest of 7th Avenue. APN 010-265-002-000.
- 7) Consideration of non-significant tree removal and the tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 25139 (Kshire Property Investments LLC), located at Monte Verde Street 4 southwest of 3rd Avenue. APN 010-223-009-000
- 8) April 2026 Forester's Report

## **DIRECTOR'S REPORT**

- 9) Public Works Director Report for April 2026

## **FUTURE AGENDA ITEMS**

## **ADJOURNMENT**

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This agenda was posted at City Hall, Monte Verde Street between Ocean Avenue and 7th Avenue, Harrison Memorial Library, located on the NE corner of Ocean Avenue and Lincoln Street, the Carmel-by-the-Sea Post Office, 5th Avenue between Dolores Street and San Carlos Street, and the City's webpage (<http://www.ci.carmel.ca.us>) in accordance with applicable legal requirements.

## **SUPPLEMENTAL MATERIAL RECEIVED AFTER THE POSTING OF THE AGENDA**

Any supplemental writings or documents distributed to a majority of the Forest & Beach Commission regarding any item on this agenda, received after the posting of the agenda will be available at the Public Works Department located on the east side of Junipero Street between Fourth and Fifth Avenues during normal business hours.

## **SPECIAL NOTICES TO PUBLIC**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office at 831-620-2000 at least

48 hours prior to the meeting to ensure that reasonable arrangements can be made to provide accessibility to the meeting (28CFR 35.102-35.104 ADA Title II).

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**CITY OF CARMEL-BY-THE-SEA  
Forest and Beach Commission  
Staff Report**

**May 14, 2026  
CONSENT AGENDA**

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Yvette Culver, Administrative Coordinator

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** Approval for April Forest and Beach Meeting Minutes

**RECOMMENDATION:**

**BACKGROUND / SUMMARY:**

**FISCAL IMPACT:**

**ATTACHMENTS:**

1. FB Meeting Minutes April 9- 2026 Final JO

**FOREST AND BEACH COMMISSION**  
**REGULAR MEETING**  
April 9, 2026

**CALL TO ORDER AND ROLL CALL**

**PRESENT:** Berling, Brezoczky, Michie, Ross, Rutta  
**ABSENT:** None  
**STAFF PRESENT:** Ken Wysocki, Public Works Director  
Justin Ono, City Forester  
Rene Aldama, Assistant City Forester  
Yvette Culver, Commission Clerk/Administrative Coordinator

**PLEDGE OF ALLEGIANCE**

Chair Michie led the public in the Pledge of Allegiance

**ANNOUNCEMENTS**

Justin Ono, City Forester announced the Earth and Arbor Day event on March 18, 2026, at 10:00 am in Devendorf Park.

**PUBLIC COMMENT**

Cindy Lloyd

**CONSENT AGENDA**

1. Approve the Meeting Minutes for the March 12, 2026, meeting

Commissioner Ross moved to approve the Meeting Minutes for the March 12, 2026, seconded by Commissioner Rutta, and carried by the following roll call vote:

**AYES:** Berling, Brezoczky, Michie, Ross, Rutta  
**NOES:** None  
**ABSENT:** None  
**ABSTAIN:** None

**PUBLIC HEARING**

Consideration of an Appeal filed for the denial of request to remove one (1) Monterey Pine tree at Junipero Street, 6 NE of 8<sup>th</sup> Avenue (TR 25-332)

**SPEAKER**

Justin Ono, City Forester  
Mr. Silvestri, Applicant and Home owner  
Mrs. Silvestri, Applicant and Home owner  
Albert Weisfuss, Certified Arborist

**PUBLIC COMMENT**

None

Commissioner Ross moved to determine that the one(1) Monterey Pine tree at Junipero Street, 6 NE of 8<sup>th</sup> Avenue is not significant, seconded by Commissioner Brezoczky, based on the inaccuracy in a report from 2021 and carried by the following roll call vote:

**AYES:** Berling, Brezoczky, Michie, Ross,  
**NOES:** Rutta  
**ABSENT:** None  
**ABSTAIN:** None

Commissioner Brezoczky moved to approve the removal of the single Monterey Pine tree at Junipero Street, 6 NE of 8<sup>th</sup> Avenue that is leaning over the structure, with a requirement of two (2) upper canopy trees be planted in its place as a replacement for the removal of this tree and that they be planted within the City, seconded by Commissioner Berling, and carried by the following roll call vote:

**AYES:** Berling, Brezoczky, Michie  
**NOES:** Ross, Rutta  
**ABSENT:** None  
**ABSTAIN:** None

**ORDERS OF BUSINESS**

**DIRECTORS REPORT**

- Receive an update on the monthly Public Works Directors Report for March 2026.

**SPEAKERS**

Ken Wysocki

**FORESTERS REOPORT**

- Receive an update on the monthly Foresters Report for March 2026

**SPEAKERS**

Justin Ono, City Forester

**PUBLIC COMMENT**

Shirley Moon (Technical issues and unable to hear Ms. Moon’s comments)

**FUTURE AGENDA ITEMS**

In-lieu of fee  
Nursery City trees  
Revisit another appeal  
New Leadership Carmel Project

APPROVED: ATTEST:

\_\_\_\_\_  
Tamara Michie, Chair

\_\_\_\_\_  
Yvette Culver, Commission Clerk



**CITY OF CARMEL-BY-THE-SEA**  
**Forest and Beach Commission**  
**Staff Report**

**May 14, 2026**  
**PUBLIC HEARINGS**

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Justin Ono, City Forester

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** Consideration of an Appeal filed for the denial of request to remove one  
(1) Monterey cypress tree at Carmelo Street 2 Northwest of 12th Ave  
(TR 25-165) (Continued from Feb 19)

**RECOMMENDATION:**

Staff recommends that the Forest and Beach Commission Deny the appeal to remove the Monterey Cypress tree at Carmelo Street 2 Northwest of 13<sup>th</sup> Ave (TR 26-165)

**BACKGROUND / SUMMARY:**

In May 2025, Architect Erik Dyar contacted the City Forester on behalf of his client, the Applicant Mr. John Brookes. Mr. Dyar requested to assess one 42-inch diameter Monterey cypress tree on private property due to concerns of exposed roots on a neighboring property uncovered during the construction of a retaining wall. (See **Attachment 1** for the Site Maps). The wall was part of a project nearing the end of construction that started in 2019, when the tree was classified as "Significant" by the City Forester in the Preliminary Site Assessment (**Attachment 2**).

During the site visit, the roots were assessed and the City Forester and did not have immediate concern, but an adjacent oak was approved for removal that was uprooting and resting on the applicant's fence. At the time of the inspection, the large cypress tree's health was discussed, and the forester found the tree to be in fair condition and was not overly concerned with the health or stability of the tree. Consultation with the Original Arborist who assessed the trees before construction was recommended for prescriptions to maximize the tree's health.

The Applicant subsequently contacted an additional Consulting arborist whose report (**Attachment 3**) provided an opinion that the tree should be removed, and a tree assessment for removal was filed (**Attachment 4**). The Applicant was notified that their removal request was denied but missed the appeal window. In November 2025, the applicant reopened the tree assessment for the purpose of appealing the decision to Forest and Beach. Staff is requesting the judgment of the Commission to decide the fate of the Significant tree on the construction site. The Applicant was notified of their opportunity to speak at the Public Hearing.

The Applicant and their Consulting Arborist presented a new Arborist report (**Attachment 5**) to the February 19th meeting of the Forest and Beach Commission that was unable to be fully evaluated due to its late inclusion in the record and the item was continued after a 2-2 split vote failed to carry a passing motion. After the meeting, the report was analyzed by staff and a subsequent Significant Tree Evaluation (Attachment 6) was prepared with the tree failing to attain significance due to its internal decay. with this new information Staff is asking the Commission to reconsider the appeal for the removal of the Monterey Cypress tree at Carmelo Street 2 Northwest of 13<sup>th</sup> Ave (TR 26-165).

Should the tree be approved by the commission for removal, one (1) upper canopy tree is advised to be planted.

Per Carmel Municipal Code Section 17.48.080:

Tree Density Chart for property of 4,000 square feet		
	# of Upper Canopy	# of Lower Canopy
Recommended:	3	1
Currently:	3	1
If removal(s) is/are approved:	3	0

**ENVIRONMENTAL EVALUATION:**

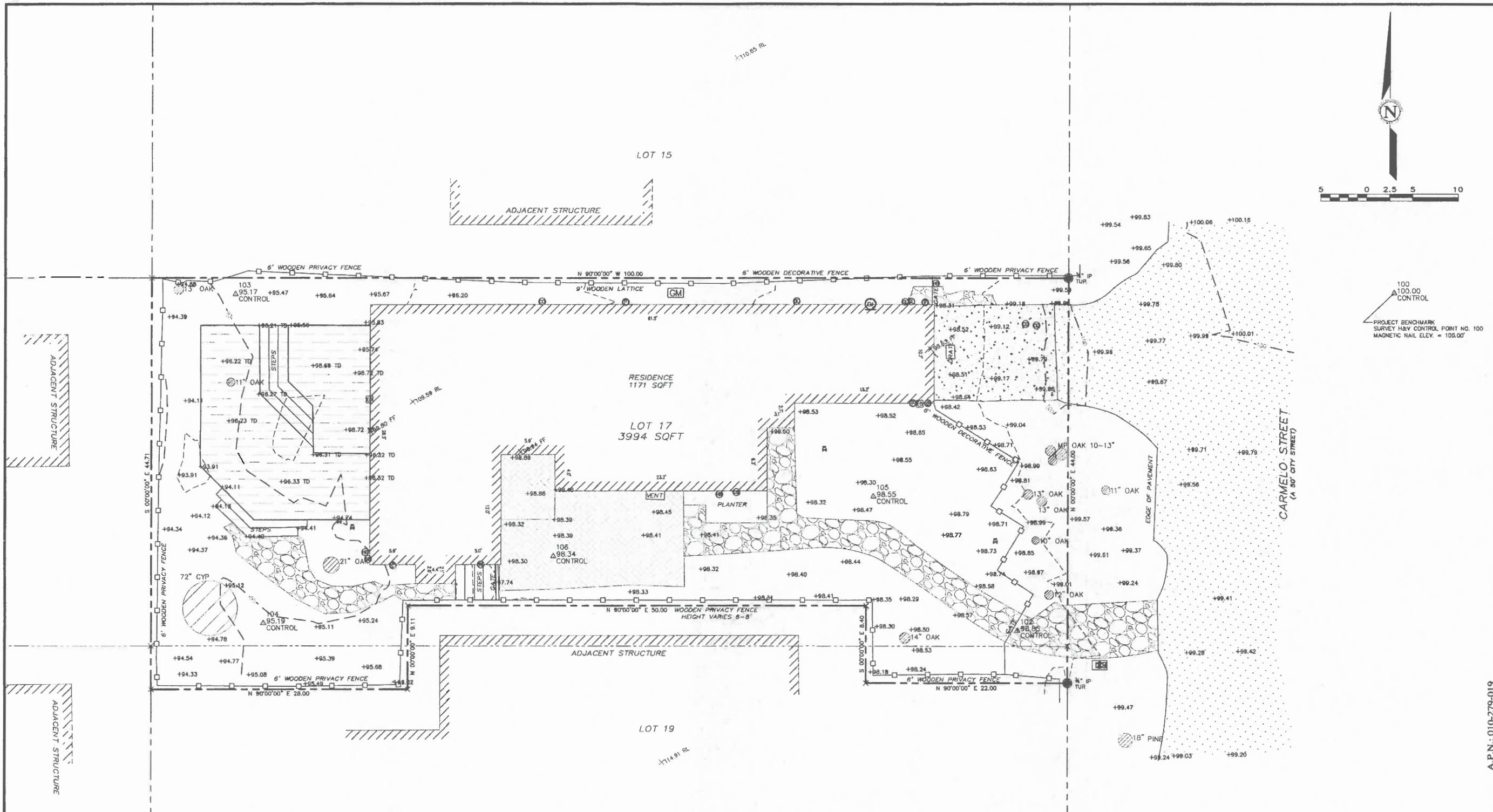
This action does not constitute a project within the meaning of the California Environmental Quality Act under Public Resources Code Section 21065. It has no potential to cause either a direct physical change in the environment or a reasonably foreseeable indirect physical change in the environment and, therefore, does not require environmental review.

**FISCAL IMPACT:**

Should the tree be approved for removal, all costs will be at the Applicant’s expense. Should the Applicant be required to plant an additional tree(s) on the private property, the Applicant will pay the cost of the replacement tree(s).

## **ATTACHMENTS:**

1. (Attachment 1) - Site Plans
2. (Attachment 2) PSA 19-380 (Brookes) - Tree Assessment
3. (Attachment 3) - Arborist Report
4. (Attachment 4) TR 25-165 (Brookes) Application & Site Plan
5. Attachment 5 - Advanced Arborist Assessment
6. Attachment 6 - Significant Tree Evaluation Worksheet



APPROVED BY:  
 GUY R. CHAULD  
 P.E. No. 8705



A.P.N.: 010-279-019  
**TOPOGRAPHIC MAP**  
 OF  
**THAT CERTAIN PARCEL DESCRIBED IN**  
**DOCUMENT NO. 2010072230**  
 CARMEL-BY-THE-SEA, CALIFORNIA  
 FOR  
 MR. JOHN BROOKES AND MS. KELLY MELDRUM

SCALE: 1" = 5'  
 DATE: MAY 2019  
 JOB NO. 1952-01  
 SHEET 1  
 OF 1 SHEETS

**LEGEND:**

--- (dashed)	PROPERTY BOUNDARY LINE
--- (long dashed)	ADJACENT PROPERTY BOUNDARY LINE
--- (short dashed)	ORIGINAL PROPERTY BOUNDARY LINE
--- (dash-dot)	EASEMENT LINE (TYPE AS SHOWN)
--- (solid)	ROADWAY CENTERLINE
--- (dashed with 5' interval)	MAJOR CONTOUR LINE (5' INTERVAL)
--- (dashed with 1' interval)	MINOR CONTOUR LINE (1' INTERVAL)
--- (dashed with fence symbol)	FENCE (TYPE AS MARKED)
[Pattern]	ASPHALT CONCRETE SURFACE
[Pattern]	PORTLAND CEMENT CONCRETE SURFACE
[Pattern]	GRASS SURFACE
[Pattern]	STONE WALKING SURFACE
[Pattern]	RAISED WOODEN DECKING SURFACE
[Pattern]	NATURAL GROUND SURFACE/LANDSCAPED AREA

[Symbol]	CONDUIT	[Symbol]	GAS LINE	[Symbol]	GAS METER	[Symbol]	FOUND MONUMENT - TYPE NOTED
[Symbol]	PIPE	[Symbol]	TELEPHONE SERVICE	[Symbol]	WATER METER	[Symbol]	SURVEY H&V CONTROL POINT
[Symbol]	CLEANOUT	[Symbol]	UNKNOWN UTILITY	[Symbol]	PGE BOX	[Symbol]	SPOT ELEVATION
[Symbol]	DOWNSPOUT	[Symbol]	FUSE BOX	[Symbol]	UTILITY HUB	[Symbol]	TOP-DECK ELEVATION
[Symbol]	HOSEBIB	[Symbol]	ELECTRICAL OUTLET	[Symbol]	TELEPHONE BOX	[Symbol]	RODGE LINE
[Symbol]	WATER SERVICE	[Symbol]	UTILITY POLE	[Symbol]	ELECTRICAL HUB	[Symbol]	FINISHED FLOOR
[Symbol]	IRRIGATION BOX	[Symbol]	GUY WIRE	[Symbol]	ELECTRICAL PANEL	[Symbol]	TREE (TYPE AND SIZE AS MARKED)
[Symbol]	IRRIGATION CONTROL VALVE	[Symbol]	MAILBOX	[Symbol]	ELECTRICAL METER	[Symbol]	CENTER OF TREE
[Symbol]	WATER VALVE	[Symbol]	AREA DRAIN	[Symbol]	SANITARY SEWER MANHOLE	[Symbol]	TWO PRONGED TREE
[Symbol]	DRAIN LINE	[Symbol]	HYDRANT	[Symbol]	STORM DRAIN MANHOLE	[Symbol]	THREE PRONGED TREE
[Symbol]	SIGN	[Symbol]		[Symbol]	PGE GAS MANHOLE	[Symbol]	
		[Symbol]		[Symbol]	ELECTRICAL MANHOLE		

- GENERAL NOTES:**
- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED IN CARMELO STREET 36' DUE EAST OF THE NORTHEASTERN PROPERTY CORNER, ELEVATION = 100.00' AS SHOWN.
  - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
  - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
  - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (04/23/2019) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
  - BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
  - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

RECEIVED  
 SEP 12 2019  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.

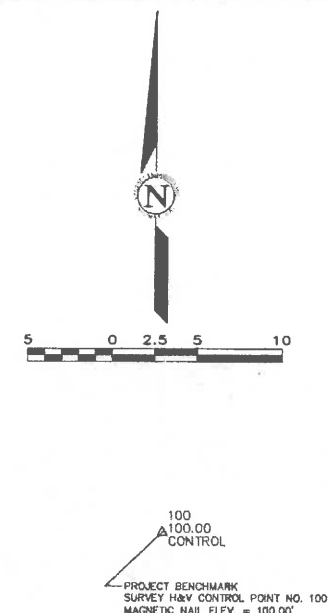
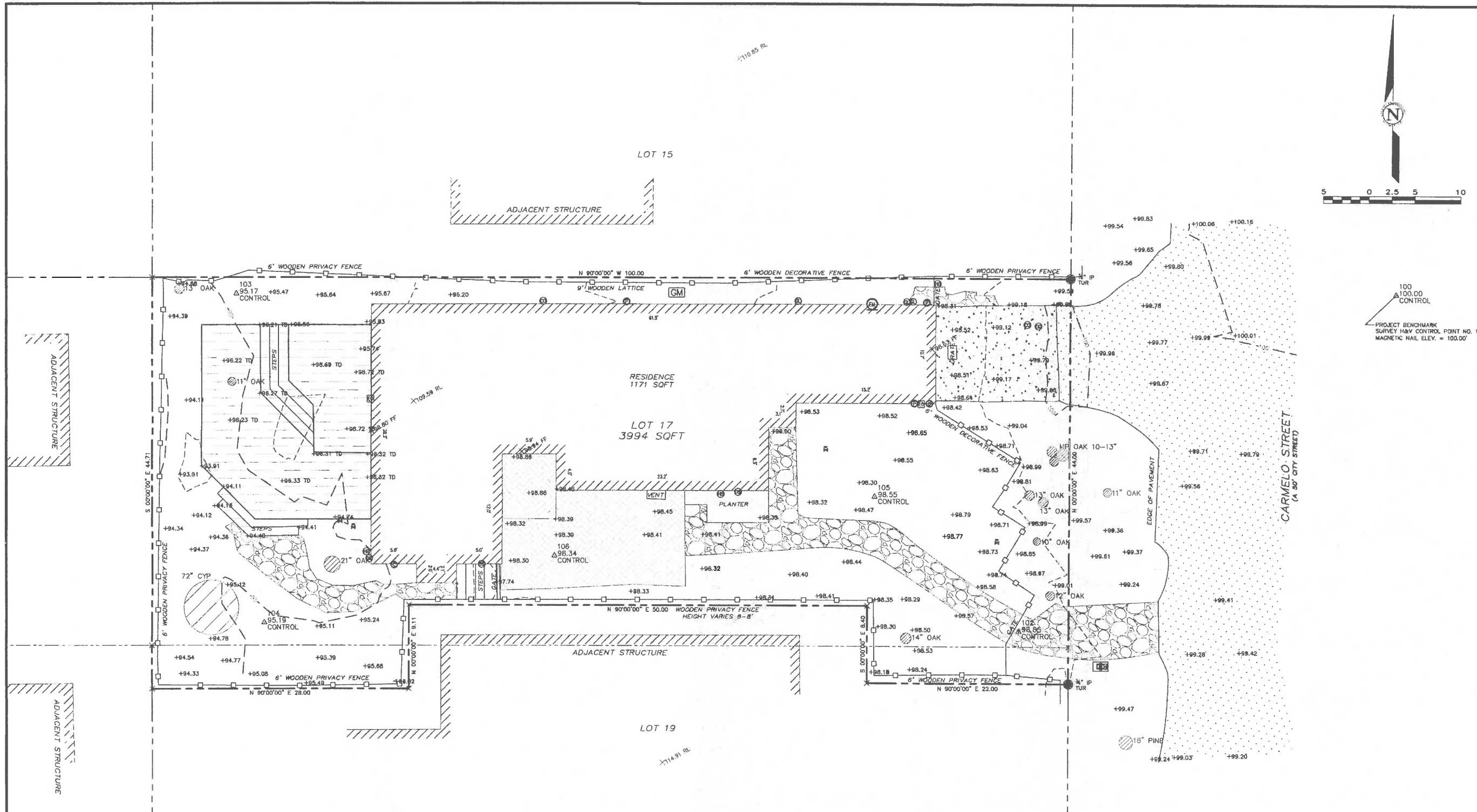
**CONTACT INFORMATION:**

**OWNER:**  
 MR. JOHN BROOKES AND MS. KELLY MELDRUM  
 1850 CALIFORNIA AVENUE  
 PALO ALTO, CA 94506

**ARCHITECT:**  
 ATTN: ERIC DYAR  
 DYAR ARCHITECTURE  
 P.O. BOX 4709  
 CARMEL, CA 93921

**SITE LOCATION:**  
 CARMELO ST., 2NW OF 12TH AVE.  
 CARMEL-BY-THE-SEA, CA 93921

05/14/18 JK	RELEASED TO CLIENT
No. DATE BY	REVISION



APPROVED BY:  
 GUY R. CHAUDHRY  
 P.E., S. No. 8703



**TOPOGRAPHIC MAP**  
 OF  
 THAT CERTAIN PARCEL DESCRIBED IN  
 DOCUMENT NO. 2010072230  
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 FOR  
 MR. JOHN BROOKES AND MS. KELLY MELDRUM

A.P.N.: 010-279-019  
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 SHEET 1  
 OF 1 SHEETS

**LEGEND:**

---	PROPERTY BOUNDARY LINE	---	ADJACENT PROPERTY BOUNDARY LINE
---	ORIGINAL PROPERTY BOUNDARY LINE	---	EASEMENT LINE (TYPE AS SHOWN)
---	ROADWAY CENTERLINE	---	MAJOR CONTOUR LINE (5' INTERVAL)
---	MINOR CONTOUR LINE (1' INTERVAL)	---	FENCE (TYPE AS MARKED)
---	ASPHALT CONCRETE SURFACE	---	PORTLAND CEMENT CONCRETE SURFACE
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⊕	CONDUIT	⊕	GAS LINE	⊕	FOUND MONUMENT - TYPE NOTED
⊕	PIPE	⊕	TELEPHONE SERVICE	⊕	SURVEY H&V CONTROL POINT
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⊕	SIGN	⊕			

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RECEIVED  
 SEP 13 2019  
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 Planning & Building Dept.

**CONTACT INFORMATION:**

OWNER:  
 MR. JOHN BROOKES AND MS. KELLY MELDRUM  
 1630 CALIFORNIA AVENUE  
 PALO ALTO, CA 94306

ARCHITECT:  
 ATTN: ERIC DYAR  
 DYAR ARCHITECTURE  
 P.O. BOX 4709  
 CARMEL, CA 93921

SITE LOCATION:  
 CARMEL ST., 2ND OF 12TH AVE.  
 CARMEL-BY-THE-SEA, CA 93921

No.	DATE	BY	RELEASED TO CLIENT	REVISION
05/14/19	JK			

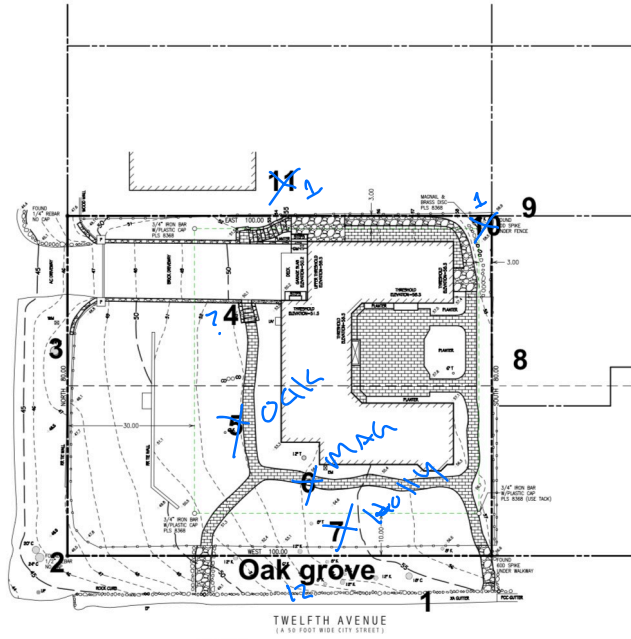
**LEGEND:**

- RECORD BOUNDARY
- RECORD RIGHT OF WAY
- RECORD LOT LINE
- REFERENCE LINE
- OLD RECORD LINE
- ◆ PROJECT BENCHMARK
- SO --- CONTOUR (MAJOR)
- CONTOUR (MINOR)
- P --- EDGE OF PAVEMENT
- UP OF GUTTER
- FACE OF CURB
- BACK OF CURB
- BACK OF SIDEWALK
- EDGE OF DRIVEWAY
- BUILDING OUTLINE
- CHIMNEY
- APPROXIMATE FLOOR ELEVATION
- DECK
- CONCRETE PAD
- STEP
- PLANTER
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- AREA DRAIN
- STORM DRAIN CATCH BASIN
- UTILITY POLE
- GUY WIRE
- ELECTRIC VAULT
- UTILITY WALL
- ELECTRIC METER
- STREET LIGHT
- LAMP POST
- GAS METER
- TELEPHONE STANDARD
- CABLE TELEVISION BOX
- WOOD FENCE
- WIRE FENCE
- STREET SIGN
- SIGN POST
- MAIL BOX
- PILLAR
- BLOCK RETAINING WALL
- ROCK RETAINING WALL
- STACKED BLOCK WALL
- STONE WALKWAY AND/OR WALL
- EDGE OF FOLIAGE
- TREE WITH SIZE AND TYPE
- EUCALYPTUS
- CYPRESS
- OAK
- PALM
- PINE
- REDWOOD
- TREE
- SPOT ELEVATION

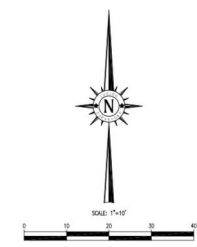
**ABBREVIATIONS:**

- AC ASPHALT CONCRETE
- OS ORNAMENTAL SPACE
- CMF CORRUGATED METAL PIPE
- CP CONCRETE PAD
- RS RECOMPOSED GRANITE
- EA EXPOSED AGGREGATE
- HE HIGH DENSITY POLY ETHYLENE
- PC PORTLAND CEMENT CONCRETE
- PS PAVER STONE
- PVC POLY VINYL CHLORIDE
- RC REINFORCED CONCRETE PIPE
- TE THICK ENCLOSURE

SAN ANTONIO AVENUE  
(A 50 FOOT WIDE CITY STREET)



TWELFTH AVENUE  
(A 50 FOOT WIDE CITY STREET)



**BENCHMARK:**  
ELEVATIONS FOR THIS SURVEY ARE BASED ON AN ASSUMED DATUM. AN ELEVATION OF 55.44 HAS BEEN ASSIGNED TO SURVEY MARK & ALUMINUM DISC SET IN THE PAVEMENT NEAR THE SOUTHERLY BOUNDARY LINE OF THE SUBJECT PROPERTY AS SHOWN HEREON.

- NOTES:**
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPERVISED BY RECORDED DATA. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS, AND IS SHOWN APPROXIMATE ONLY. NOT FOR CONSTRUCTION. THIS IS NOT A BOUNDARY SURVEY.
  - INTERFERENCES OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
  - DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
  - CONTOUR INTERVAL = ONE FOOT.
  - TREE TYPES IF ANY ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY. SIZE REFERRED BY ANY APPROVED ARBORIST PROVIDED BY OTHER. BE AWARE THAT THE SURVEYOR'S TREE MEASUREMENTS MAY VARY FROM THOSE OF AN ARBORIST. DIRECTION OF GROWTH AND DRIP LINE SHOWN TO BE VERIFIED BY OTHER.
  - POSITION AND DIMENSIONS OF ANY BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS. IRREGULAR SHAPES OF ROCK FACINGS, POPOLES, BALL INCE CONCRETE, ETC. SQUARE FOOTAGE OF BUILDINGS IF ANY IS SHOWN APPROXIMATE ONLY, AND SUBJECT TO REVISION AT ANY TIME.
  - NOT ALL UTILITY ROSES AND/OR UTILITY STRUCTURES ARE SHOWN. INCLUDED BUT NOT LIMITED TO JOSE BIRN AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY ROSES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO AFFECT THE GENERAL UTILITY CONDITIONS ARE SHOWN.
  - THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN AUGUST OF 2022.

**TOPOGRAPHIC SITE SURVEY**  
OF  
**LOTS 18 & 20, BLOCK "X"**  
IN  
**VOLUME 1, C&T PAGE 45 1/2**  
Records of Monterey County  
PREPARED FOR  
**William W. Moritz**

BY  
**LUCIDO SURVEYORS**  
Boundary and Construction Surveys · Topographic and Photogrammetric Mapping  
ALTA Surveys and GIS Database Management · Land Planning and Consulting  
25 Lucido Avenue info@lucidosurveyors.com  
COLUMBIA, CALIFORNIA 95926 (916) 420-9332

SCALE: 1"=40' PROJECT No. 3041 SEPTEMBER 2022  
CITY OF CARMEL COUNTY OF MONTEREY STATE OF CALIFORNIA



ONE SHEET ONLY

### Tree Evaluation Worksheet

Block: X      Lot(s): 17 APN: 010-279-019 Street Location: Carmelo 2 NW of 12th

Planner: Marnie Waffle

Property Owner: John Brooks and Kelly Meldrum

Recommended Tree Planting: N/A

**Part One: Initial Screening:**

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6
YES						
NO	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6
Species	CO	CO	MC	CO	CO	CO
YES	X	X	X	X	X	X
NO						

MP – Monterey pine  
 BP – Bishop pine  
 CO – Coast live oak  
 CS – California sycamore  
 OT – Other

MC – Monterey cypress  
 CR – Coast redwood  
 CI – Catalina Ironwood  
 BL – Big leaf maple

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6
YES	X	X	X	X	X	X
NO						

	Diameter	Height
Monterey pine, Monterey cypress, Bishop pine, Coast redwood	6 inches @ dbh	15 Feet
Coast live oak – single trunk tree	6 inches @ dbh	N/A
Coast live oak – cluster or multi-trunk tree measured as an average diameter of all the trunks that reach breast height	6 inches @ dbh	N/A
California sycamore, Big leaf maple, Catalina ironwood	10 inches @ dbh	25 Feet

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

**Part Two: Assessment For Tree Significance**

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6
score	1	1	2	1	2	1

- 0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
- 1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
- 2 points:** The tree appears healthy and in good condition.
- 3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6
score	2	0	2	2	2	2

- 0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
- 1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
- 2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
- 3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each trunk/branch.

F. What is the age and vigor of the tree?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>
<b>score</b>	1	2	1	2	2	1

- 0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
- 1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
- 2 points:** The tree is young to middle age and shows normal vigor.
- 3 points:** The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>
<b>score</b>	2	2	2	1	1	2

- 0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.

**1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.

**2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**

Please record the total points scored on pages two and three for each tree.

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>
<b>Total Score</b>	6	5	7	6	7	6

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>
<b>YES</b>	X		X	X	X	X
<b>NO</b>		X				

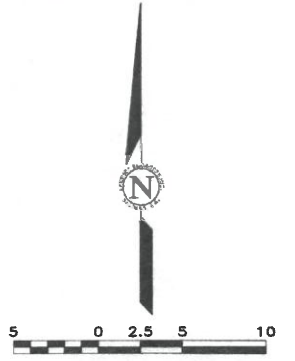
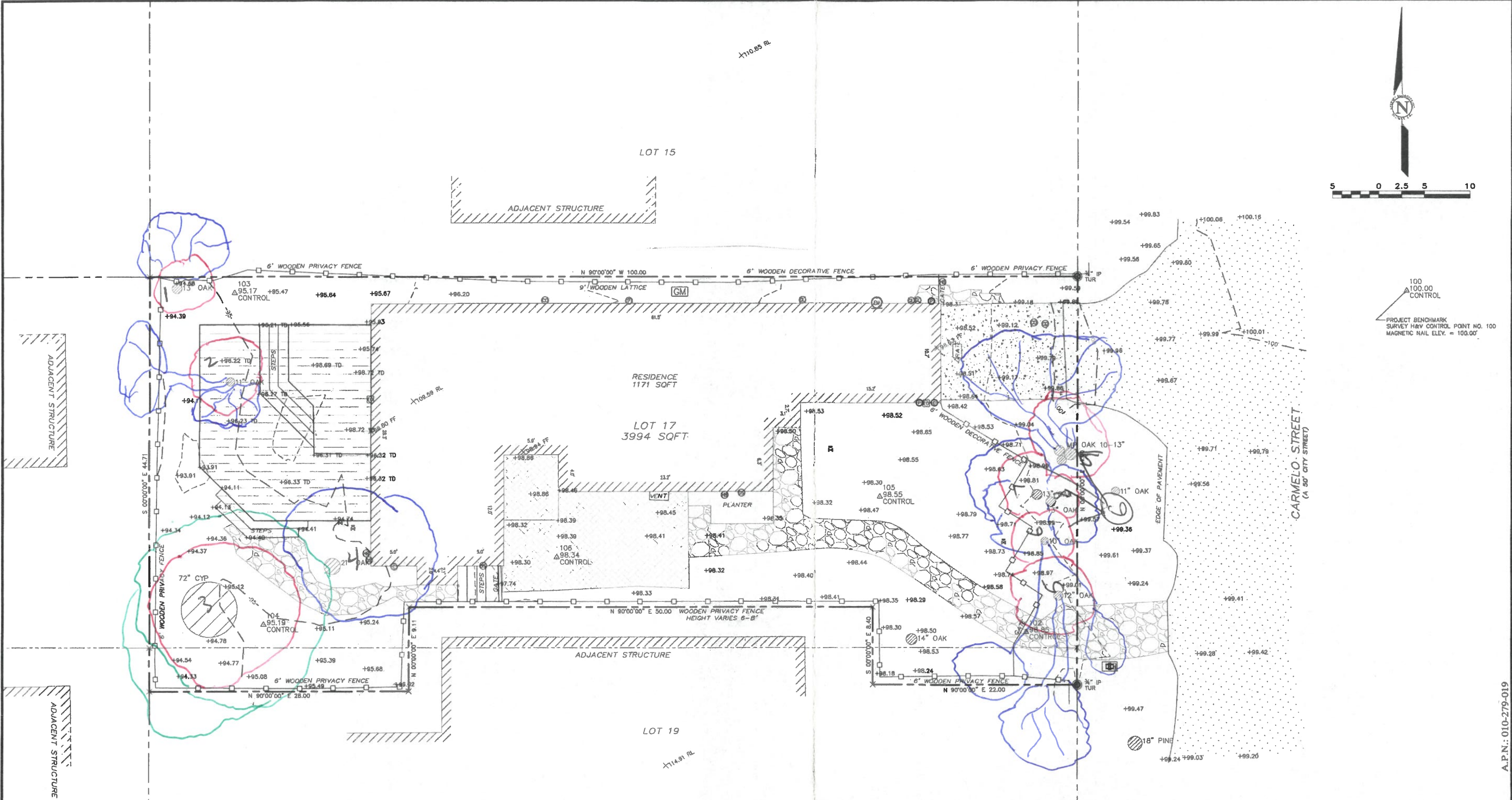
B. Are there any other factors that would disqualify a tree from a determination of significance? (Explain any 'yes' answer)

No  X  Yes \_\_\_\_\_

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>
<b>SIGNIF</b>	X		X	X	X	X
<b>MOD SIGNIF</b>		X				
<b>NOT SIGNIF</b>						



APPROVED BY:  
 GUY R. CHAITTO  
 P.L.S. No. 87708



**TOPOGRAPHIC MAP**  
 OF  
 THAT CERTAIN PARCEL DESCRIBED IN  
 DOCUMENT NO. 2010072230  
 CARMEL-BY-THE-SEA, CALIFORNIA  
 FOR  
 MR. JOHN BROOKES AND MS. KELLY MELDRUM

**CONTACT INFORMATION:**  
 OWNER:  
 MR. JOHN BROOKES AND MS. KELLY MELDRUM  
 1830 CALIFORNIA AVENUE  
 PALO ALTO, CA 94306  
 ARCHITECT:  
 ATTN: ERIC DYAR  
 DYAR ARCHITECTURE  
 P.O. BOX 4709  
 CARMEL, CA 93921  
 SITE LOCATION:  
 CARMEL ST., 2ND OF 12TH AVE.  
 CARMEL-BY-THE-SEA, CA 93921

SCALE: 1" = 5'  
 DATE: MAY 2019  
 JOB NO. 1952-01  
 SHEET 1  
 OF 1 SHEETS

**LEGEND:**

	PROPERTY BOUNDARY LINE		CONDUIT		GAS LINE		GAS METER		FOUND MONUMENT - TYPE NOTED
	ADJACENT PROPERTY BOUNDARY LINE		PIPE		TELEPHONE SERVICE		WATER METER		SURVEY H&V CONTROL POINT
	ORIGINAL PROPERTY BOUNDARY LINE		CLEANOUT		UNKNOWN UTILITY		PGE BOX		SPOT ELEVATION
	EASEMENT LINE (TYPE AS SHOWN)		DOWNSPOUT		FUSE BOX		UTILITY HUB		TOP-DECK ELEVATION
	ROADWAY CENTERLINE		HOSE BIB		ELECTRICAL OUTLET		TELEPHONE BOX		RIDGELINE
	MAJOR CONTOUR LINE (5' INTERVAL)		WATER SERVICE		UTILITY POLE		ELECTRICAL HUB		FINISHED FLOOR
	MINOR CONTOUR LINE (1' INTERVAL)		IRRIGATION BOX		GUY WIRE		ELECTRICAL PANEL		TREE (TYPE AND SIZE AS MARKED) CENTER OF SYMBOL IS APPROX. CENTER OF TREE
	FENCE (TYPE AS MARKED)		IRRIGATION CONTROL VALVE		MAILBOX		ELECTRICAL METER		TWO PRONGED TREE
	ASPHALT CONCRETE SURFACE		WATER VALVE		AREA DRAIN		SANITARY SEWER MANHOLE		THREE PRONGED TREE
	PORTLAND CEMENT CONCRETE SURFACE		DRAIN LINE		HYDRANT		PGE GAS MANHOLE		
	GRASS SURFACE				SIGN		ELECTRICAL MANHOLE		
	STONE WALKING SURFACE								
	RAISED WOODEN DECKING SURFACE								
	NATURAL GROUND SURFACE/LANDSCAPED AREA								

**GENERAL NOTES:**

- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED IN CARMELO STREET 36' DUE EAST OF THE NORTHEASTERN PROPERTY CORNER, ELEVATION = 100.00' AS SHOWN.
- NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
- TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
- THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (04/23/2019) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
- BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
- THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TESTS TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.

RECEIVED  
 SEP 19 2019  
 City of Carmel-by-the-Sea  
 Planning & Building Dept.



Albert Weisfuss  
ISA Certified Arborist #WE-1388A  
ISA Tree Risk Assessment Qualified  
(831) 869-2767  
[albertweisfuss@gmail.com](mailto:albertweisfuss@gmail.com)  
[montereybaytreeworks.com](http://montereybaytreeworks.com)

## ARBORIST REPORT

**Location:** Carmelo 2NW 12th

**Prepared by:** Monterey Bay Treeworks

**Subject:** Tree Risk Assessment – Monterey cypress (*Hesperocyparis macrocarpa* )

**Date:** 7/6/25

### 1. Introduction and Overview

Monterey Bay Treeworks was engaged by Topes Tree Service to prepare this Arborist Report concerning the subject tree. The objective of this report is to provide an integrated assessment of the level of risk posed by the tree and to offer appropriate recommendations for mitigation.

#### **This report includes:**

- An assessment of the risk level posed by the subject tree.
- Recommendations for mitigation measures regarding retention or removal, as appropriate.

This report is intended solely for the purpose of supporting informed decisions about risk mitigation concerning the subject tree. The information provided reflects the conditions observed at the time of inspection. Because tree conditions can evolve over time, reassessments are recommended annually and after major storm events if retention is considered.

### 2. Scope of the Assessment

The assessment was conducted as a Level II evaluation in accordance with the International Society of Arboriculture's (ISA's) Best Management Practices (BMPs) for Tree Risk Assessment and the ANSI A300 Part 9 Standard for Tree Risk Assessment.

#### **This report:**

- Documents the level of risk posed by the tree based on visual evaluation.
- Makes recommendations to reduce risk where applicable.
- Provides a written record of findings and professional observations at the time of inspection.

### **Levels of Assessment:**

- **Level 1:** A limited visual assessment of an individual tree or population of trees, such as a preliminary “drive-by” evaluation.
- **Level 2:** A detailed 360-degree visual evaluation of a tree, including examination of the crown, trunk, trunk flare, above-ground roots, and site conditions relative to surrounding targets. This is often performed using the ISA Basic Tree Risk Assessment form under TRAQ methodology.
- **Level 3:** An advanced assessment that exceeds Level 2, such as aerial inspections, decay detection using tools like resistance drilling or tomography, and root crown excavation.

### **3. Description of Subject Tree**

- Species: Monterey cypress (*Hesperocyparis macrocarpa* )
- Diameter at Standard Height (DSH): 77 inches
- Height: Approximately 60 feet
- Canopy Spread: Approximately 40 feet
- Vigor: Low - Tree is weak, growing slowly, and/or under stress
- Foliage Condition: Necrotic - A percentage of dead foliage in the crown ( $\geq 40\%$ )
- Live Crown Ratio (LCR): Approximately 25%

### **4. Key Structural Interpretation**

#### **Canopy:**

- Sparse, exhibiting greater than or equal to 40% dieback of twigs and foliage.
- Over-extended limbs have developed toward the west.
- Unknown pruning history

#### **Trunk:**

- Divides into multiple leaders at approximately seven feet above grade, likely as a result of previous topping practices. This growth pattern suggests the tree was possibly maintained as part of a hedge.
- Advanced decay is present in multiple areas of the trunk, as confirmed through probing, sounding, and the removal of loose bark.

#### **Roots/Root Collar:**

- Loose bark and abnormal buttress formation with decay present - evidence of past mechanical or decay stress
- Extensive root pruning and grade changes are evident on the west side of the tree, associated with the construction of a retaining wall

### 5. Overall Structural Risk Summary

The subject tree exhibits multiple structural deficiencies that significantly compromise its stability and health. The canopy is sparse, with greater than or equal to 40% dieback of twigs and foliage, and several over-extended limbs have developed toward the west, increasing the likelihood of branch failure. The trunk divides into multiple leaders at approximately seven feet above grade, likely due to previous topping practices, indicating the tree was possibly once maintained as part of a hedge — a condition that often results in weak branch attachments. Advanced decay is present in multiple areas of the trunk, as confirmed through probing, sounding, and removal of loose bark, further reducing structural integrity. Additionally, extensive root pruning and grade changes on the west side for the construction of a retaining wall have likely damaged the root system, diminishing anchorage and increasing the potential for root plate failure. Taken together, these factors elevate the likelihood of partial or complete structural failure, especially under adverse weather conditions or soil saturation. Mitigation of removal is recommended to reduce risk to nearby structures and occupants.

Regulatory context:

An arborist report and application is required for tree removal:

All tree work shall comply with the City of Carmel Tree Ordinance Chapter 17.48 Trees and Shrubs

17.48.050 Required Permits.

17.48.060 Permit Applications

### 7. Tree Risk Rating Matrix

Based on the ISA TRAQ framework (Likelihood of Failure × Likelihood of Impact):

Likelihood of Failure	Likelihood of Impact	Consequences	Risk Rating
Probable	High	substantial personal injury, moderate- to high-value property damage,	High

## 9. Recommended Mitigation Measures

Option	Action
Pruning	Not sufficient due health/condition and decay within trunk and supporting roots
Cabling/Bracing	Considered, but multiple decay points negated this option
Annual Monitoring	Not acceptable as a stand-alone measure given the high risk
<b>Tree Removal</b>	<b>Strongly recommended to eliminate the hazard</b>
Replacement Planting	Recommended with one (1) Monterey Cypress 5 gallon in size (1:1 ratio)

## 10. Conclusion

### Conclusion and Recommendation

Based on the multiple structural deficiencies observed - including significant canopy dieback, poor form resulting from past topping, advanced trunk decay, and compromised root stability due to extensive pruning and grade changes — the subject tree poses an elevated risk of structural failure. Given these conditions and the likelihood of failure impacting nearby structures or occupants, removal of the tree is recommended as the most appropriate risk mitigation measure.

### Respectfully submitted,

*Certified Arborist, Monterey Bay Treeworks*

Albert Weisfuss, ISA Certified Arborist # WE-1388A

[montereybaytreeworks.com](http://montereybaytreeworks.com)

831-869-27676

### Certifying Statement

I, Albert Weisfuss, certify that:

- I have personally overseen the inspection of this tree and property referred to in this report, and have stated my findings accurately.
- I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
- The opinions and conclusions stated herein are my own.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

July 6, 2025

\_\_\_\_\_  
Albert Weisfuss

\_\_\_\_\_  
Date



*The canopy is sparse, with greater than or equal to 40% dieback of twigs and foliage, and several over-extended limbs have developed toward the west, increasing the likelihood of branch failure.*

*The trunk divides into multiple leaders at approximately seven feet above grade, likely due to previous topping practices — a condition that often results in weak branch attachments.*

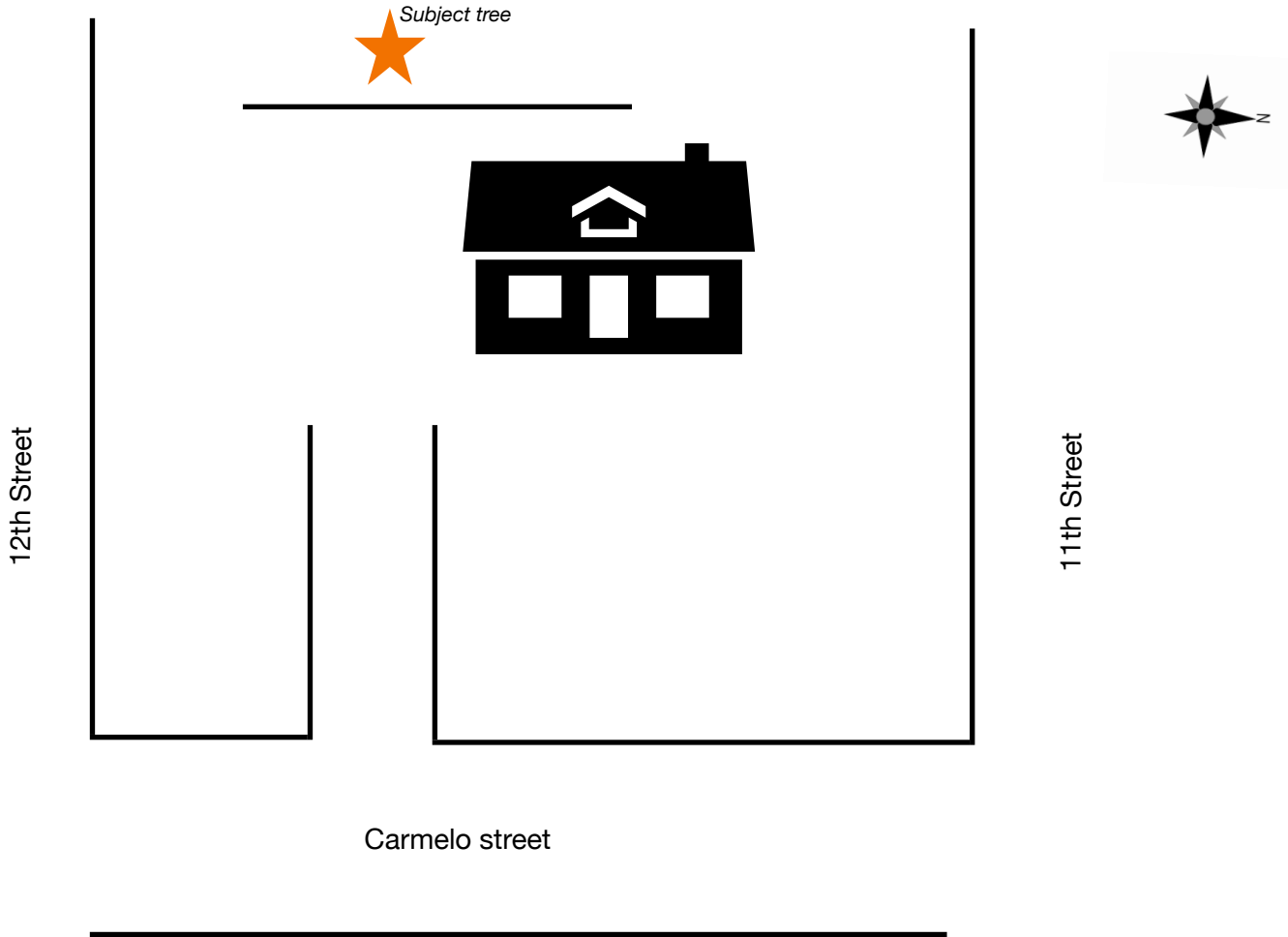


*Advanced decay is present in multiple areas of the trunk, as confirmed through probing, sounding, and removal of loose bark, further reducing structural integrity.*

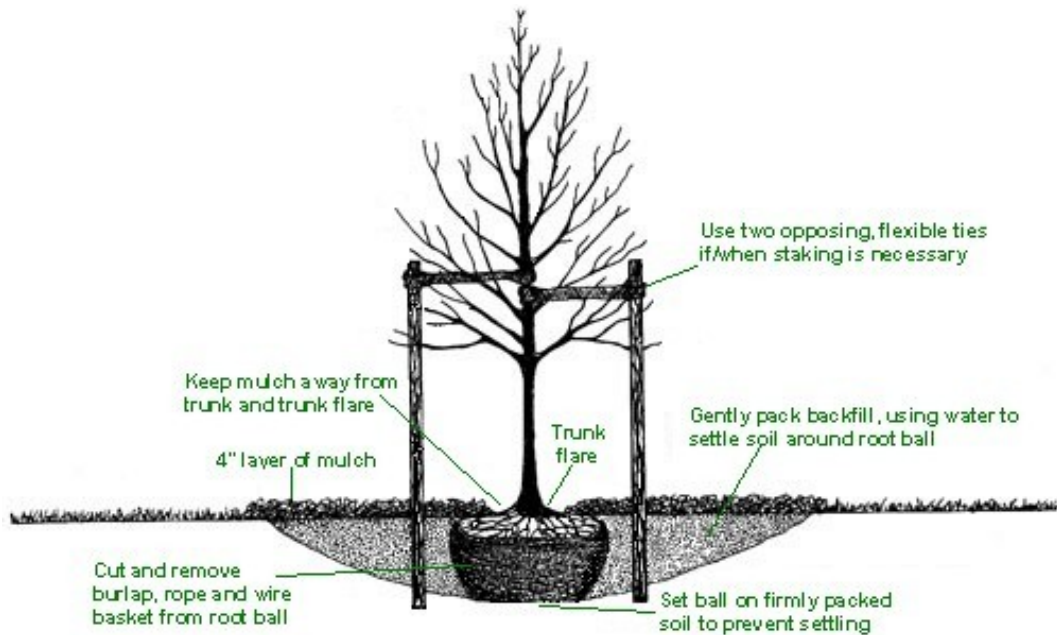


*Advanced decay and vertical reaction wood forming - The presence of well-developed vertical reaction wood shows the tree has been long-standing and is under chronic mechanical stress.*

CARMELO 2NW 12TH



Planting Detail If trees must be staked, place stakes as low as possible but no higher than 2/3 the height of the tree. Materials used to tie the tree to the stake should be flexible and allow for movement all the way down to the ground so that trunk taper develops correctly. Remove all staking material after roots have established. This can be as early as a few months, but should be no longer than one growing season. Materials used for permanent tree protection should never be attached to the tree.



Tree Age	Frequency	Quantity	Drip* & Sprinkler*** Run Time
<b>Three days after planted</b>	Fill the watering basin 3 times, using a total of 15-20 gallons	15-20 gallons	Hand watering best at this stage
<b>First three weeks after planting</b>	Fill the watering basin once a week	5-10 gallons	Drip & Bubbler run time: Depends on flow rate
<b>Two – Six months following planting</b>	Fill the watering basin every week or every other week	10-15 gallons	Drip & Bubbler run time: Depends on flow rate
<b>Remainder of first year</b>	Water every other week in absence of soaking rain	10-15 gallons	Drip & Bubbler run time: Depends on flow rate
<b>Year Two</b>	Every two to four weeks when rain is scarce	15-20 gallons	Drip & Bubbler run time: Depends on flow rate
<b>Year Three-Five</b>	Once a month	20-30 gallons	Drip & Bubbler run time: Depends on flow rate

***Arborists Disclosure:***

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and attempt to reduce the risk of living near trees. Arborists cannot detect every condition that could possibly lead to the structural failure to a tree. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees is to eliminate all of the trees.

1. Where the treatment, pruning and/or removal of trees are involved, it is the Client's responsibility to advise Consultant of any issues regarding property boundaries, property ownership, site lines, disputes between neighbors and other related issues.
2. Consultant shall invoice Client periodically for the services rendered. Client shall pay such invoices upon receipt. If invoices are not paid within 30 days, a late payment shall be charged of 1 ½ percent per month.
3. Consultant shall perform its services in a manner consistent with the standard of care and skill ordinarily exercised by members of the profession practicing under similar conditions in the geographic vicinity and at the time the services are performed. No warranty, representation or guarantee, express or implied, is intended by this agreement.
4. Services provided under this agreement, including all reports, information or recommendations prepared or issued by Consultant, are for the exclusive use of the Client for the project specified herein. No other use is authorized under this agreement. Client will not distribute or convey Consultant's reports or recommendations to any other person or organization other than those identified in the project description without Consultant's written authorization. Client releases Consultant from liability and agrees to defend, indemnify and hold harmless Consultant from any and all claims, liabilities, damages or expenses arising, in whole or in part, from such distribution.
5. Consultant is not responsible for the completion or quality of work that is dependent upon or performed by the Client or third parties not under the direct control of the Consultant, nor responsible for their acts or omissions or for any damages resulting there from.
6. Client and Consultant agree to mediate any claims or disputes arising out of this agreement, before initiating any litigation. The mediation shall be conducted by a mediation service acceptable to the parties. The parties shall make a demand for mediation within a reasonable time after a claim or dispute arises and the parties agree to mediate in good faith. In no event shall any demand for mediation be made after such claim or dispute would be barred by applicable law. Mediation fees would be shared equally. In the event that mediation does not resolve the issue, the parties agree to proceed through binding arbitration. The prevailing party in such proceeding shall be entitled to a reasonable sum for attorney's fees and expert witness fees.
7. Client agrees to indemnify, defend and hold harmless Consultant from and against any and all claims, liabilities, suits, demands, losses, costs and expenses, including, but not limited to, reasonable attorneys' fees and all legal expenses and fees incurred through appeal, and all interest thereon, accruing or resulting to any and all persons, firms or any other legal entities on account of any damages or losses to property or persons, including injuries or death, or economic losses, arising out of the project and/or this agreement, except to the extent that said damages or losses are caused by Consultant's sold negligence or willful misconduct.
8. If, during the course of performance of this agreement, conditions or circumstances are discovered which were not contemplated by Consultant at the commencement of this agreement, Consultant shall notify Client in writing of the newly discovered conditions or circumstances, and Client and Consultant shall renegotiate, in good faith, the terms and conditions of this agreement. If amended terms and conditions cannot be agreed upon within 30 days after notice, Consultant may terminate this agreement and be compensated under paragraph 4 in this agreement.
9. This agreement may be terminated by either party upon 10 days' notice sent first class mail. In the event of a termination, Client shall pay for all reasonable charges for work performed by Consultant through the 10<sup>th</sup> day after mailing the notice of termination. The limitation of liability and indemnity obligations of this agreement shall be binding notwithstanding any termination of this agreement.
10. This agreement is the entire and integrated agreement between Client and Consultant and supersedes all prior negotiations, statements or agreements, either written or oral. Writing signed by both parties may only amend this agreement.
11. In the event that any term or provision in this agreement is found to be unenforceable or invalid for any reason, the remainder of this agreement shall continue in full force and effect, and the parties agree that any unenforceable or invalid term or provision shall be amended to the minimum extent required to make such term or provision enforceable and valid.
12. Neither Client nor Consultant shall assign this agreement without the written consent of the other.
13. Nothing in this agreement shall create a contractual relationship for the benefit of any third party.



# TREE HAZARD EVALUATION FORM

**All Sections of This Form Must Be Fully Completed by a Certified Arborist**

Site Address: Carmelo 2NW. 12TH

Tree Location: REAR

Owner:  public  private  unknown  other Date: 7/6/25

Arborist's Name: Albert Weisfuss ISA Certified Arborist No: WE-1388A

If applicable, please provide your ISA Certified Tree Risk Assessor No: Qualified

Arborist's Signature: Albert Weisfuss

### HAZARD RATING:

$$\frac{4}{\text{Failure Potential}} + \frac{3}{\text{Size of Part}} + \frac{4}{\text{Target Rating}} = \frac{11}{\text{Hazard Rating}}$$

- Immediate Action Needed
- Needs Further Inspection
- Dead Tree

### TREE CHARACTERISTICS

Tree #: 408 Species Name: Pinus radiata Common Name: Monterey pine

DBH: 37 # of Trunks: 1 Height: 70 Crown Spread: 30

Form:  generally symmetric  minor asymmetry  major asymmetry  stump sprout  stag-head

Crown Class:  dominant  co-dominant  intermediate  suppressed

Live Crown Ratio: 25 % Age Class:  young  semi-mature  mature  over-mature/senescent

Pruning History:  none  crown cleaned  excessively thinned  topped  crown raised  pollarded  crown reduced  flush cuts  
 cabled/braced  multiple pruning events Approximate Dates: Unknown

Special Value:  specimen  heritage/historic  wildlife  unusual  street tree  screen  shade  indigenous  protected by gov. agency

### TREE HEALTH

Foliage Cover:  normal  chronic  necrotic

Epicormic Sprouts?  yes  no

Growth Obstructions:

Foliage Density:  normal  sparse

Leaf Size:  normal  small

stakes  wire/ties  signs  cables

Annual Shoot Growth:  excellent  average  poor

Twig Dieback?  yes  no

curb/pavement  guards

Woundwood Development:  excellent  average  poor  none

other \_\_\_\_\_

Vigor Class:  excellent  average  fair  poor

Major Pests/Diseases: \_\_\_\_\_

### SITE CONDITIONS

Site Character:  residence  commercial  industrial  park  open space  natural  woodland/forest

Landscape Type:  parkway  raised bed  container  mound  lawn  shrub border  wind break

Irrigation:  none  adequate  inadequate  excessive  trunk wet

Recent Site Disturbance?  yes  no If Yes, Explain:  construction  soil disturbance  grade change  line clearing  site clearing

% of Dripline Paved:  0%  10-25%  25-50%  50-75%  75-100% Pavement Lifted?  yes  no

% of Dripling with Fill Soil:  0%  10-25%  25-50%  50-75%  75-100%

% of Dripline Grade Lowered:  0%  10-25%  25-50%  50-75%  75-100%

Soil Problems:  drainage  shallow  compacted  droughty  saline  alkaline  acidic  small volume  disease center  
 clay  expansive  history of failure  slope \_\_\_\_\_  aspect \_\_\_\_\_

Obstructions:  lights  signage  line-of-site  view  overhead lines  underground utilities  traffic  adjacent veg.  \_\_\_\_\_

Exposure to Wind:  single tree  below canopy  above canopy  recently exposed  windward, canopy edge  area prone to windthrow

Prevailing Wind Direction: NW Occurrence of Snow/Ice Storms:  never  seldom  regularly

### TARGET

Use Under Tree:  building  parking  traffic  pedestrian  recreation  landscape  hardscape  small features  utility lines

Distance to Target: 20' Can Target Be Moved?  yes  no Can Use Be Restricted?  yes  no

Occupancy:  occasional use  intermittent use  frequent use  constant use

**TREE DEFECTS**

**ROOT DEFECTS:** Suspect Root Rot?  yes  no Mushroom/Conk/Bracket Present?  yes  no Species ID: \_\_\_\_\_  
 Exposed Roots:  severe  moderate  low Undermind:  severe  moderate  low  
 Root Pruned?  yes  no Root Area Affected: 30 % Buttress Wounded?  yes  no When: UNKNOWN  
 Restricted Root Area:  severe  moderate  low Potential For Root Failure:  severe  moderate  low  
 LEAN: 0-5 deg. from vertical  natural  unnatural  self-corrected Soil Heaving?  yes  no Lean Severity:  severe  moderate  low  
 Decay in Plane of Lean?  yes  no Roots Broken?  yes  no Soil Cracking?  yes  no Compounding Factors: \_\_\_\_\_  
**CROWN DEFECTS** (Indicate presence of individual defects by rating severity—S for severe, M for moderate, and L for Low):

DEFECT	ROOT CROWN	TRUNK	SCAFFOLDS	BRANCHES
poor taper		S		
bow, sweep				
codominants / forks		S		
multiple attachments		S		
included bark		S		
excessive end weight			M	
crack / split				
hangers				
girdling				
wound / seam	S	S		
decay	S	S		
cavity	S	S		
conk / mushroom / bracket				
bleeding / sap flow				
loose / cracked bark	M	S		
nesting hold / bee hive				
deadwood / stubs				M
borers / termites / ants				
cankers / galls / burls				
previous failure				

**HAZARD RATING**

Tree Part Most Likely to Fail: Entire  
 Inspection Period:  annual  biannual  other \_\_\_\_\_  
 Failure Potential + Size of Defective Part + Target Rating = Hazard Rating  
4 + 3 + 4 = 11  
 Can Target Be Moved?  yes  no Can Use Be Restricted?  yes  no  
 Occupancy:  occasional use  intermittent use  frequent use  constant use

**Failure Potential:** 1-Low; 2-Moderate; 3-Moderately-High; 4-High; 5-Extreme  
**Size of Part:** 1- <4"; 2- 4-20"; 3- >20"  
**Target Rating:** 1-Low; 2-Mod; 3- Mod-High; 4-High

**HAZARD ABATEMENT**

Prune:  remove defective part  reduce end weight  crown clean  thin  raise canopy  crown reduce  restructure  shape  
 Cable/Brace: \_\_\_\_\_ Inspect Further:  root crown  decay  aerial  monitor Move Target? yes  no  
 Remove Tree:  yes  no Replace Tree?  yes  no If Yes, Recommended Species: MONTEREY CYPRESS  
 Effect on Adjacent Trees:  none  evaluate Notification:  owner  manager  governing agency Date: 7/6/25

**COMMENTS**

Advanced decay is present throughout the entire trunk, compromising the tree's structural core and load-bearing capacity.  
This internal decay significantly reduces the trunk's ability to support the canopy, which is already exhibiting thinning foliage and substantial dieback.



**APPLICATION FOR TREE EVALUATION, PRUNING, OR REMOVAL PERMIT**

CITY OF CARMEL-BY-THE-SEA  
P.O. BOX "CC"  
Carmel-by-the-Sea, CA 93921  
(831) 620-2070

Date Received: 6/3/25  
Fee \$ \_\_\_\_\_  
Permit ID #: 28-165

Address of tree/property: 2 NW of Carmelo 1/2 12th

Assessor's Parcel Number (APN): 010279019000

Is this application for purposes of construction?\*  Yes  No If yes, associated planning permit ID #: \_\_\_\_\_  
\*Applications without construction purposes do not require an arborist's report.

Ownership of tree(s) (select all that apply):  Private  City  Unsure  Shared/split

Is the Applicant the...  Property Owner  Neighbor  Tree Company  Other: \_\_\_\_\_

**Applicant Information:**

Name: John Brookes  
Mailing Address: 2 NW of Carmelo  
and 12th Carmel Ca 93921  
Email: d.brookes@sbglobal.net  
Phone: 650-387-2524

**Property Owner Information (if different from Applicant):**

Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Email: \_\_\_\_\_  
Phone: \_\_\_\_\_

The applicant **MUST** note the quantity, size, and species of tree(s) in **EACH** of the following categories:

For Evaluation: \_\_\_\_\_

For Pruning\*: \_\_\_\_\_

For Removal: 1 Monterey Cypress 42" DBH, 1 OAK 15" DBH

\*Please include the quantity and estimated size of branches or roots for pruning.

Reason for pruning or removal: Hazardous

Who will be pruning or removing: Top's Tree Service

**For evaluations only:**

Would you like to be present at the time of evaluation?  Yes  No

I consent to the City issuing a tree pruning or removal permit based on the result of the evaluation.\*

\*Additional fees may be due for the issuance of a pruning or removal permit.

(Property Owner Initials)

A site plan **MUST** accompany this application. The site plan must:

1. Include the outline of the property and footprint of any structures, label surrounding streets, and include North arrow.
2. Identify location(s) and species of:
  - ...all trees on the private property (if request involves privately-owned trees).
  - ...all trees in the Public Right of Way adjacent to the property (if request involves City-owned trees).
3. Identify the tree(s) requested for evaluation, pruning, or removal.

Optional: Photo of tree(s)

No work is permitted until a permit has been issued to you. The approved permit **MUST** be posted in a conspicuous location in the adjacent public right-of-way prior to beginning work and must remain posted for the entire duration of the work.

Applicant Signature: \_\_\_\_\_



Date: 6/2/2025

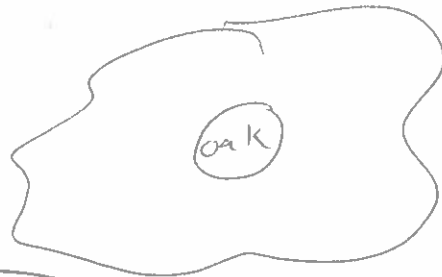
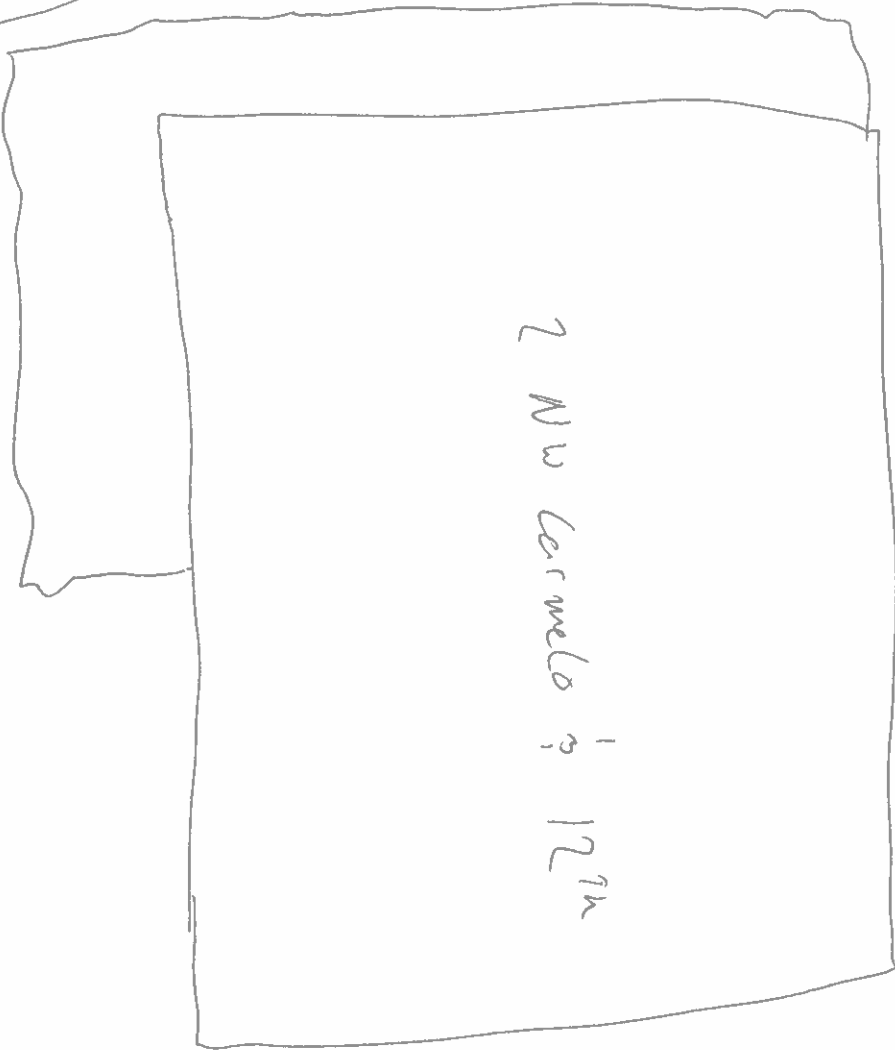
Property Owner Signature\*  
(if different from Applicant): \_\_\_\_\_

Date: \_\_\_\_\_

\*If the tree(s) is/are privately owned, the property owner's signature **MUST** be provided.

**INCOMPLETE APPLICATIONS WILL BE REJECTED.**

4  
Olive press



Carmelo St





Albert Weisfuss  
ISA Certified Arborist #WE-1388A  
ISA Tree Risk Assessment Qualified  
(831) 869-2767  
[albertweisfuss@gmail.com](mailto:albertweisfuss@gmail.com)  
[montereybaytreeworks.com](http://montereybaytreeworks.com)

## ARBORIST REPORT

**Client:** John Brooks

**Site Address:** Carmelo 2 NW of 12th Ave, Carmel-by-the-Sea, CA

**Assessment Dates:** 7/26/2025 (Level II) | 2/18/2026 (Level III)

**Prepared by:** Albert Weisfuss, ISA Certified Arborist WE-1388A, TRAQ Qualified

### Introduction

On July 26, 2025, Topes Tree Service requested an arborist report for a mature Monterey cypress located in the rear southwest corner of the property at Carmelo 2 NW of 12th Ave, Carmel-by-the-Sea.

The scope of work included a Level II Tree Risk Assessment in accordance with the International Society of Arboriculture (ISA) Best Management Practices (BMPs) and ANSI A300 Part 9 Tree Risk Assessment Standard.

A Level II assessment consists of a detailed ground-based inspection utilizing visual evaluation, sounding, probing, and professional judgment to identify structural defects and risk potential.

On February 16, 2026, Monterey Bay Treeworks was contacted again by Topes Tree Service at the request of the property owner to conduct a Level III Tree Risk Assessment and provide professional input related to an appeal before the City of Carmel Forest and Beach Commission (TR 25-165).

A Level III assessment includes advanced diagnostic testing to evaluate internal wood condition and structural integrity.

### City of Carmel Staff Review

The City of Carmel staff report dated February 19, 2026, was reviewed and considered as part of this assessment.

Submitted by: Justin Ono, City Forester

Approved by: Ken Wysocki, Public Works Director

Subject: Appeal of denial to remove one (1) Monterey cypress tree at Carmelo Street 2 NW of 12th Ave (TR 25-165)

The staff recommendation was to deny the appeal and retain the tree, based primarily on prior visual inspection findings and classification of the tree as “Significant.”

The City Tree Evaluation Worksheet appears to be based on a visual-only inspection consistent with a Level I Tree Assessment, which is a limited visual evaluation typically performed from a single vantage point without advanced testing.

## Observed Conditions / Findings

### Tree Description

- Species: Monterey Cypress (*Hesperocyparis macrocarpa*)
- Diameter at Standard Height (DSH): 77 inches
- Height: ~60 feet
- Canopy Spread: ~40 feet
- Live Crown Ratio: ~25%
- Vigor: Low
- Foliage Condition: Necrotic with  $\geq 40\%$  dieback

### Canopy Condition

- Sparse canopy with  $\geq 40\%$  twig and foliage dieback.
- Over-extended limbs developed toward the west.
- Low live crown ratio (~25%) indicating reduced photosynthetic capacity.
- Limited physiological reserves.

### Trunk Structure

- Multi-leader structure originating approximately 7 feet above grade, likely due to historic topping practices.
- Historic topping often results in weak branch attachments and structural instability.
- Multiple decay indicators present, including loose bark and abnormal wood response.

### Decay Indicators Defined:

Visible or measurable signs of internal wood degradation, including cavities, loose bark, fungal colonization, abnormal swelling, and structural deformities.

### Included Bark

Included bark was present between co-dominant stems.

Included bark is bark trapped between branch unions that prevents proper wood fusion, creating weak attachments prone to splitting.

### Pruning Wound Decay

A large lateral limb removal on the west side revealed advanced decay at the base of the pruning cut extending into the trunk.

### Cubical Rot Defined:

Cubical rot is a form of brown rot that degrades cellulose, leaving brittle cube-like wood fragments and significantly reducing structural strength.

### Root and Root Collar Condition

- Loose bark and abnormal buttress formation observed.
- Evidence of past mechanical stress and decay.
- Significant root pruning and grade changes on the west side associated with retaining wall construction.
- Root loss likely reduced anchorage and structural stability.

### Level III Diagnostic Testing

On February 18, 2026, a Level III assessment was conducted, including advanced decay testing.

An IML RESI PD400 was used to evaluate internal wood integrity at four locations around the trunk base.

#### Results

- Advanced internal decay detected at all test locations
- Large internal cavities confirmed
- Significant structural compromise at the base of the tree

These findings indicate conditions not detectable through visual inspection alone and contradict conclusions based solely on Level I assessment methods.

#### Overall Risk Summary

<b>Risk Factor</b>	<b>Observations</b>	<b>Contribution to Risk</b>
Crown Health	Low vigor, sparse canopy	Reduced recovery potential
Structure	Multi-leader, topping history	Weak attachments
Internal Integrity	Advanced decay and cavities	High failure likelihood
Root System	Significant root pruning	Reduced anchorage
Compartmentalization Potential	Poor due to low vitality	Accelerated decay progression

Overall Risk Rating: High

### Discussion

The subject Monterey cypress exhibits multiple compounding structural and physiological deficiencies.

The low live crown ratio and necrotic canopy indicate limited photosynthetic capacity, reducing the tree's ability to generate energy required for compartmentalization and defense against decay organisms.

Advanced decay confirmed through Level III testing indicates substantial internal structural compromise. Large cavities and degraded wood significantly reduce load-bearing capacity.

Root pruning associated with retaining wall construction has likely compromised anchorage and introduced additional pathways for decay. Given the tree's low vitality, successful compartmentalization of root injury is unlikely.

These combined factors substantially elevate the likelihood of partial or whole-tree failure, particularly during high winds or saturated soil conditions.

#### Risk to Targets

The tree is located in a developed residential setting with potential targets including:

- Residents and visitors
- Adjacent structures
- Neighboring properties
- Pedestrian areas

Failure of a tree of this size would present a significant risk of severe consequences.

### **Recommendations / Mitigation**

Based on findings from both the Level II (2025) and Level III (2026) assessments:

Primary Recommendation:

Removal of the Monterey cypress is recommended to mitigate risk to people and property.

Rationale

- Instrument-confirmed advanced internal decay
- Significant root system compromise
- Limited vitality and recovery potential
- High likelihood of continued structural decline

Removal should be performed by a licensed and qualified tree contractor in compliance with City of Carmel permitting requirements.

### **Conclusion**

Based on repeated site inspections and advanced diagnostic testing, the subject Monterey cypress presents a high risk of structural failure.

Findings of advanced decay, reduced vitality, and compromised root anchorage indicate that risk cannot be reasonably mitigated through pruning or monitoring alone.

It is my professional opinion that removal is warranted in the interest of public safety and property protection.



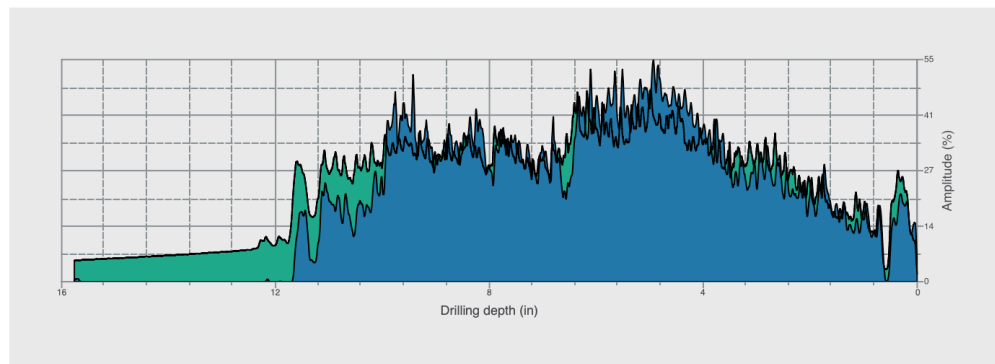
Site 1 below this over extended branch

**Drilling Depth:** 15.77 in  
**Date:** 02/18/2026  
**Feed Speed:** 19.69 in/min  
**Needle State:** ---  
**Tilt:** -0.80°  
**Offset:** 87.00 / 442.00  
**Smoothing:** Off / Off  
**Name:**

**ID:** CARMELO  
**Diameter (in):**   
**Time:** 2:04:30 pm  
**Drilling Speed:** 2500 rpm  
**Height (ft):**   
**Drilling Direction:**   
**Species:**   
**Location:**

DRILLING RESISTANCE GRAPH 

■ Feed ■ Drill





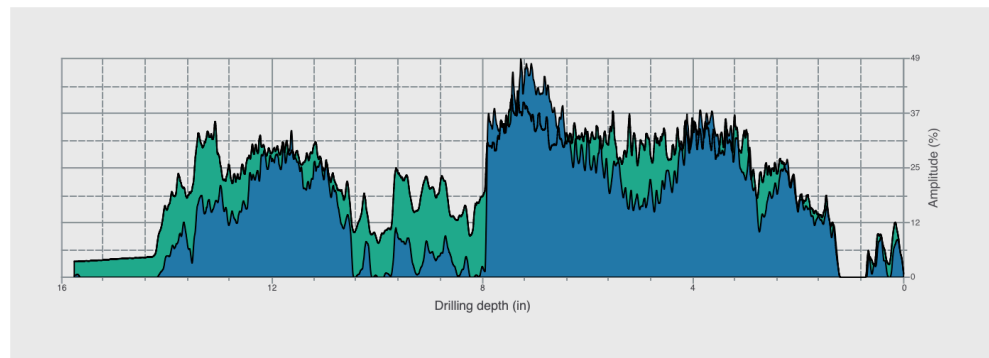
Test #2 supports this portion of the tree

Drilling Depth: 15.77 in  
 Date: 02/18/2026  
 Feed Speed: 19.69 in/min  
 Needle State: ---  
 Tilt: -0.40°  
 Offset: 82.00 / 409.00  
 Smoothing: Off / Off  
 Name:

ID: CARMELO  
 Diameter (in):   
 Time: 2:08:44 pm  
 Drilling Speed: 2500 rpm  
 Height (ft):   
 Drilling Direction:   
 Species:   
 Location:

DRILLING RESISTANCE GRAPH

■ Feed ■ Drill





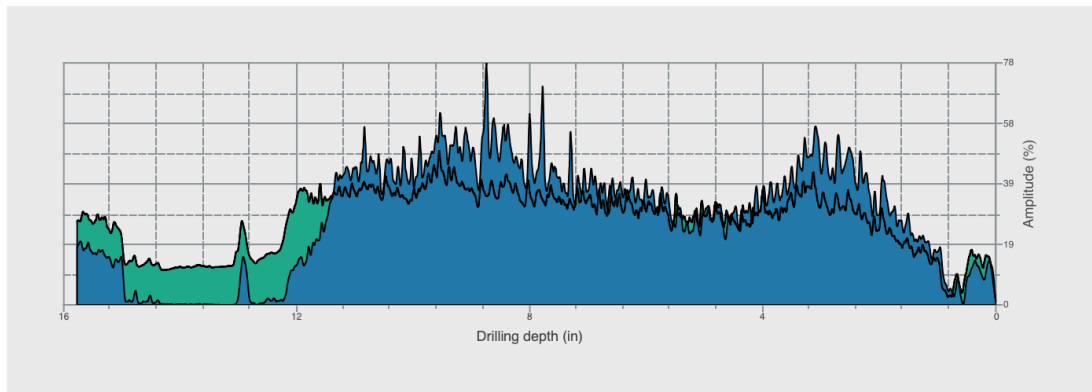
*Test #3 below  
confirming  
advanced cubicle  
rot progressing  
into trunk*

**Drilling Depth:** 15.78 in  
**Date:** 02/18/2026  
**Feed Speed:** 19.69 in/min  
**Needle State:** ---  
**Tilt:** 0.40°  
**Offset:** 68.00 / 322.00  
**Smoothing:** Off / Off  
**Name:**

**ID:** CARMELO  
**Diameter (in):**   
**Time:** 2:16:06 pm  
**Drilling Speed:** 2500 rpm  
**Height (ft):**   
**Drilling Direction:**   
**Species:**   
**Location:**

DRILLING RESISTANCE GRAPH 

■ Feed ■ Drill



Test #4 Looking down center of tree confirming decay has traveled into the base

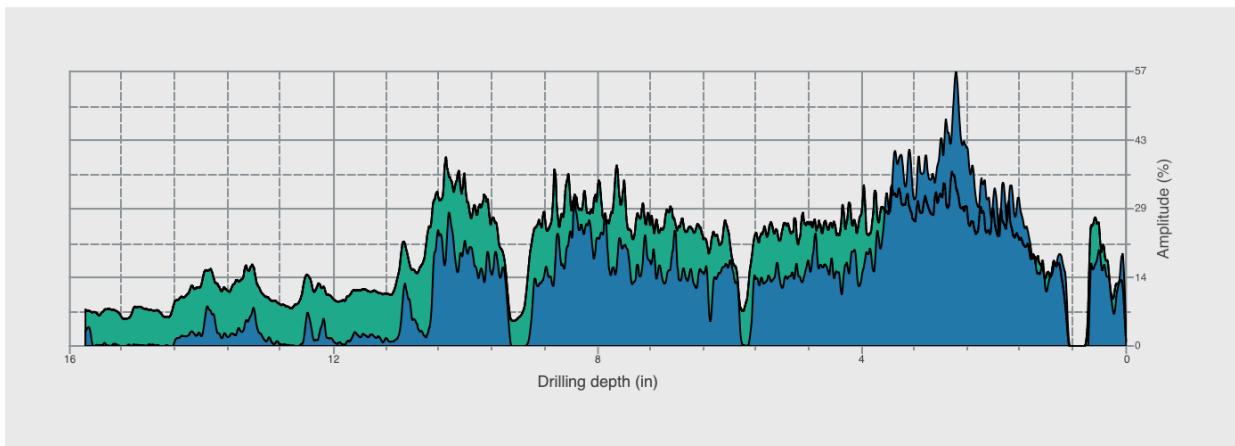


**Drilling Depth:** 15.77 in  
**Date:** 02/18/2026  
**Feed Speed:** 19.69 in/min  
**Needle State:** ---  
**Tilt:** 0.00°  
**Offset:** 70.00 / 316.00  
**Smoothing:** Off / Off  
**Name:**

**ID:** CARMELO  
**Diameter (in):**   
**Time:** 2:19:41 pm  
**Drilling Speed:** 2500 rpm  
**Height (ft):**   
**Drilling Direction:**   
**Species:**   
**Location:**

DRILLING RESISTANCE GRAPH 

■ Feed ■ Drill



Images of root pruning provided by Mr Brookes.





Respectfully Submitted

Signature: \_\_\_\_\_



**Albert Weisfuss**

ISA Certified Arborist WE-1388A

ISA Tree Risk Assessor (TRAQ) Qualified

Monterey Bay Treeworks

Date: 2/19/26

#### CERTIFYING STATEMENT

I, Albert Weisfuss, certify that:

- I have personally inspected the tree(s) and site referenced in this report and have stated my findings accurately and to the best of my professional knowledge.
- I have no present or prospective interest in the subject property and no personal interest or bias with respect to the parties involved.
- The opinions and conclusions stated herein are my own professional opinions.
- My compensation is not contingent upon the reporting of a predetermined conclusion, nor the attainment of a specific outcome.

## Significant Tree Evaluation Worksheet

Part One: Secondary Screening

Location: Carmelo 2 NW 12th

**Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant.**

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES														
NO	x													

Any tree that has structural impairment that is likely to cause it to fail should be marked as unsafe and the tree should be removed. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species identified on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES	x													
NO														
Species	MC													

MP – Monterey pine

MC – Monterey cypress

BP – Bishop pine

CR – Coast redwood

CLO – Coast live oak

CI – Catalina Ironwood

CS – California sycamore

BLF – Big leaf maple

OT – Other (specify) \_\_\_\_\_

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES	x													
NO														

	Diameter	Height
Monterey pine, Monterey cypress, Bishop pine, Coast redwood	4 inches @ dbh	15 Feet
Coast live oak – single trunk tree	6 inches @ dbh	N/A
Coast live oak – cluster or multi-trunk tree measured as an average diameter of all the trunks that reach breast height	6 inches @ dbh	N/A
California sycamore, Big leaf maple, Catalina ironwood	10 inches @ dbh	25 Feet

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

Part Two: Assessment For Tree Significance

**For each of the criteria below assign points as shown to assess the tree. To be considered significant, a tree must achieve a minimum score of 1 in each of these categories and must achieve a total score of at least 6. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant.**

D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
Score	1													

**0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

**1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

**2 points:** The tree appears healthy and in good condition.

**3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
Score	1													

**0 points:** The tree appears to have poor form and structure.

**1 point:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

**2 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunk or multi-trunk and will have a balanced distribution of foliage on each trunk/branch.

F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
Score	0													

**0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

**1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for at least another 15 years.

**2 points:** The tree is young to middle age and shows normal vigor.

**3 points:** the tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
Score	1													

**0 points:** The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.

**1 point:** The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.

**2 points:** The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

Part Three: Final Assesement

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
Total Score	3													

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES														
NO	x													

B. If the tree was one of the listed species shown in Part One-B, was the total score at least 6 points? If the tree was not one of the listed trees, was the score at least 7 points?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES														
NO	x													

C. Are there any other factors that would disqualify a tree from a determination of significance?  
(Explain any 'yes' answer)

Conclusion: Does The Tree Qualify As A Significant Tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14
YES														
NO	x													



**CITY OF CARMEL-BY-THE-SEA  
Forest and Beach Commission  
Staff Report**

**May 14, 2026  
ORDERS OF BUSINESS**

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Justin Ono, City Forester

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** Presentation by Leadership Carmel's class of 2026

**RECOMMENDATION:**

Receive a Presentation by Leadership Carmel's 2026 Class about their project

**BACKGROUND / SUMMARY:**

**FISCAL IMPACT:**

None to the City at this time

**ATTACHMENTS:**

1. Attachment 1 - LC26 Presentation Harmony Habitat



**LEADERSHIP CARMEL**

CARMEL CHAMBER OF COMMERCE FOUNDATION

# Harmony Habitat

***An Outdoor Music Garden for Carmel***

---

Bringing youth, music, and the outdoors together

# WHO WE ARE



## The Program

Leadership Carmel is a 9-month personal & professional development program designed to provide a solid framework to inspire and serve current and future leaders and influencers. Each class cultivates and executes a legacy project as a gift for the Carmel community.



## Class of 2026

Our class of 9 found common passion in the youth, music and outdoors. Collectively inspired by the true creative spirit of Carmel.

# Legacy Project

- ◆ What can we do to uphold the cultural & creative heartbeat of our village?
- ◆ How can we assist youth to connect with the outdoors, getting them outside?
- ◆ What defines our town?
- ◆ How can we contribute to beautifying this place we all love?

# Harmony Habitat

A sculptural outdoor music garden at Forest Hill Park



◆ *Connecting nature & the cultural artistic spirit of our community* ◆

The centerpiece is a Botanical Garden Ensemble by Freenotes: beautiful, weather-resistant sculptural instruments designed for collaborative, all-ages play. Harmony Habitat will enhance Forest Hill Park with a permanent outdoor musical sculpture installation that aligns with the magical and playful beauty of this special community park.



For the community: a distinctive and lasting civic asset that enriches public life



For families: shared experiences that invite connection and presence



For adults: moments of inspiration, curiosity, and playfulness



REVISION/DATE	DESCRIPTION

**FOREST HILL PARK**  
 3026 JUNIPERO ST  
 CARMEL-BY-THE-SEA, CA 93921




**PROJECT OVERVIEW**

DRAWINGS PROVIDED BY:  
 LEADERSHIP CARMEL  
 CLASS OF 2008

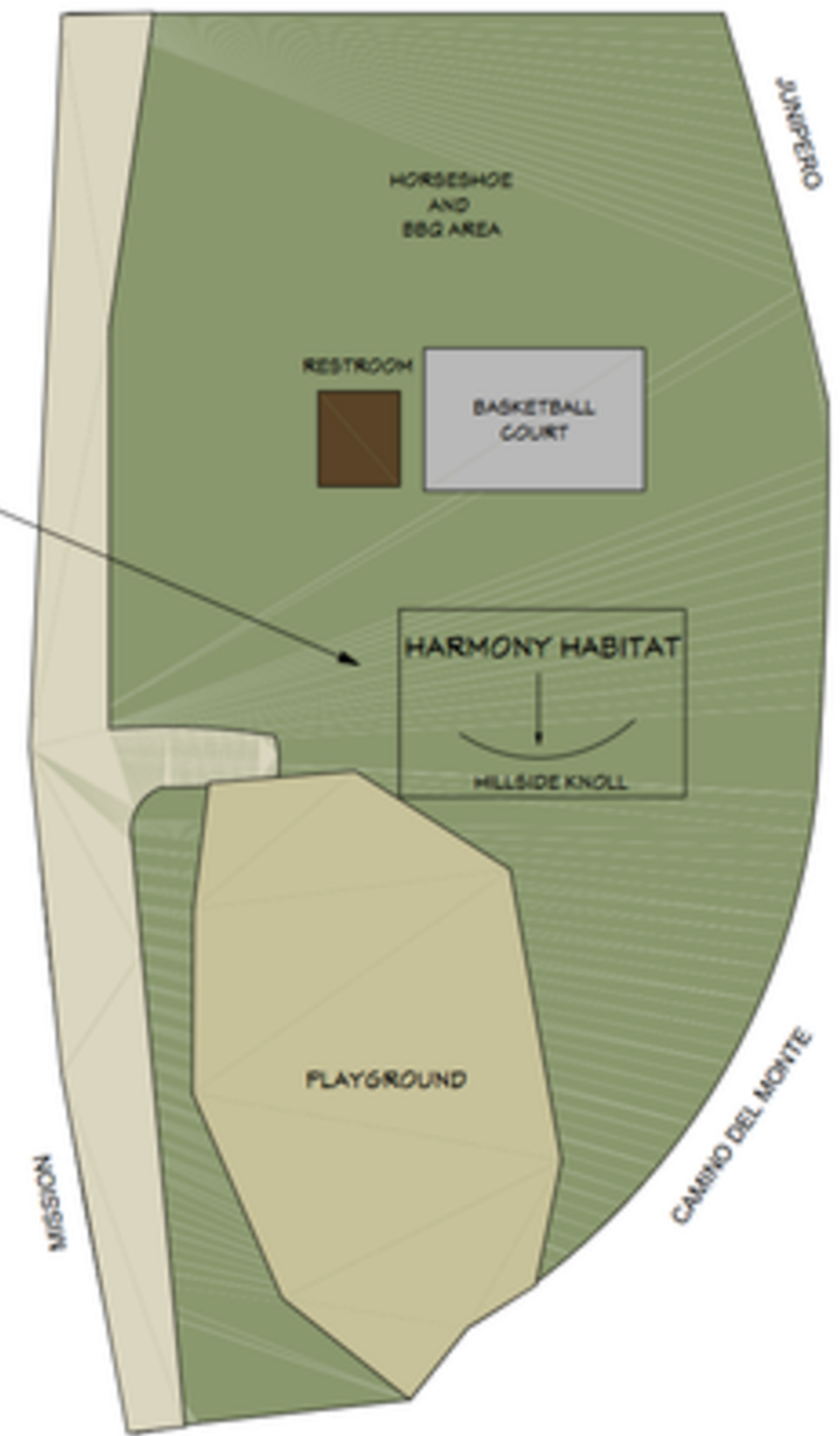
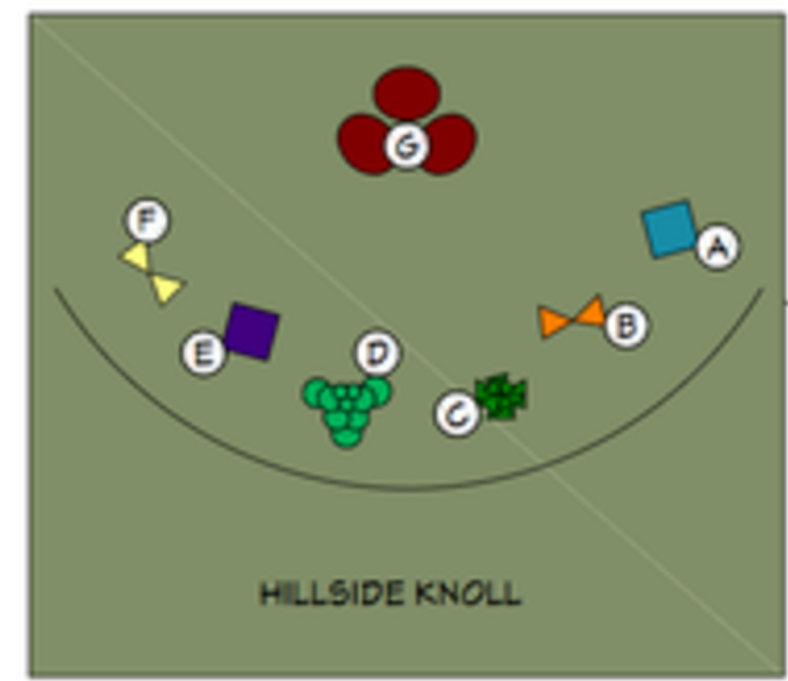
DATE:  
 3/13/2026

SCALE:  
 NOT TO SCALE

SHEET:  
**P-1**

A		TURQUOISE FLOWER FWR-I-IG 19"W x 39"H x 13"D ANODIZED ALUMINUM
B		ORANGE BUTTERFLY BFLY-O-IG 19.5"W x 51.5"H x 15"D ANODIZED ALUMINUM
C		TENOR TREE TREE-IG 22-3/4"W x 51-3/8"H x 15-3/4"D ANODIZED ALUMINUM
D		LILYPAD CYMBALS LPAD-IG-REC 31-1/2" x 39"H ANODIZED ALUMINUM
E		INDIGO FLOWER FWR-I-IG 25"W x 48"H x 14"D ANODIZED ALUMINUM
F		YELLOW BUTTERFLY BFLY-O-IG 16"W x 46 3/4"H x 12 3/8"D ANODIZED ALUMINUM
G		MUSHROOM ENSEMBLE IG SM: 26-1/2"H x 20-1/4"W x 19-7/8"D MED: 28-1/8"H x 24 3/8"H x 24"D LRG: 30-1/2"H x 27-7/8"W x 27-1/2"D ANODIZED ALUMINUM

**HARMONY HABITAT  
 AT FOREST HILL PARK  
 SITE PLAN**



# Decibel Levels

## Instrument

## Source

## 30 ft

## 150 ft

Mushrooms

93.7 dB

63.1 dB

54.2 dB

Lily-pad Cymbals

85.4 dB

54.9 dB

50.5 dB

Flowers/Butterflies

84.2 dB

55.7 dB

50.1 dB

Tenor Tree

79.3 dB

58.4 dB

51.1 dB

Rainfall, moderate

50 dB

Golf

60 dB

Traffic, average street

83 dB

Average Conversation

60 dB

Kids shouting

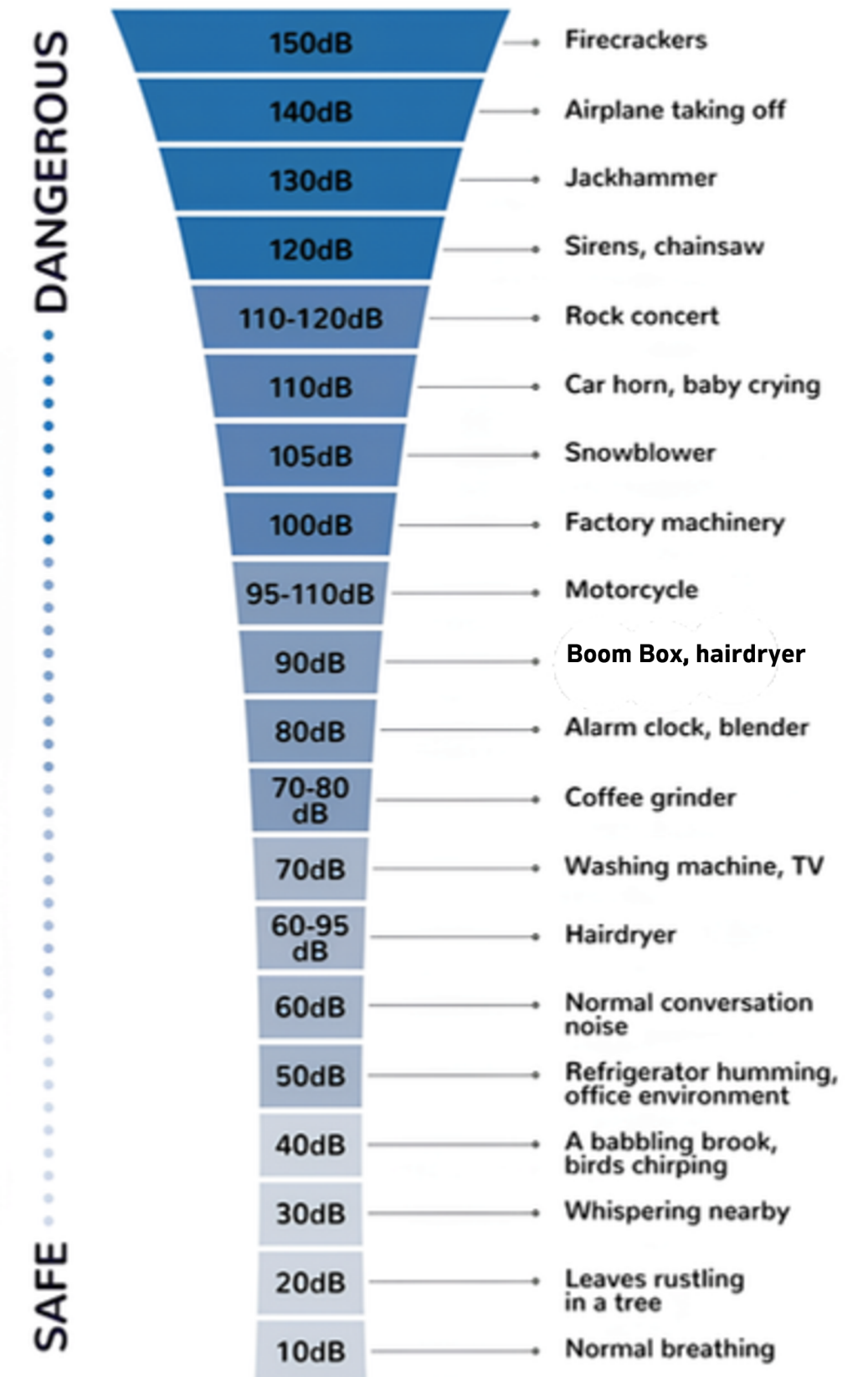
90 dB

Elephant

103-117 dB

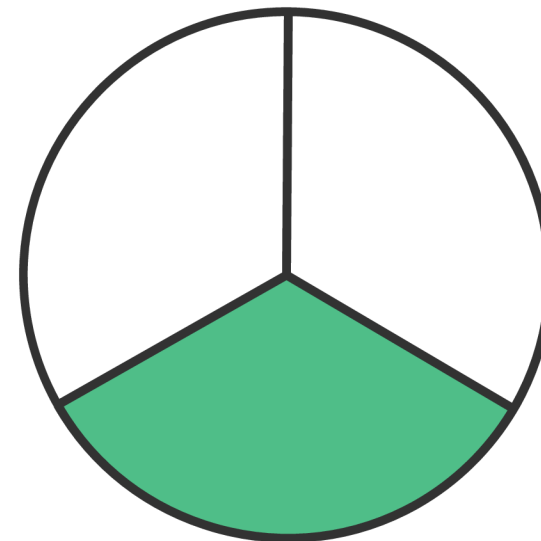
## SAFE vs. DANGEROUS DECIBEL LEVELS

Help prevent noise-induced hearing loss by learning general sound levels and how loud is too loud.



# Fundraising

- ◆ We're committed to raising **\$30,000** to bring **Harmony Habitat** to life



Presently we are a third of the way to our goal

# ◆ Next Steps ◆



Order Instruments



2-4 week Shipping time



Installation



Public Works check off



Play & Enjoy!

# Community Outreach

- Rotary Club luncheon
- Carmel Chamber of Commerce board
  - City Council special meeting
  - City of Carmel Public Works
    - City Manager
    - Sandpiper
  - Catalyst newsletter
    - Peachjar
  - KSBW (March 31)
  - Montage Health
  - Carmel educators
- Carmel Youth Center
  - Carmel businesses
- Carmel Residents Association

*Connecting with community is a continual effort*

**TO GIVE IS TO RECEIVE. TOGETHER WE GROW.**



**We're grateful to the City of Carmel Public Works Department for its generous in-kind support.**

We're planning a community launch event once the installation is complete. We hope you'll join us to celebrate together! Questions? Please email [kathryn.manlin@gmail.com](mailto:kathryn.manlin@gmail.com). We'd love to hear from you.

# Class of 2026's Passion for Harmony Habitat



I am a long term employee of Montage health and have had the privilege of being sponsored to participate in this impactful program called Leadership Carmel. Our legacy project means so much to me because it brings playful magic to the outdoor space of Forest Hill Park, in which my 2 children Radler and Deegan have made many memories. They cannot wait to play the instruments during our family visits to the park, even as teenagers. The children of Carmel need more to do in the outdoor spaces, with music and art in mind.

Thank you for this opportunity to bring this space to life!

Best,  
Leslie Pinkerton



"I joined Leadership Carmel to integrate more into the community. Having moved here recently, I wanted to deepen my understanding of the culture and gain knowledge of this special area.

Our Harmony Habitat project will attract young families to the community by encouraging active play. The musical instruments reflect Carmel's rich artistic history. Once completed, our legacy project will add lasting value to Forest Hill Park and the community."

Sincerely,  
Cari Hill



As a Carmel resident and friends with many families who have small children that live in Carmel, I know how important it is to make sure that the future residents and future generations foster an appreciation for this amazing place with a sense of wonder and curiosity.

Harmony Habitat would enhance Forest hills park and increase the amount of safe activities in the park, all while continuing to allow residents and locals to enjoy this hidden spot, without disrupting the peaceful setting.

Sincerely,  
Ryan Keenan



Creative expression touches the very essence of what it means to be human. It shapes our thoughts, amplifies our emotions, and often lifts us from wherever we are in a given moment to somewhere entirely different.

One of the greatest gifts we can pass on to young people is the encouragement to express themselves creatively, especially through music. That is what I love most about Harmony Habitat: it gives children the freedom to play with sound, to follow their curiosity, and to discover the joy of making something their own. In so doing, we give them not just a memory for today, but a skill they can access for a lifetime.

Warmly,  
Tara Leweling



As a musician creating access to music for the public is inspiring, especially when placed in nature. I strongly care for the environment and animals. Which leads me to believe that Harmony Habitat will bring people to the park to play music, helping them cultivate a relationship with the natural world.

Sincerely,  
Bryce Nordstrom



My name is Kathryn Brown and I am the Financial Services Supervisor at the Carmel branch location of Monterey Credit Union. I grew up in Pacific Grove and came into Carmel for many childhood activities and cultural events. I feel so grateful to now be raising my two young children in the same beautiful community we call home. Our leadership project of Harmony Habitat at Forest Hill park will be a special way to contribute to the music and play and magic that Carmel provides to both children and adults.

Sincerely,  
Kathryn Brown



While my prior experiences set the foundation, my time with LC 2026 is impressively wonderful.

It is vital that children realize they are our priority, and we must ensure they grow into excellent and equitable global citizens. Our Legacy Project, "Harmony Habitat," aims to promote mental health and wellness by encouraging families to grow and develop in a safe and secure environment.

Sincerely,  
Michelle Amirkhanian



My years in hospitality have set the stage for how I see our community. It is a place where nature and culture come together magnificently.

As a new parent I am excited to bring Harmony Habitat to fruition and uphold the culture of Carmel. Enhancing Forest Hill Park is a step towards the future, creating a unique place for families to connect and play. I look forward to the days of playing there with my son. The children are the future and by giving them access to creativity, we uplift them and allow for growth and development.

Sincerely,  
Sanil Prasad



Carmel is a special place that is inspiring, simply by being here. The artistic roots that make Carmel unique can easily melt away. We have the opportunity to install musical sculptures that will offer generations to come connection to the creative spirit of this village; upholding the artistic and musical culture.

When I think of the future, I imagine Carmel as it has been, connected in community and holding reverence to the Earth. Harmony Habitat sings to the heart of Carmel, connecting nature, community and creativity. This gift to the city will allow all who come across it to connect their spirit to the song of this beautiful place.

Kind Regards,  
Christy Carico

# Supporters of Harmony Habitat



# Support Harmony Habitat

 [Donate via Square](#)

Secure payment through Square



Scan to donate on mobile

◆ or visit → [www.carmelchamber.org/lc2026/](http://www.carmelchamber.org/lc2026/)

Your generosity makes this possible



**CITY OF CARMEL-BY-THE-SEA  
Forest and Beach Commission  
Staff Report**

**May 14, 2026  
ORDERS OF BUSINESS**

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Justin Ono, City Forester, Katherine Wallace, Associate Planner

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** Consideration of the tree density for a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 26081 (P&T 2024 LLC), located at 11th Avenue 2 northeast of Torres Street. APN 010-331-008-000.

**RECOMMENDATION:**

Staff recommends and requests that the Forest and Beach Commission determine the appropriate tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, and provide a recommendation to the Planning Commission regarding the appropriate tree density for the site located at 11th Avenue 2 northeast of Torres Street. APN 010-331-008-000.

**BACKGROUND / SUMMARY:**

The applicant is seeking approval of a Design Study and Coastal Development Permit (CDP) for a 1,712 s.f. addition and remodel to existing 1,232 s.f. single story single-family residence. Also includes demolition of existing 573 s.f. garage and new 543 s.f. attached 2 car garage.

As part of the consideration of the Design Study and Coastal Development Permit, the Planning Commission is required to find, in part, that:

*The project contributes to neighborhood character including the type of forest resources present, the character of the street, the response to local topography and the treatment of open space resources such as setbacks and landscaping (CMC section 17.58.060.C.2); and*

*The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space,*

*topography, access, trees and vegetation will maintain or establish a continuity of design both on-site and in the public right-of-way that is characteristic of the neighborhood (CMC section 17.64.080).*

Support for these findings is typically made, in part, by the project meeting the recommended tree density, in accordance with CMC section 17.34.070, City Council Policy C91-05, and Residential Design Guideline 1.4. For background information the Tree Assessment from the Preliminary Site Assessment are included (**Attachments 1 and 2 - PSA 25-397**)

The Forest and Beach Commission is the appropriate authority to determine the recommended tree density for properties with a lot size exceeding 8,000 square feet pursuant to CMC sections 2.32.060.F and 17.48.080.A.2. Refer to Municipal Code excerpt below from CMC section 17.48.080.A.2:

<b>Lot Size (Square Feet)</b>	<b>Upper Canopy Trees</b>	<b>Lower Canopy Trees</b>
0 - 4,000	3	1
4,001 - 6,000	4	3
6,001 - 8,000	5	4
Over 8,000	As determined by the Forest and Beach Commission	As determined by the Forest and Beach Commission

While most building sites have a fixed tree density requirement (e.g., a 6,000 sq. ft. lot requires 4 upper and 3 lower canopy trees), sites larger than 8,000 square feet require discretionary determination by the Forest and Beach Commission to ensure the density is appropriate for the neighborhood context and site constraints.

The recommendation made by the Forest and Beach Commission will be forwarded to the Planning Commission. The Planning Commission then has the final authority to approve the Design Study and CDP based on the recommendation of the Forest and Beach Commission.

**FISCAL IMPACT:**

None at this time

**ATTACHMENTS:**

1. Attachment 1 - PSA 25-397 Site Map
2. Attachment 2 - PSA 25-397 Tree Evaluation Form

TOPOGRAPHIC MAP

OF  
**PARCELS 1 & 2**  
 AS DESCRIBED IN THE DEED RECORDED AS  
**DOCUMENT# 2013019005**  
 OFFICIAL RECORDS OF MONTEREY COUNTY  
 CARMEL-BY-THE-SEA COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR  
**PIERRE LECOMTE**

BY  
**ZACHARY KAMP LAND SURVEYING**  
 (831) 915-5267 KAMPSURVEY@GMAIL.COM  
 SCALE: 1" = 8' DECEMBER 2025

APN 010-331-008

SURVEYOR'S STATEMENT

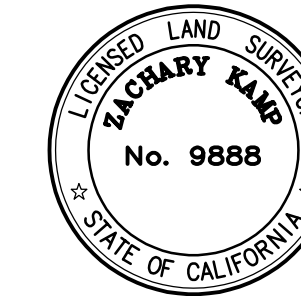
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME DECEMBER 2025 IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF PIERRE LECOMTE.

*Zachary Kamp*

Zachary Kamp  
 PLS 9888

JANUARY 2026

DATE



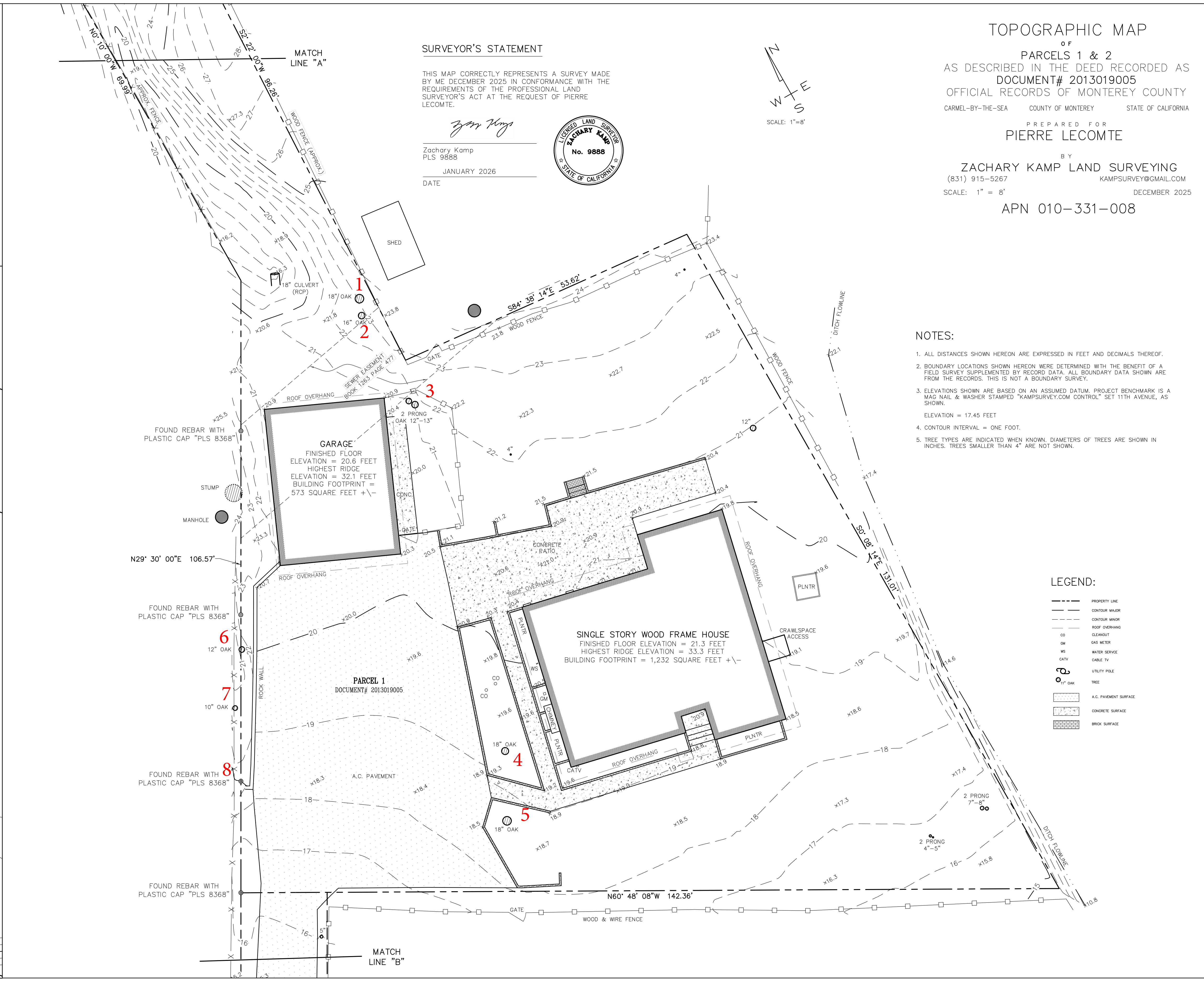
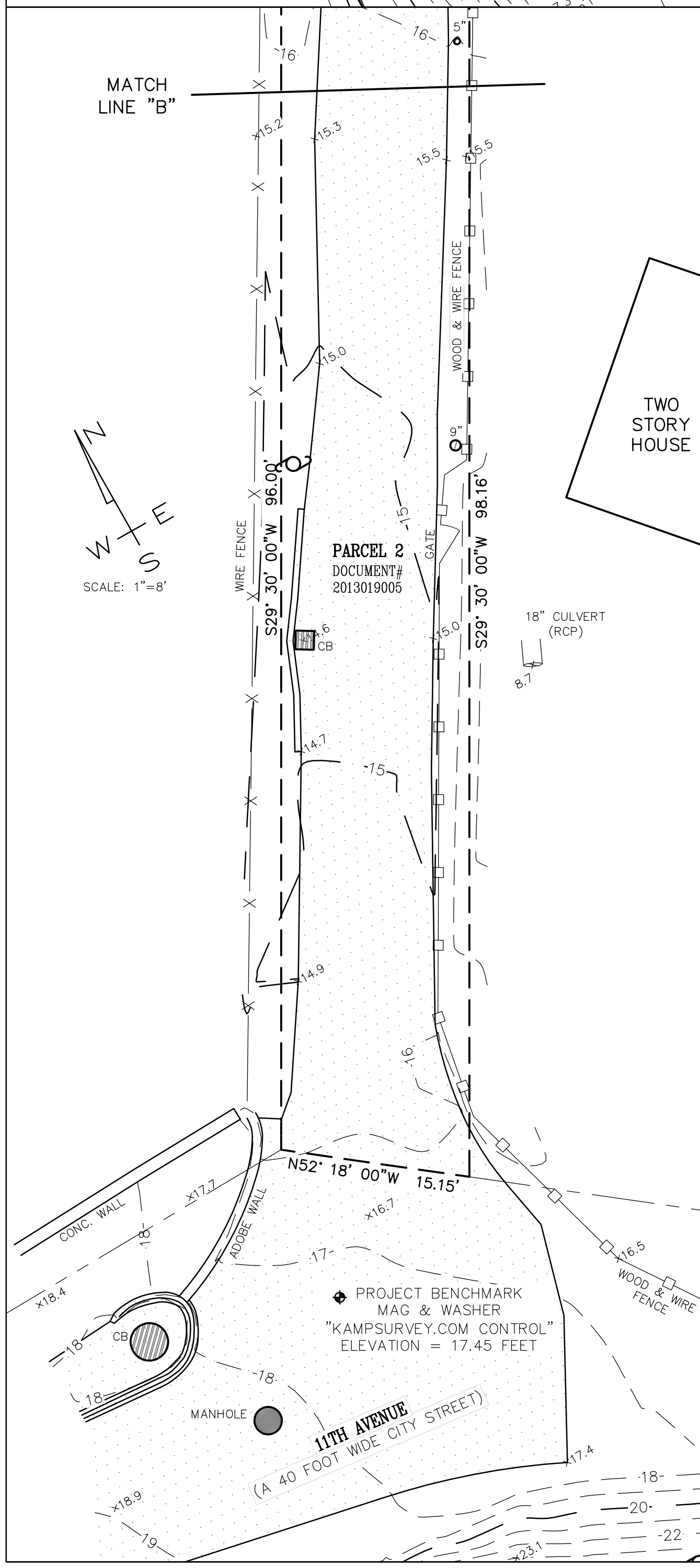
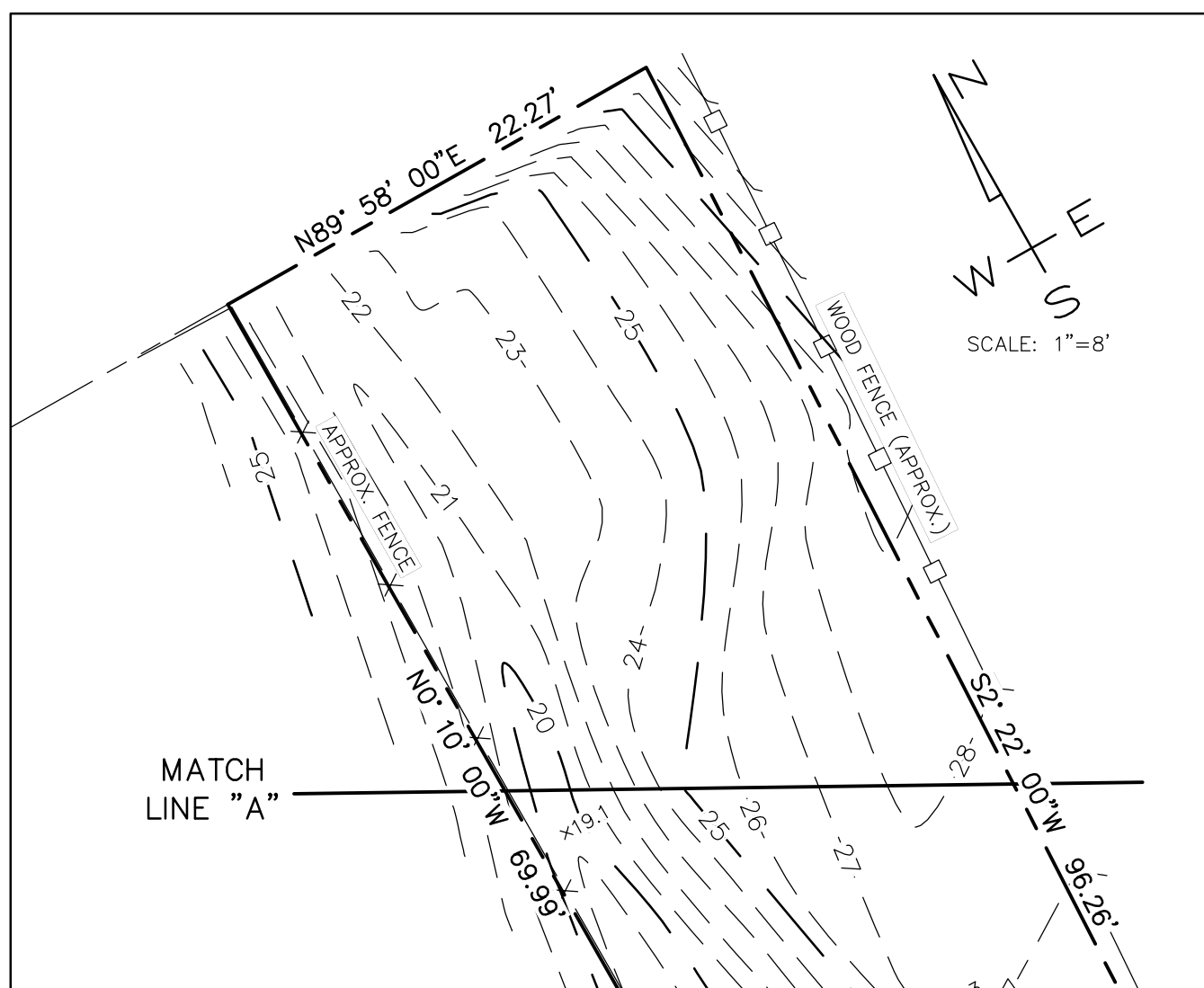
SCALE: 1"=8'

NOTES:

- ALL DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS. THIS IS NOT A BOUNDARY SURVEY.
- ELEVATIONS SHOWN ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS A MAG NAIL & WASHER STAMPED "KAMPSURVEY.COM CONTROL" SET 11TH AVENUE, AS SHOWN.  
 ELEVATION = 17.45 FEET
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 4" ARE NOT SHOWN.

LEGEND:

- PROPERTY LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- ROOF OVERHANG
- CLEANOUT
- GAS METER
- WATER SERVICE
- CABLE TV
- UTILITY POLE
- TREE
- A.C. PAVEMENT SURFACE
- CONCRETE SURFACE
- BRICK SURFACE



# Significant Tree Evaluation Worksheet

APN: 010-331-008-000

Street Location: 11th 2 NE Torres

Planner: Katherine Wallace

City Forester: Justin Ono

Property Owner: LeComte

Recommended Tree Density: 5 upper 4 lower

## Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	X	X	X	X	X	X	X	X							

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	CLO	CLO	CLO	CLO	CLO	CLO	CLO	CLO							
YES	X	X	X	X	X	X	X	X							
NO															

MP-Monterey pine MC- Monterey cypress BP-Bishop pine CR -coast redwood CO- coast live oak

CI -- Catalina ironwood CS -- California sycamore BL -- big leaf maple OT -- other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	18	16	12+13	18	18	12	10	10							
NO															

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak – single trunk tree: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

## Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

### D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	1	0	2	2	2	2							

**0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

**1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

**2 points:** The tree appears healthy and in good condition.

**3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

### E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	1	2	2	2	2	2							

**0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

**1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

**2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

**3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each trunk/branch.

### F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	0	2	2	2	2							

**0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

**1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

**2 points:** The tree is young to middle age and shows normal vigor.

**3 points:** The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	1	1	2	2	1	1	1							

<b>0 points:</b>	The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
<b>1 point:</b>	The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
<b>2 points:</b>	The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total	7	7	5	4	8	7	7	7							

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x		x	x	x	x							
NO				x											

B. Are there any other factors that would disqualify a tree from a determination of significance?  
(Explain any 'yes' answer)

Yes \_\_\_\_\_

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	x	x			x	x	x	x							
MOD SIGNIF			x												
NOT SIGNIF				x											

**Items to note:**

**Required Structural Root Zone**

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>Feet</b>	7	6	9	6	7	6	6	6							

**Required Tree Protection Zone**

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>YES</b>	8	8	10	6	8	8	8	8							

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed be within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.



**CITY OF CARMEL-BY-THE-SEA  
Forest and Beach Commission  
Staff Report**

**May 14, 2026  
ORDERS OF BUSINESS**

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Justin Ono, City Forester, Evan Kort, Senior Planner

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** Consideration of the tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 26084 (Britannia California), located at San Antonio 2 SW 11th. APN 010-291-002-000

**RECOMMENDATION:**

Staff recommends and requests that the Forest and Beach Commission determine the appropriate tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit and provide a recommendation to the Planning Commission regarding the appropriate tree density for the site located at San Antonio 2 SW 11th. APN 010-291-002-000.

**BACKGROUND / SUMMARY:**

The applicant is seeking approval of a Design Study and Coastal Development Permit (CDP) for the Remodel of an (E) two story single family house. Scope of work also includes new hardscape & landscape throughout.

As part of the consideration of the Design Study and Coastal Development Permit, the Planning Commission is required to find, in part, that:

*The project contributes to neighborhood character including the type of forest resources present, the character of the street, the response to local topography and the treatment of open space resources such as setbacks and landscaping (CMC section 17.58.060.C.2); and*

*The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design*

*both on-site and in the public right-of-way that is characteristic of the neighborhood (CMC section 17.64.080).*

Support for these findings is typically made, in part, by the project meeting the recommended tree density, in accordance with CMC section 17.34.070, City Council Policy C91-05, and Residential Design Guideline 1.4.

The Forest and Beach Commission is the appropriate authority to determine the recommended tree density for properties with a lot size exceeding 8,000 square feet pursuant to CMC sections 2.32.060.F and 17.48.080.A.2. Refer to Municipal Code excerpt below from CMC section 17.48.080.A.2:

<b>Lot Size (Square Feet)</b>	<b>Upper Canopy Trees</b>	<b>Lower Canopy Trees</b>
0 - 4,000	3	1
4,001 - 6,000	4	3
6,001 - 8,000	5	4
Over 8,000	As determined by the Forest and Beach Commission	As determined by the Forest and Beach Commission

While most building sites have a fixed tree density requirement (e.g., a 6,000 sq. ft. lot requires 4 upper and 3 lower canopy trees), sites larger than 8,000 square feet require discretionary determination by the Forest and Beach Commission to ensure the density is appropriate for the neighborhood context and site constraints. For background information the Tree Assessment from the Preliminary Site Assessment are included (**Attachments 1 and 2 - PSA 25-358**)

The recommendation made by the Forest and Beach Commission will be forwarded to the Planning Commission. The Planning Commission then has the final authority to approve the Design Study and CDP based on the recommendation of the Forest and Beach Commission.

**FISCAL IMPACT:**

None at this time

**ATTACHMENTS:**

1. Attachment 1 - Eval form PSA - 25-358
2. Attachment 2 - PSA 25358 (Britannia California Inc) Topographic Survey

# Significant Tree Evaluation Worksheet

APN: 010-291-002

Street Location: San Antonio 2 SW 11th

Planner: Evan kort

City Forester: Justin Ono

Property Owner: Britannia California Inc

Recommended Tree Density: TBD by Forest and Beach Commission

## Part One: Initial Screening:

**Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.**

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	X	X	X	X	X										

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	MC	OT	OT	OT	OT										
YES	X														
NO		X	X	X	X										

MP-Monterey pine MC- Monterey cypress BP-Bishop pine CR -coast redwood CO- coast live oak

CI -- Catalina ironwood CS -- California sycamore BL -- big leaf maple Pod -- Podocarpus OT -- other

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	X	X	X	X	X										
NO															

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak – single trunk tree: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

## Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

### D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	2										

**0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

**1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

**2 points:** The tree appears healthy and in good condition.

**3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

### E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	2										

**0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

**1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

**2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

**3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

### F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	2										

**0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

**1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

**2 points:** The tree is young to middle age and shows normal vigor.

**3 points:** The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	1	2	2	2	2										

<b>0 points:</b>	The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
<b>1 point:</b>	The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
<b>2 points:</b>	The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total	4	8	8	8	8										

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x										
NO															

B. Are there any other factors that would disqualify a tree from a determination of significance?  
(Explain any 'yes' answer)

Yes \_\_\_\_\_

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF		x	x	x	x										
MOD SIGNIF	x														
NOT SIGNIF															

**Items to note:**

**Required Structural Root Zone**

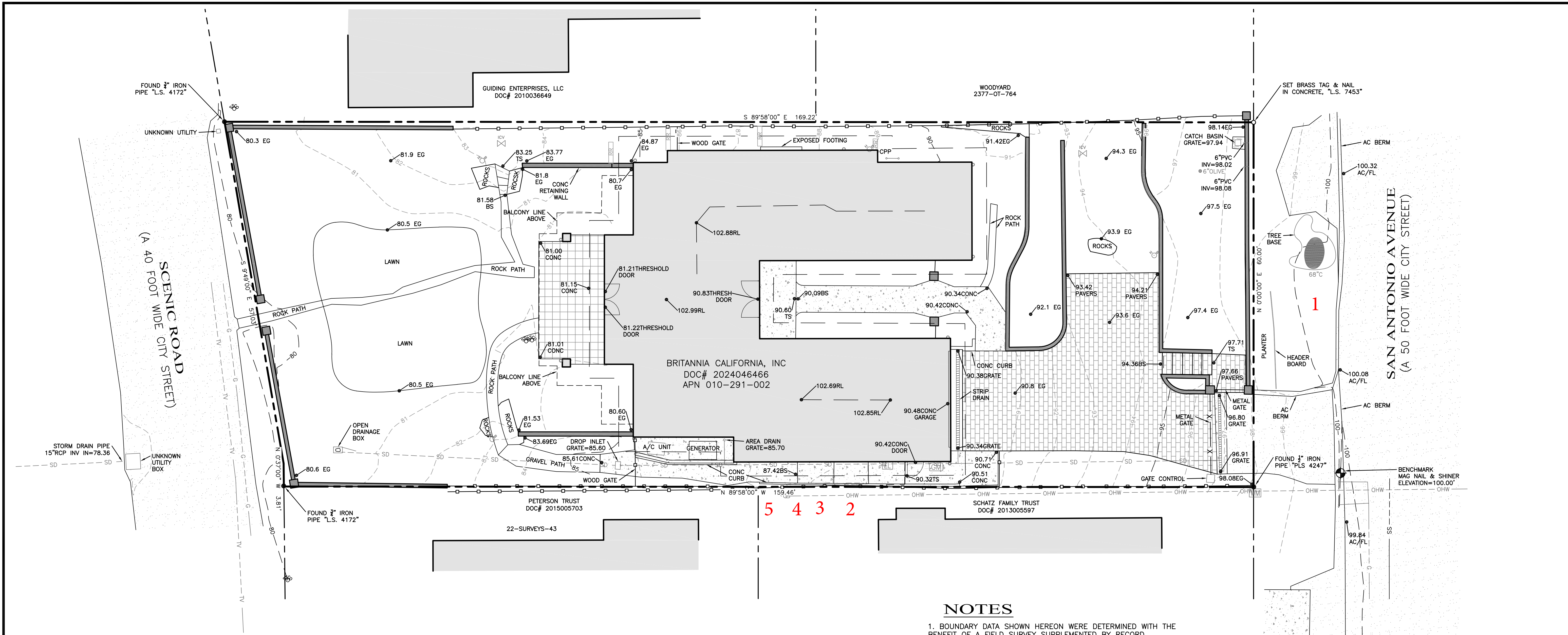
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	10	6	6	6	6										

**Required Tree Protection Zone**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	16	8	8	8	8										

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed be within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.



PIM	N/A
DESIGNED BY:	2/27/25
DATE:	1" = 8'
SCALE:	25-02
JOB NUMBER:	
LAST REVISED:	
REVISED BY:	

PREPARED FOR:  
**BRITANNIA CALIFORNIA, INC.**  
 3307 N. TERRY ST.  
 PORTLAND, OR 97217

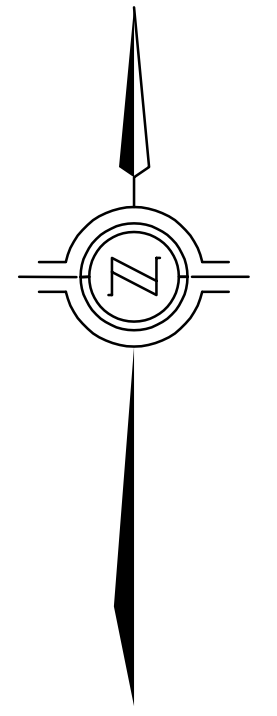
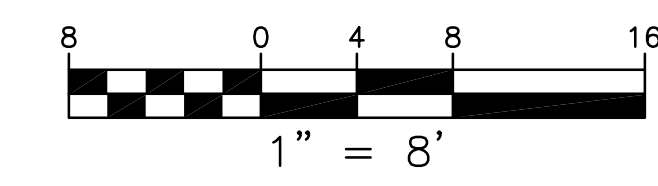
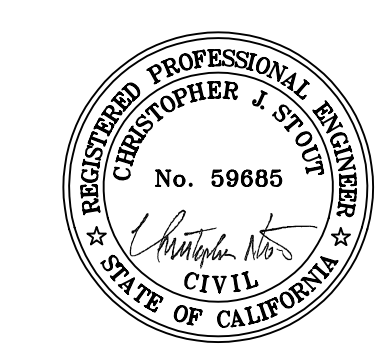
TOPOGRAPHIC SURVEY  
 SAN ANTONIO 2 SW OF 11TH  
 CARMEL-BY-THE-SEA, CA 93921  
 APN: 010-291-002

**LEGEND**

	PROPERTY LINE		WATER METER
	FLOW LINE		WATER VALVE
	WOOD FENCE		IRRIGATION CONTROL
	OVERHEAD WIRE		HOSE BIB
	MAJOR CONTOUR		ELECTRICAL METER
	MINOR CONTOUR		UTILITY POLE
	SPOT ELEVATION		GAS METER
	AC ASPHALT		SEWER CLEANOUT
	CONC CONCRETE		DOWNSPOUT
	C CYPRESS TREE		
	CPP CAPPED PVC PIPE		
	DS DOWNSPOUT		
	E EXISTING GRADE		
	ELEC ELECTRICAL		
	FC FACE OF CURB		
	FL FLOW LINE		
	FP FINISH PAVEMENT		
	FW FACE OF WALL		
	RL RIDGE LINE		
	RR RAILROAD TIE		
	T TREE		
	TS TOP OF STAIRS		
	TYP TYPICAL		
	AC PAVEMENT		
	CONCRETE		
	BRICK PAVERS		
	TILE PAVERS		

**NOTES**

- BOUNDARY DATA SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DOCUMENTS. ALL BOUNDARY DATA SHOWN HEREON ARE FROM THE RECORDS PER CHICAGO TITLE COMPANY REPORT NUMBER FWMN-5222400708-RS, AND SHOWN APPROXIMATE ONLY. A RECORD OF SURVEY IS CURRENTLY IN THE SUBMITTAL PROCESS WITH THE COUNTY SURVEYOR.
- THIS TOPOGRAPHIC SURVEY IS PREPARED FOR DESIGN PURPOSES ONLY.
- ENTITLEMENTS OR ENCUMBRANCES AFFECTING THIS PROPERTY MAY NOT NECESSARILY BE SHOWN.
- DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
- CONTOUR INTERVAL = ONE FOOT.
- TREE TYPES ARE INDICATED WHERE KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES AND ARE APPROXIMATE ONLY, TO BE VERIFIED BY AN APPROVED ARBORIST. TREES SMALLER THAN 6" ARE NOT NECESSARILY SHOWN. DIRECTION OF GROWTH AND DRIP LINE SHAPE TO BE VERIFIED BY OTHERS.
- POSITION AND DIMENSIONS (IF ANY) OF BUILDINGS AND OTHER STRUCTURES ARE SHOWN HEREON APPROXIMATE ONLY DUE TO MEASUREMENT LIMITATIONS, IRREGULAR SHAPE OF BRICK FACING, POP-OUTS, BULL NOSE CORNERS, ETC.
- NOT ALL UTILITY BOXES AND/OR UTILITY STRUCTURES ARE SHOWN INCLUDING BUT NOT LIMITED TO HOSE BIBS AND IRRIGATION VALVES. ONLY THE VISIBLE UTILITY BOXES AND/OR UTILITY STRUCTURES THAT WERE CONSIDERED TO CONVEY THE GENERAL UTILITY CONDITIONS ARE SHOWN.
- A LOCAL BENCHMARK FOR THIS PROJECT IS A MAG NAIL AND SHINER FOUND IN AC BERM, AS SHOWN HEREON, HAVING AN ELEVATION OF 100.00 FEET, BASED UPON AN ASSUMED DATUM.
- THIS MAP CORRECTLY REPRESENTS A SURVEY PREPARED BY ME AND/OR UNDER MY DIRECTION, FROM FIELD DATA COLLECTED IN DECEMBER 2024 AND JANUARY 2025.





## CITY OF CARMEL-BY-THE-SEA Forest and Beach Commission Staff Report

May 14, 2026  
ORDERS OF BUSINESS

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Justin Ono, City Forester, Katherine Wallace, Associate Planner

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** Consideration of the tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 25095 (DCV Enterprise II, LLC), located at Camino Real 2 southwest of 7th Avenue. APN 010-265-002-000.

### RECOMMENDATION:

Staff recommends and requests that the Forest and Beach Commission determine the appropriate tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit and provide a recommendation to the Planning Commission regarding the appropriate tree density for the site located at Camino Real 2 southwest of 7th Avenue. APN 010-265-002-000.

### BACKGROUND / SUMMARY:

The applicant is seeking approval of a Design Study and Coastal Development Permit (CDP) for the demolition of an existing single family residence and building of a new single family residence.

As part of the consideration of the Design Study and Coastal Development Permit, the Planning Commission is required to find, in part, that:

*The project contributes to neighborhood character including the type of forest resources present, the character of the street, the response to local topography and the treatment of open space resources such as setbacks and landscaping (CMC section 17.58.060.C.2); and*

*The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design*

*both on-site and in the public right-of-way that is characteristic of the neighborhood (CMC section 17.64.080).*

Support for these findings is typically made, in part, by the project meeting the recommended tree density, in accordance with CMC section 17.34.070, City Council Policy C91-05, and Residential Design Guideline 1.4.

The Forest and Beach Commission is the appropriate authority to determine the recommended tree density for properties with a lot size exceeding 8,000 square feet pursuant to CMC sections 2.32.060.F and 17.48.080.A.2. Refer to Municipal Code excerpt below from CMC section 17.48.080.A.2:

<b>Lot Size (Square Feet)</b>	<b>Upper Canopy Trees</b>	<b>Lower Canopy Trees</b>
0 - 4,000	3	1
4,001 - 6,000	4	3
6,001 - 8,000	5	4
Over 8,000	As determined by the Forest and Beach Commission	As determined by the Forest and Beach Commission

While most building sites have a fixed tree density requirement (e.g., a 6,000 sq. ft. lot requires 4 upper and 3 lower canopy trees), sites larger than 8,000 square feet require discretionary determination by the Forest and Beach Commission to ensure the density is appropriate for the neighborhood context and site constraints. For background information the Tree Assessment from the Preliminary Site Assessment is included (**Attachments 1 and 2 - PSA 24-365**).

The recommendation made by the Forest and Beach Commission will be forwarded to the Planning Commission. The Planning Commission then has the final authority to approve the Design Study and CDP based on the recommendation of the Forest and Beach Commission.

#### **FISCAL IMPACT:**

None at this time

#### **ATTACHMENTS:**

1. Attachment 1 - Eval form - PSA 24-365
2. Attachment 2 - PSA 24365 (DCV Enterprise...) TOPO SURVEY

# Significant Tree Evaluation Worksheet

APN: 010-265-002-000  
 Street Location: Camino Real 2 SW 7th  
 Planner: Katherine Wallace  
 City Forester: Justin Ono  
 Property Owner: DCV Enterprises  
 Recommended Tree Density: 5 upper, 4 lower

## Part One: Initial Screening:

Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES															
NO	X	X	X	X	X	X	X	X							

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	Pitt	Pitt	EUC	RW	MC	CO	Chry	CO	CO	CO	RW	CO	Pitt	Pitt	Pitt
YES				X	X	X		X	X	X	X	X			
NO	X	X	X				X						X	X	X
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
Species	RW	Pitt	Yew	CO	CO	CO	CO	CO							
YES	X			X	X	X	X	X							
NO		X	X												

MP-Monterey pine MC- Monterey cypress BP-Bishop pine CR -coast redwood CO- coast live oak  
 Chry -- flowering cherry Pitt -- Pittosporum Yew -- Pacific Yew Pod -- Podocarpus Toy -- Toyon Ac -- Acacia EUC -- Eucalyptus

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>YES</b>	x	x	x	x	x	x		x	x	x	x	x		x	
<b>NO</b>							x						x		x
<b>Tree #</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>
<b>YES</b>	x	x	x	x		x	x	x							
<b>NO</b>					x										

Monterey pine, Monterey cypress, Bishop pine, Coast redwood: 6" DBH

Coast live oak – single trunk tree: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

California sycamore, Big leaf maple, Catalina ironwood, other: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

**Part Two: Assessment For Tree Significance**

For each of the criteria below assign points as shown to assess the tree. If any criteria score is

D. What is the health and condition of the tree?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>score</b>	2	2	2	2	2	2		2	1	2	2	2		1	
<b>Tree #</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>
<b>score</b>	2	2	2	2		2	2	2							

<b>0 points:</b>	The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.
<b>1 point:</b>	The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.
<b>2 points:</b>	The tree appears healthy and in good condition.
<b>3 points:</b>	The tree shows excellent health, is free of pests and disease and is in very strong condition.

E. What is the overall form and structure of the tree?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>score</b>	1	1	2	2	2	2		2	1	2	2	2		0	
<b>Tree #</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>
<b>score</b>	2	1	2	2		2	2	2							

<b>0 points:</b>	Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.
<b>1 point:</b>	The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.
<b>2 points:</b>	The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.
<b>3 points:</b>	The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

F. What is the age and vigor of the tree?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>score</b>	2	2	2	2	2	2		2	1	2	2	2		1	
<b>Tree #</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>
<b>score</b>	2	2	2	2		2	2	2							

<b>0 points:</b>	The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.
<b>1 point:</b>	The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.
<b>2 points:</b>	The tree is young to middle age and shows normal vigor.
<b>3 points:</b>	The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>score</b>	1	1	2	2	2	2		1	1	1	2	1		1	
<b>Tree #</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>
<b>score</b>	2	1	2	2		2	2	2							

<b>0 points:</b>	The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
<b>1 point:</b>	The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
<b>2 points:</b>	The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

### Part Three: Final Assessment

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	6	6	8	8	8	8	0	7	4	7	8	7	0	3	0
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
score	8	6	8	8	0	8	8	8							

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x	x		x	x	x	x	x			
NO							x						x	x	x
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
YES	x	x	x		x	x	x	x							
NO				x											

B. Are there any other factors that would disqualify a tree from a determination of significance?  
(Explain any 'yes' answer)

Yes \_\_\_ Trees #1 and #2 have structural defects and #1 has recently lost a large limb.

### Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF			x	x	x	x		x		x	x	x			
MOD SIGNIF									x						
NOT SIGNIF	x	x					x						x	x	x
Tree #	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30
SIGNIF	x		x		x	x	x	x							
MOD SIGNIF		x													
NOT SIGNIF				x											

**Items to note:**

**Required Structural Root Zone**

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>Feet</b>	6	6	6	8	14	8	6	6	6	6	8	6	6	6	6
<b>Tree #</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>
<b>Feet</b>	8	8	8	6	6	6	6	8							

**Required Tree Protection Zone**

<b>Tree #</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>	<b>13</b>	<b>14</b>	<b>15</b>
<b>YES</b>	9	9	9	12	16	10	9	8	6	8	12	8	6	6	6
<b>Tree #</b>	<b>16</b>	<b>17</b>	<b>18</b>	<b>19</b>	<b>20</b>	<b>21</b>	<b>22</b>	<b>23</b>	<b>24</b>	<b>25</b>	<b>26</b>	<b>27</b>	<b>28</b>	<b>29</b>	<b>30</b>
<b>YES</b>	12	8	10	8	8	8	8	12							

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
  
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed be within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing. If digging within the tree protection zone for piers, holes must be hand dug to locate roots prior to footing placement.
  
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.





**CITY OF CARMEL-BY-THE-SEA**  
**Forest and Beach Commission**  
**Staff Report**

**May 14, 2026**  
**ORDERS OF BUSINESS**

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Justin Ono, City Forester, Evan Kort, Senior Planner

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** Consideration of non-significant tree removal and the tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit, DS 25139 (Kshire Property Investments LLC), located at Monte Verde Street 4 southwest of 3rd Avenue. APN 010-223-009-000

**RECOMMENDATION:**

Staff recommends the approval of the removal of five (5) non-significant trees and requests that the Forest and Beach Commission determine the appropriate tree density of a site greater than 8,000 square feet associated with a Track 2 Design Study and Coastal Development Permit and provide a recommendation to the Planning Commission regarding the appropriate tree density for the site located at Monte Verde Street 4 southwest of 3rd Avenue. APN 010-223-009-000.

**BACKGROUND / SUMMARY:**

The applicant is seeking approval of a Design Study and Coastal Development Permit (CDP) for the Demolition of an existing single story residence, shed, and site features. Proposed construction consists of a 3 bedroom, 1.5 bath residence with a 2 car garage and covered patio. Site improvements to include grading, retaining and site walls, entry steps, paving, and fencing. Proposed construction of detached 2 bedroom, 1 bath ADU. Proposed construction requires the removal of 5 non-significant trees.

As part of the consideration of the Design Study and Coastal Development Permit, the Planning Commission is required to find, in part, that:

*The project contributes to neighborhood character including the type of forest resources present, the character of the street, the response to local topography and the treatment of*

*open space resources such as setbacks and landscaping (CMC section 17.58.060.C.2); and*

*The project is consistent with the City's design objectives for protection and enhancement of the urbanized forest, open space resources and site design. The project's use of open space, topography, access, trees and vegetation will maintain or establish a continuity of design both on-site and in the public right-of-way that is characteristic of the neighborhood (CMC section 17.64.080).*

Support for these findings is typically made, in part, by the project meeting the recommended tree density, in accordance with CMC section 17.34.070, City Council Policy C91-05, and Residential Design Guideline 1.4.

The Forest and Beach Commission is the appropriate authority to determine the recommended tree density for properties with a lot size exceeding 8,000 square feet pursuant to CMC sections 2.32.060.F and 17.48.080.A.2. Refer to Municipal Code excerpt below from CMC section 17.48.080.A.2:

<b>Lot Size (Square Feet)</b>	<b>Upper Canopy Trees</b>	<b>Lower Canopy Trees</b>
0 - 4,000	3	1
4,001 - 6,000	4	3
6,001 - 8,000	5	4
Over 8,000	As determined by the Forest and Beach Commission	As determined by the Forest and Beach Commission

While most building sites have a fixed tree density requirement (e.g., a 6,000 sq. ft. lot requires 4 upper and 3 lower canopy trees), sites larger than 8,000 square feet require discretionary determination by the Forest and Beach Commission to ensure the density is appropriate for the neighborhood context and site constraints. For background information the Tree Assessment from the Preliminary Site Assessment is included (**Attachments 1 and 2 - PSA 25-028**) as well as the proposed plan set (**Attachment 3 Proposed Plans**).

The recommendation made by the Forest and Beach Commission will be forwarded to the Planning Commission. The Planning Commission then has the final authority to approve the Design Study and CDP based on the recommendation of the Forest and Beach Commission.

#### **FISCAL IMPACT:**

None at this time

#### **ATTACHMENTS:**

1. Attachment 1 - Eval form - PSA 25028
2. Attachment 2 - PSA 25028 (KShire Property Investments, LLC) Updated Topo
3. Attachment 3 - Proposed Plans

# Significant Tree Evaluation Worksheet

APN: 010-223-009-000

Street Location: Monte Verde 4 SW of 3rd

Planner: Katherine Wallace

City Forester: Justin Ono

Property Owner: Kshire Property Investments, LLC

Recommended Tree Density: 5 upper and 4 lower

## Part One: Initial Screening:

**Complete Part One to determine if further assessment is warranted. Trees must pass all criteria in Part One to be considered significant or moderately significant.**

A. Does the tree pose an above-normal potential risk to life and property?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES															
NO	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

Any tree with structural impairment likely to cause failure should be marked as unsafe and removed. Use page five of this worksheet to document the safety risk. Trees that have limited and specific defects that can be remedied with selective pruning or other mitigation should be marked as safe and specific recommendations should be given to the owner for tree care. Such trees may still be assessed for significance.

B. Is the tree one of the following native species on the Carmel-by-the-Sea recommended tree list?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Species	CO	Toy	Aca	CO	RW	CO	CO	CO	CO	Euc	Aca	CO	RW	MP	Pitt
YES	X			X	X	X	X	X	X			X	X	X	
NO		X	X							X	X				X

MP -- Monterey pine Pitt -- Pittosporum RW -- Coast redwood CO -- Coast live oak Euc -- Eucalyptus

Toy -- Toyon Aca -- Acacia

(Note: Other species on the recommended tree list may be determined to be Significant Trees only if they are exceptional examples of the species. Such trees also must exhibit excellent health, form, vigor, and substantial size to rate an overall score of at least 7 points in Part Two of the assessment.)

C. Does the tree meet the minimum size criteria for significance?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	X		X	X	X	X	X	X	X	X	X	X	X	X	X
NO		X													

Monterey pine, Coast live oak, Coast redwood: 6" DBH

Coast live oak – multi-trunk tree measured per industry standard: 6" DBH

All other trees: 10" DBH

dbh = diameter at breast height or 4.5 feet above the adjacent ground surface

## Part Two: Assessment For Tree Significance

For each of the criteria below assign points as shown to assess the tree. If any criteria score is zero the assessment may stop as the tree cannot qualify as significant or moderately significant.

### D. What is the health and condition of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	2	2	2	2	2	2	2	2	2	2	2	2	0

**0 points:** The tree is heavily infested with pests or has advanced signs of disease that indicates the tree is declining and has very limited life expectancy.

**1 point:** The tree shows some pests or disease that impair its condition, but which does not immediately threaten the health of the tree. The tree may recover on its own, or with appropriate intervention.

**2 points:** The tree appears healthy and in good condition.

**3 points:** The tree shows excellent health, is free of pests and disease and is in very strong condition.

### E. What is the overall form and structure of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	1	2	2	2	2	2	2	2	2	2	2	2	2	1

**0 points:** Prior pruning, disease or growth habit have left the tree deformed or unsound to an extent that it cannot recover or will never be a visual asset to the neighborhood or will likely deteriorate into a structural hazard.

**1 point:** The tree has poor form or structure but (a) can recover with proper maintenance or (b) it provides visual interest in its current form, and does not have structural defects that are likely to develop into a safety hazard.

**2 points:** The tree has average form and structure for the species but does not exhibit all the qualities of excellent form and structure.

**3 points:** The tree exhibits excellent form and structure. For all species there will be a good distribution of foliage on multiple branches with no defects. For conifers, the tree will have a single straight leader with balanced branching and with good taper. Oaks will exhibit a well-developed canopy with no suppressed branches. Oaks may be single-trunked or multi-trunked and will have a balanced distribution of foliage on each

### F. What is the age and vigor of the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	1	2	2	2	2	2	2	2	2	0

**0 points:** The tree is over-mature or shows signs of poor or declining vigor such as die-back of major limbs or of the crown, small leaves/needles and/or minimal new growth.

**1 point:** The tree is mature but retains normal vigor and is likely to continue as a forest asset for a substantial period into the future.

**2 points:** The tree is young to middle age and shows normal vigor.

**3 points:** The tree is young to middle age and shows exceptional vigor.

G. Are environmental conditions favorable to the tree?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
score	2	2	2	2	2	2	2	2	2	2	1	1	2	1	2

<b>0 points:</b>	The tree is crowded or has no room for growth to maturity. The tree has poor access to light, air or has poor soil for the species.
<b>1 point:</b>	The tree has average environmental conditions including room for growth to maturity, access to light, air and soils suitable for the species.
<b>2 points:</b>	The tree has room for growth to maturity with no crowding from other significant trees or existing buildings nearby. The tree also has excellent access to light, air and excellent soils for root development.

**Part Three: Final Assessment**

Record the total points scored on D - G for each tree.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Total	8	6	8	8	8	7	8	8	8	8	7	7	8	7	3

A. Did all assessment categories in Part Two achieve a minimum score of 1-point?

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	x	x	x	x	x	x	x	x	x	x	x	x	x	x	
NO															x

B. Are there any other factors that would disqualify a tree from a determination of significance?

yes (Explain any 'yes' answer)

Yes \_\_\_ Trees 3,10, and 11 are non-native invasive species, Tree 2 is native but not on the City's tree list and does not meet size requirement.

**Conclusion: Does The Tree Qualify As Significant Or Moderately Significant?**

If the tree meets the species, size and safety criteria identified in Part One and scores at least one point under each of the criteria in Part Two, it shall be classified as Significant if it achieves a score of **6 or more points** or shall be classified as Moderately Significant if it achieves a score of **4 or 5 points**. Tree species not listed in Part One-B that meet other screening criteria in Part One may be classified by the City Forester as Significant if they score **at least 7 points**, or as Moderately Significant if they score **at least 4 points**. All other trees are classified as non-significant.

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
SIGNIF	x			x	x	x	x	x	x			x	x	x	
MOD SIGNIF															
NOT SIGNIF		x	x							x	x				x

**Items to note:**

**Required Structural Root Zone**

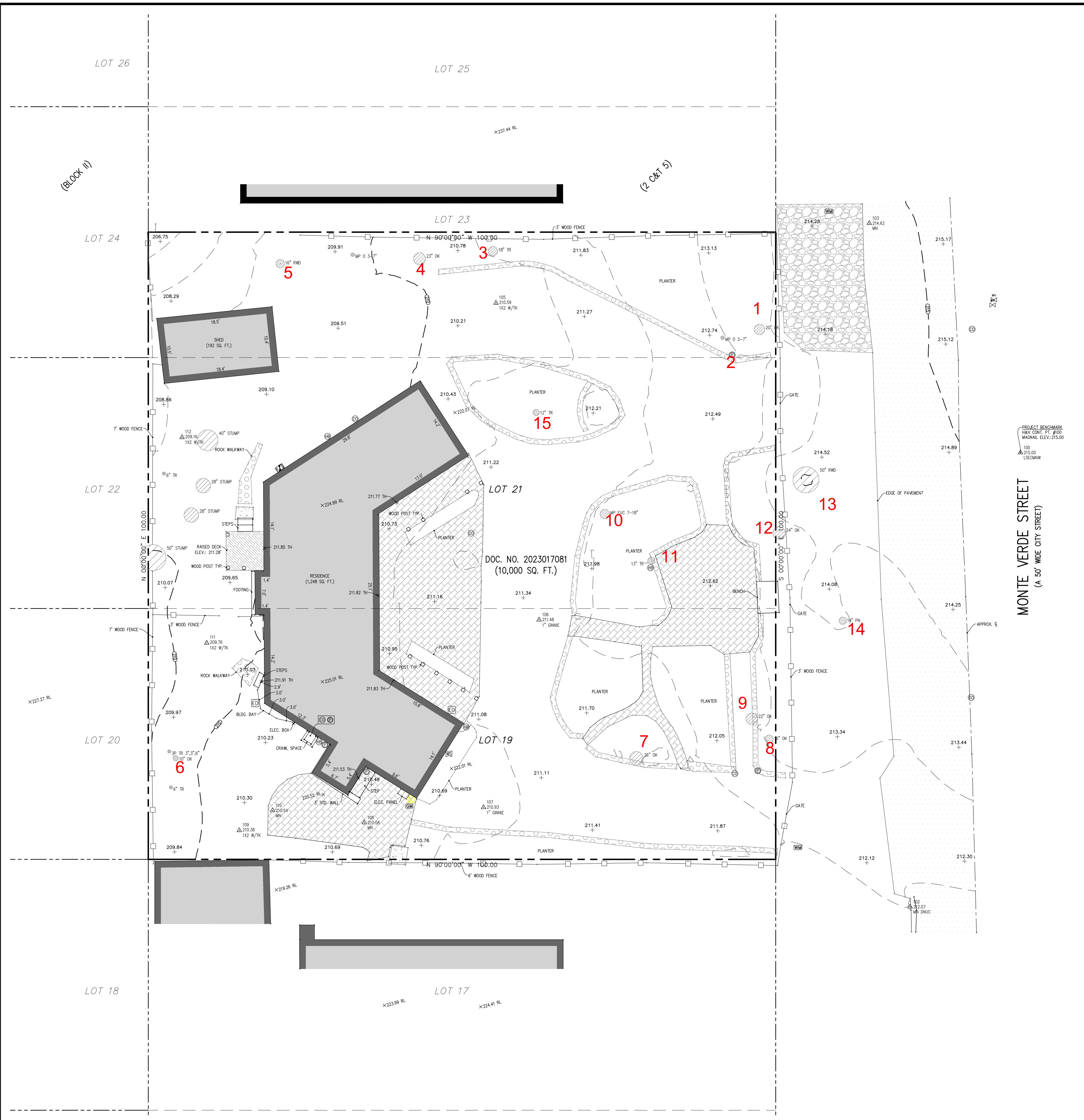
Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Feet	8	6	6	8	8	6	8	9	9	6	6	9	10	8	6

**Required Tree Protection Zone**

Tree #	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
YES	10	6	8	10	10	8	10	10	10	6	6	12	12	10	6

Requirements for tree preservation shall adhere to the following tree protection measures on construction site.

- Prior to grading, excavation, or construction, the developer shall clearly tag or mark all trees to be preserved.
- Excavation within 6 feet of a tree trunk is not permitted.
- No attachments or wires of any kind, other than those of a protective nature shall be attached to any tree.
- Per Municipal Code Chapter 17.48.110 no material may be stored within the dripline of a protected tree to include the drip lines of trees on neighboring parcels.
- Tree Protection Zone -- The Tree Protection Zone shall be equal to dripline or 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line, whichever is greater. Minimum of 4 foot high transparent fencing is required unless otherwise approved by the City Forester. Tree protection shall not be resized, modified, removed, or altered in any manner without written approval. The fencing must be maintained upright and taught for the duration of the project. No more than 4 inches of wood mulch shall installed be within the Tree Protection Zone. When the Tree Protection Zone is at or within the drip line, no less than 6 inches of wood mulch shall be installed 18 inches radially from the tree for every one inch of trunk diameter at 4.5 feet above the soil line outside of fencing.
- The Structural Root Zone -- Structural Root Zone shall by 6 feet from the trunk or 6 inches radially from the tree for every one inch of trunk diameter at 4.5' above the soil line, whichever is greater. Any excavation or changes to the grade shall be approved by the City Forester prior to work. Excavation within the Structural Root Zone shall be performed with pneumatic excavator, hydrovac at low pressure, or other method that does not sever roots.
- If roots greater than 2 inches in diameter or larger are encountered within the approved Structural Root Zone the City Forester shall be contacted for approval to make any root cuts or alterations to structures to prevent roots from being damaged.
- If roots larger than 2 inches in diameter are cut without prior City Forester approval or any significant tree is endangered as a result of construction activity, the building permit will be suspended and all work stopped until an investigation by the City Forester has been completed and mitigation measures have been put in place.



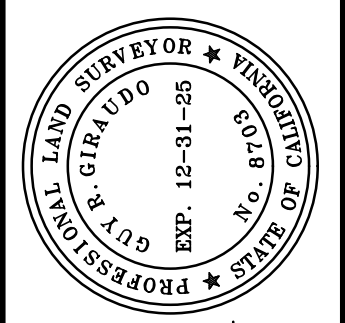
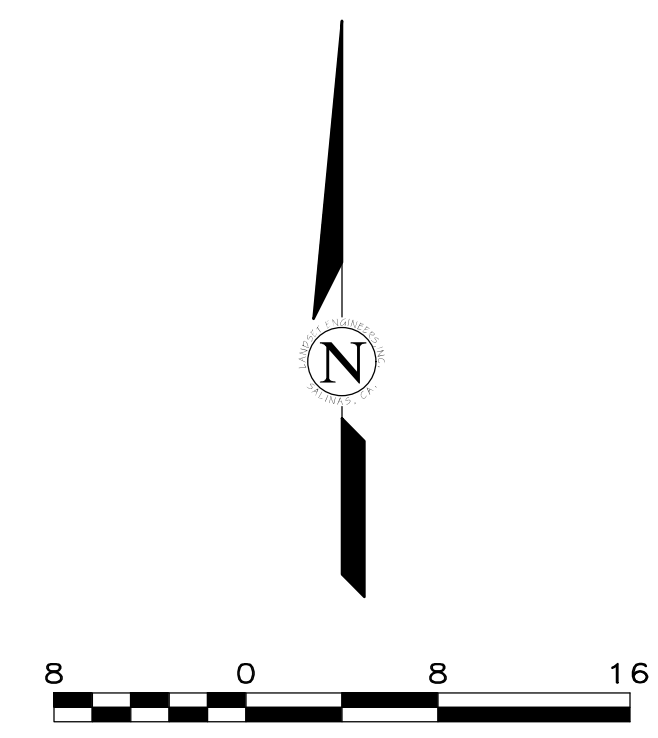
**ABBREVIATIONS:**

AC	= ASPHALT CONCRETE	FL	= FLOWLINE
AD	= AREA DRAIN	FND	= FOUND
BLDG	= BUILDING	GR	= GRATE
BRK	= BRICK	MON	= MONUMENT
BRKR	= BREAKER	MTL	= METAL
BSW	= BACK OF SIDEWALK	OK	= OAK
CB	= CATCH BASIN	PN	= PINE
CL	= CENTERLINE	RL	= RIDGE LINE
CMU	= CONCRETE MASONRY UNIT	RW	= RETAINING WALL
CONC	= CONCRETE	RWD	= REDWOOD
CTL	= CONTROL	STN	= STONE
CYP	= CYPRESS	TH	= THRESHOLD
DG	= DECOMPOSED GRANITE	TR	= TREE
ELEC	= ELECTRIC	TYP	= TYPICAL
EP	= EDGE OF PAVEMENT	UTIL	= UTILITY
ESMT	= EASEMENT	WD	= WOOD
FF	= FINISHED FLOOR		

**LEGEND:**

---	PROPERTY BOUNDARY	⊙	CONDUIT
---	ADJACENT PROPERTY BOUNDARY	⊕	CLEANOUT
---	ORIGINAL PROPERTY BOUNDARY	⊖	DOWNSPOUT
---	EASEMENT (TYPE AS SHOWN)	⊗	ELECTRIC METER
---	ROADWAY CENTERLINE	⊘	GAS LINE
---	MAJOR CONTOUR LINE (5' INTERVAL)	⊙	GAS METER
---	MINOR CONTOUR LINE (1' INTERVAL)	⊙	GAS VALVE
---	FENCE	⊙	HOSE BIB
■	BUILDING	⊙	PIPE
■	ASPHALT CONCRETE	⊙	TELEPHONE BOX
■	CONCRETE	⊙	UTILITY POLE
■	GRAVEL	⊙	WATER METER
■	PAVERS	⊙	WATER SERVICE
■	ROCKS	⊙	WATER VALVE
■	WOOD	⊙	FOUND MONUMENT (TYPE NOTED)
□	NATURAL GROUND SURFACE/ LANDSCAPED AREA	⊙	SURVEY CONTROL POINT
		100.00	SPOT ELEVATION
		100.00 RL	RIDGELINE
		100.00 FF	FINISHED FLOOR
		100.00 TH	THRESHOLD
		⊙	TREE (TYPE/SIZE AS MARKED)
		⊙	SYMBOL CENTER IS APPROX CENTER OF TREE

- GENERAL NOTES:**
- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED 39' EASTERLY AND 35' SOUTHERLY FROM THE NORTHEASTERLY PROPERTY CORNER. ELEVATION IS 215.00' AS SHOWN.
  - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
  - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3' ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
  - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/27/24) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
  - BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
  - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
  - STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.
  - THE PROPERTY IS NOT SUBJECT TO ANY EASEMENTS PER RENEW OF THE PRELIMINARY TITLE REPORT, ORDER NO. 0724023259-HT, PREPARED BY OLD REPUBLIC TITLE COMPANY, DATED AUGUST 18, 2023.



APPROVED BY:  
  
 GUY R. GIRARDINO  
 P.L.S. No. 8703



APN: 010-223-009  
**TOPOGRAPHIC MAP**  
 OF  
**THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2023017081**  
**OFFICIAL RECORDS OF MONTEREY COUNTY**  
**CARMEL-BY-THE-SEA, CALIFORNIA**  
 FOR  
 MS. RUPA DESAI

**CONTACT INFORMATION:**  
 CLIENT:  
 MS. RUPA DESAI  
 1509 LAURELWOOD CROSSING TERRACE  
 SAN JOSE, CA 95138  
 SITE LOCATION:  
 MONTE VERDE STREET, 4 SW OF  
 3RD AVENUE  
 CARMEL-BY-THE-SEA, CA 93921

02/25/25	AL	TITLE REPORT REVIEW	
12/09/24	AL	RELEASED TO CLIENT	
No.	DATE	BY	REVISION

SHEET **1**  
 OF 1 SHEETS

# MONTE VERDE RESIDENCE

Monte Verde St. 4SW of 3rd Ave.  
Carmel-by-the-Sea, CA 93923

REVISION	No.

## FLOOR AREA / SITE COVERAGE

MAIN HOUSE	ALLOWED / REQUIRED	PROPOSED MAIN HOUSE
FLOOR AREA	3,300 S.F.	3,292 S.F.
SITE COVERAGE	726 S.F. / 1,126 S.F.	1,124 S.F.

MAIN HOUSE FLOOR AREA	
LOCATION	AREA
GARAGE	449 SF
LIVING SPACE	2783 SF
MECH. 1	29 SF
MECH. 2	32 SF
TOTAL	3292 SF

MAIN HOUSE SITE COVERAGE	
LOCATION	AREA
IMPERVIOUS	
COVERED ENTRY	39 SF
COVERED PATIO	393 SF
ENTRY STAIRS	46 SF
WALL 1	31 SF
WALL 2	1 SF
WALL 3	10 SF
TOTAL	521 SF
PERVIOUS	
DRIVEWAY STEPPING STONES	135 SF
ENTRY STEPPING STONES	105 SF
LANDING - BED. #3	34 SF
LANDING - PRIM. BED.	56 SF
OUTDOOR KITCHEN PATIO	119 SF
UTILITY YARD	150 SF
TOTAL	603 SF
TOTAL	1124 SF

ADU	ALLOWED / REQUIRED	PROPOSED ADU
FLOOR AREA	800 S.F.	800 S.F.
SITE COVERAGE	---	205 S.F.

ADU FLOOR AREA	
LOCATION	AREA
LIVING SPACE	800 SF
TOTAL	800 SF

ADU SITE COVERAGE	
LOCATION	AREA
IMPERVIOUS	
ENTRY STEPS	60 SF
LANDING - BED. #2	46 SF
LANDING - BED. #1	47 SF
LANDING - ENTRY	45 SF
TOTAL	205 SF

ADU SETBACKS	ALLOWED / REQUIRED	PROPOSED ADU
FRONT YARD	15'-0"	29'-9"
REAR YARD	3'-0"	15'-2"
SIDE YARD	3'-0"	7'-6" NORTH 4'-0" SOUTH

ADU HEIGHT	ALLOWED / REQUIRED	PROPOSED ADU
ROOF HEIGHT	16'	10'-1"

## PROJECT INFORMATION

### PROJECT DESCRIPTION:

DEMOLITION OF EXISTING 1-STORY SINGLE FAMILY RESIDENCE, SHED, AND SITE FEATURES.

PROPOSED CONSTRUCTION OF 1-STORY SINGLE FAMILY RESIDENCE CONSISTING OF 3 BEDROOMS, 1.5 BATHROOMS, 2 CAR GARAGE, & COVERED PATIO. IMPROVEMENTS TO SITE INCLUDE GRADING, RETAINING & SITE WALLS, ENTRY STEPS, PAVING, AND FENCING.

PROPOSED CONSTRUCTION OF 1-STORY DETACHED ADU CONSISTING OF 2 BEDROOMS AND 1 BATHROOM. IMPROVEMENTS TO SITE INCLUDE NEW ENTRY STEPS AND LANDINGS.

### LOT DATA

LOT SIZE:	10,000 S.F.
A.P.N.:	010-223-009-000
ZONING:	R-1
CONSTRUCTION TYPE:	V-B
USE:	SINGLE FAMILY RESIDENTIAL
OCCUPANCY:	(R) FOR HOUSE / (U) FOR GARAGE

### UTILITIES

GAS / ELECTRIC:	PACIFIC GAS & ELECTRIC
WATER:	CALIFORNIA AMERICAN WATER
SEWER:	CARMEL AREA WASTE WATER DISTRICT

### SETBACKS

	ALLOWED / REQUIRED	EXISTING HOUSE	PROPOSED MAIN HOUSE
FRONT YARD	15'-0"	48'-11"	15'-3"
REAR YARD	3'-0"	17'-0"	3'-4"
SIDE YARD	3'-0"	23'-3" NORTH 9'-8" SOUTH	7'-3" NORTH 32'-9" SOUTH

### BUILDING HEIGHT

	ALLOWED / REQUIRED	EXISTING HOUSE	PROPOSED MAIN HOUSE
1-STORY PLATE HEIGHT	12'	9'	11'-5.5"
1-STORY ROOF HEIGHT	18'	13'-6.5"	12'-5.5"

### EXISTING CONDITIONS

FLOOR AREA:		SITE COVERAGE:	
RESIDENCE = 1,248 S.F.		BRICK PAVERS = 1,096 S.F.	
SHED = 192 S.F.		DECK & STAIRS = 42 S.F.	
TOTAL = 1,440 S.F.		CONCRETE LANDINGS = 12 S.F.	
		ROCK WALKWAY = 15 S.F.	
		BENCH = 17 S.F.	
		TOTAL = 1,182 S.F.	

## PROJECT TEAM

OWNER:	KSHIRE PROPERTY INVESTMENTS LLC
PROJECT LOCATION:	MONTE VERDE 4SW OF 3RD AVENUE CARMEL, CA 93923
ARCHITECT:	ERIC MILLER ARCHITECTS, INC. 211 HOFFMAN AVE. MONTEREY, CA 93940 PH: 831-372-0410 CONTACT: HANNAH MILLER
SURVEYOR:	LANDSET ENGINEERING 520-B CRAZY HORSE CANYON ROAD SALINAS, CALIFORNIA 93907 PH: 831-443-6970 CONTACT: GUY GIRAUDO

## SHEET INDEX

SHEET INDEX	
SHEET NUMBER	SHEET NAME
1	COVER SHEET
2	TOPOGRAPHIC MAP
3	PROPOSED SITE PLAN
5a	EXISTING FLOOR PLAN
5b	MAIN HOUSE FLOOR PLAN
5c	ADU FLOOR PLAN
5d	DOOR SCHEDULE
5e	WINDOW SCHEDULE
6a	EXISTING FRONT & REAR ELEV.
6b	MAIN HOUSE FRONT & REAR ELEV.
6c	ADU FRONT & REAR ELEV.
7a	EXISTING SIDE ELEVATIONS
7b	MAIN HOUSE SIDE ELEVATIONS
7c	ADU SIDE ELEVATIONS
8	STREETSCAPE RENDERINGS
9a	EXISTING ROOF PLAN
9b	MAIN HOUSE ROOF PLAN
9c	ADU ROOF PLAN
11	MATERIALS SAMPLE
12	RENDERINGS

## OWNERSHIP NOTES

OWNERSHIP AND USE OF THESE DRAWINGS AND SPECIFICATIONS:

- TITLE AND ALL "COPYRIGHT" PRIVILEGES TO THESE DRAWINGS AND SPECIFICATIONS IS CLAIMED BY THE ARCHITECT, ERIC MILLER, HEREINAFTER REFERRED TO AS "THE ARCHITECT" WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE SUBJECT DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE OWNERSHIP RIGHTS AND THE FOLLOWING RELATED RESTRICTIONS.
- THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND THE ARCHITECT HEREBY STATES THAT THEY ARE NOT INTENDED FOR NOR SUITABLY ENGINEERED FOR ANY OTHER SITE. REPRODUCTION OF THESE DOCUMENTS IS THEREFORE EXPRESSLY LIMITED TO THIS INTENDED USE.
- THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THESE DRAWINGS AND SPECIFICATIONS ARE USED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION, WHETHER OR NOT MODIFIED BY OTHERS FOR ANOTHER SITE.
- IN THE EVENT OF UNAUTHORIZED USE BY ANY THIRD PARTY OF THESE DRAWINGS AND SPECIFICATIONS THE CLIENT FOR WHICH THIS WORK WAS ORIGINALLY PREPARED HEREBY AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT, ERIC MILLER, HIS STAFF/EMPLOYEES FROM ANY CLAIMS ARISING FROM SUCH UNAUTHORIZED USE.

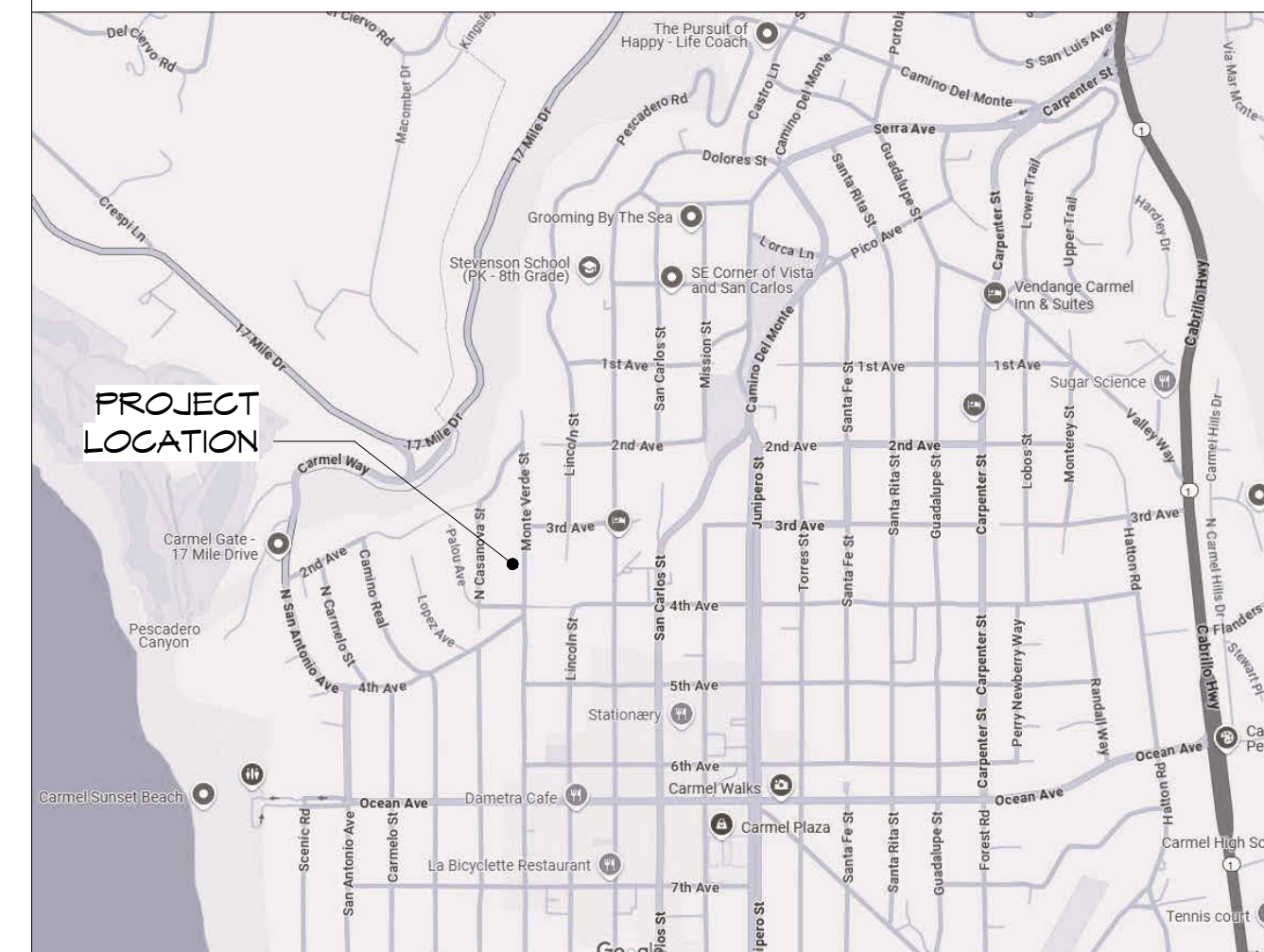
## TREE REMOVAL

REMOVAL OF (1) EUC (7-18" MP), (3) ORNAMENTAL TREES (12", 13", 15"), & (1) OAK (3"-8" MP).  
SEE SITE PLAN AND LANDSCAPING PLAN FOR LOCATIONS.

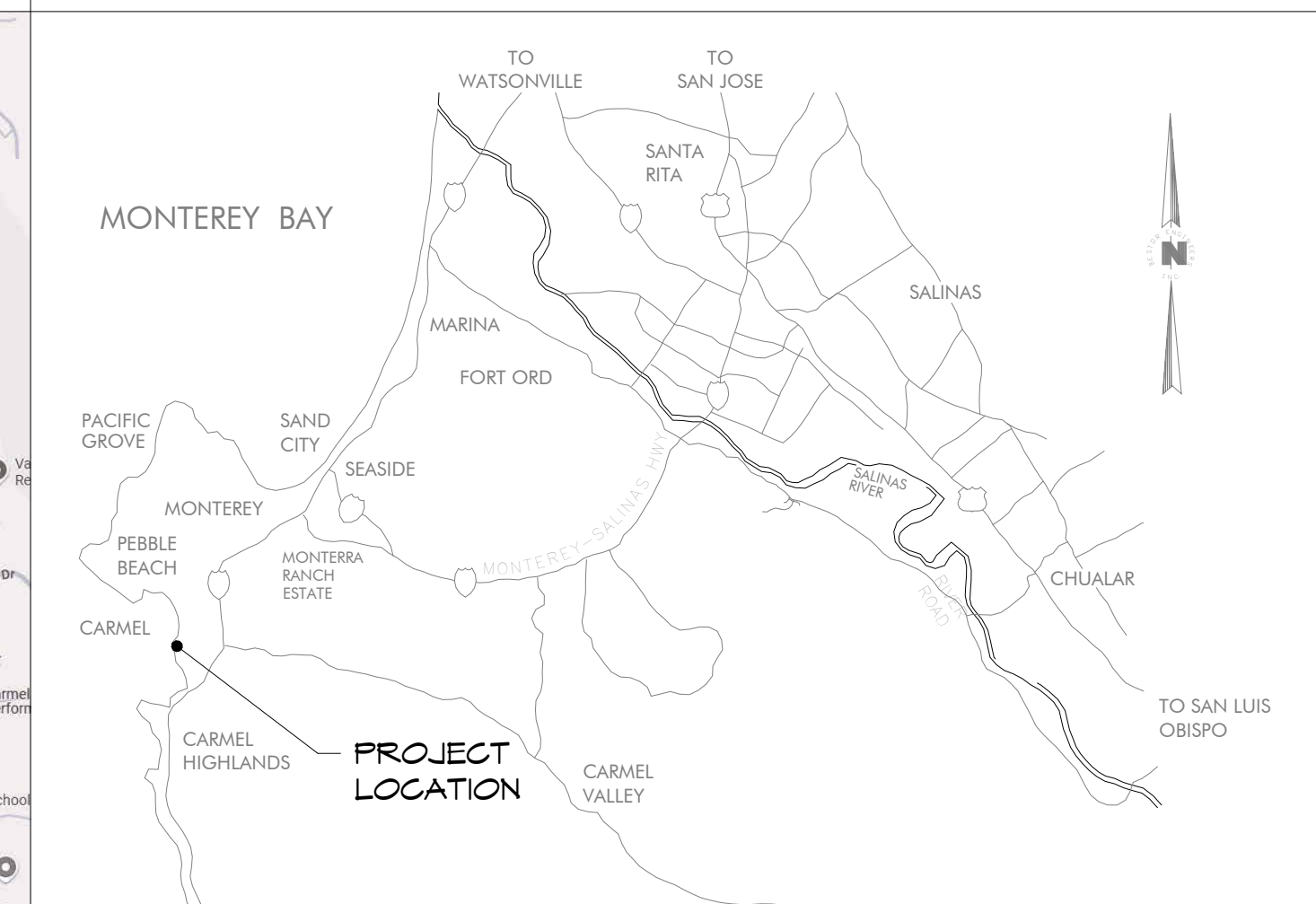
## EXTERIOR LIGHTING NOTE

ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE GROUND AND NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT) IN POWER PER FIXTURE.

## LOCATION MAP



## VICINITY MAP



CONSULTANT:

ERIC MILLER ARCHITECTS, INC.  
211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

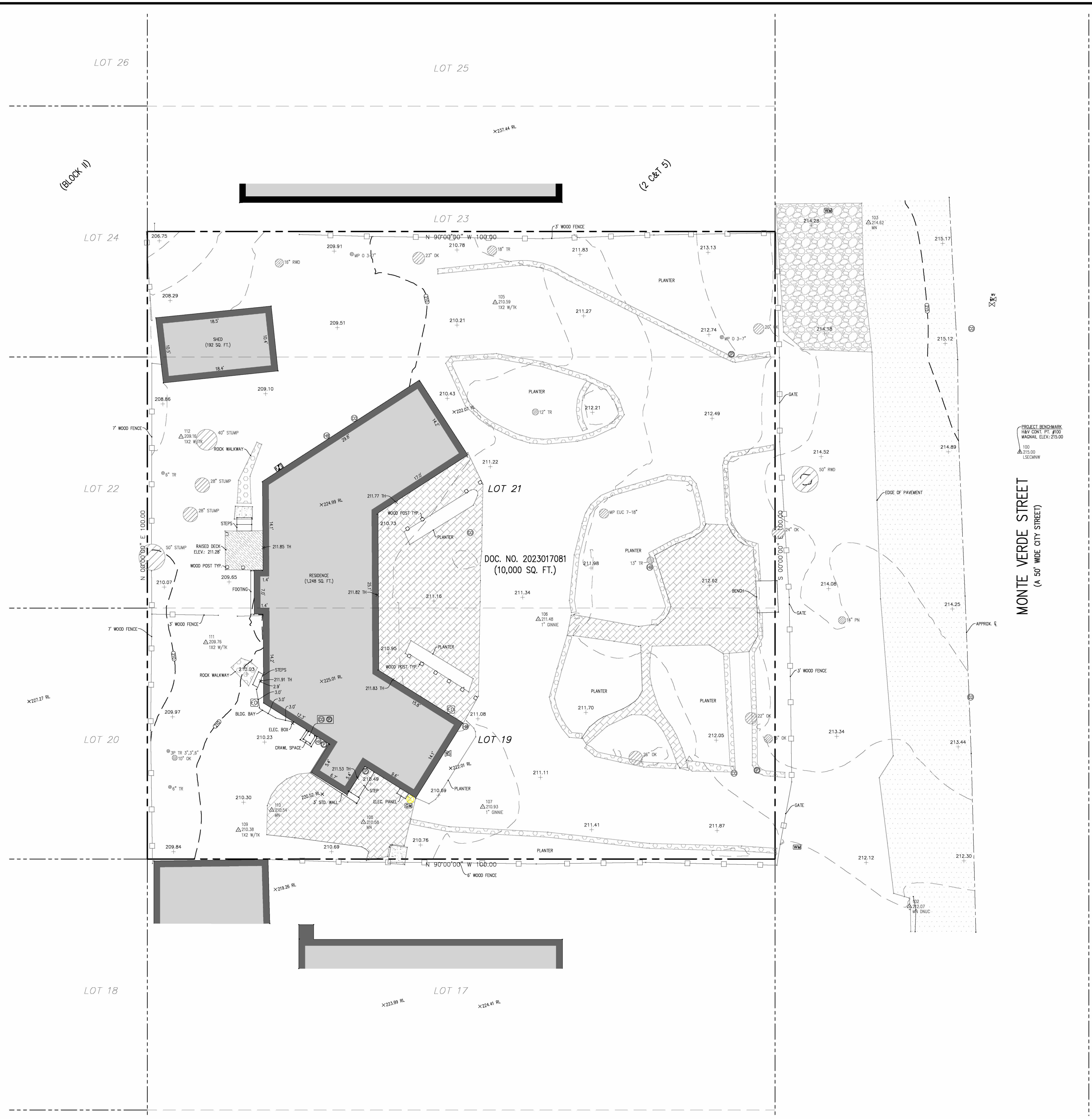
ARCHITECT

COVER SHEET

Job Name: Monte Verde Residence  
Monte Verde 4SW of 3rd Ave  
Carmel-by-the-Sea, CA 93923  
010-223-009-000

DATE: 5/12/25  
SCALE: N.T.S.  
DRAWN: HRM/JK  
JOB NO.: 24.17

1  
SHEET OF



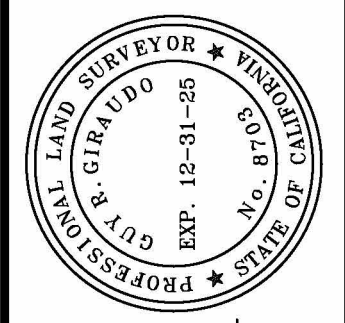
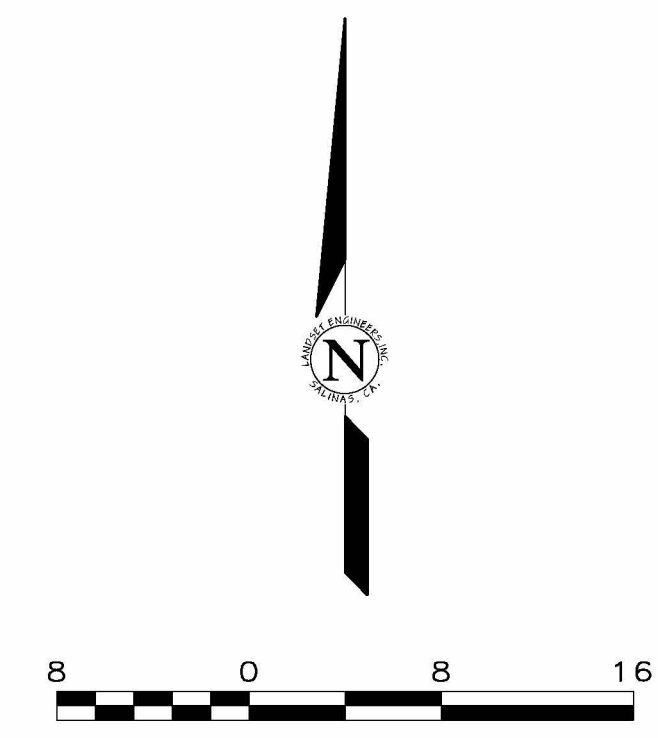
**ABBREVIATIONS:**

AC	= ASPHALT CONCRETE	FL	= FLOWLINE
AD	= AREA DRAIN	FND	= FOUND
BLDG	= BUILDING	GR	= GRATE
BRK	= BRICK	MON	= MONUMENT
BRKR	= BREAKER	MTL	= METAL
BSW	= BACK OF SIDEWALK	OK	= OAK
CB	= CATCH BASIN	PN	= PINE
CL	= CENTERLINE	RL	= RIDGE LINE
CMU	= CONCRETE MASONRY UNIT	RW	= RETAINING WALL
CONC	= CONCRETE	RWD	= REDWOOD
CTL	= CONTROL	STN	= STONE
CYP	= CYPRESS	TH	= THRESHOLD
DG	= DECOMPOSED GRANITE	TR	= TREE
ELEC	= ELECTRIC	TYP	= TYPICAL
EP	= EDGE OF PAVEMENT	UTIL	= UTILITY
ESMT	= EASEMENT	WD	= WOOD
FF	= FINISHED FLOOR		

**LEGEND:**

---	PROPERTY BOUNDARY	⊙	CONDUIT
- - -	ADJACENT PROPERTY BOUNDARY	⊕	CLEANOUT
---	ORIGINAL PROPERTY BOUNDARY	⊖	DOWNSPOUT
- - -	EASEMENT (TYPE AS SHOWN)	⊗	ELECTRIC METER
---	ROADWAY CENTERLINE	⊘	GAS LINE
---	MAJOR CONTOUR LINE (5' INTERVAL)	⊙	GAS METER
---	MINOR CONTOUR LINE (1' INTERVAL)	⊙	GAS VALVE
---	FENCE	⊙	HOSE BIB
█	BUILDING	⊙	PIPE
█	ASPHALT CONCRETE	⊙	TELEPHONE BOX
█	CONCRETE	⊙	UTILITY POLE
█	GRAVEL	⊙	WATER METER
█	PAVERS	⊙	WATER SERVICE
█	ROCKS	⊙	WATER VALVE
█	WOOD	⊙	FOUND MONUMENT (TYPE NOTED)
□	NATURAL GROUND SURFACE/ LANDSCAPED AREA	⊙	SURVEY CONTROL POINT
		100.00	SPOT ELEVATION
		100.00 RL	RIDGELINE
		100.00 FF	FINISHED FLOOR
		100.00 TH	THRESHOLD
		⊙	TREE (TYPE/SIZE AS MARKED)
		⊙	SYMBOL CENTER IS APPROX CENTER OF TREE

- GENERAL NOTES:**
- ELEVATIONS ARE BASED ON AN ASSUMED DATUM. PROJECT BENCHMARK IS SURVEY H&V CONTROL POINT #100, A MAGNETIC NAIL LOCATED 39' EASTERLY AND 35' SOUTHERLY FROM THE NORTHEASTERLY PROPERTY CORNER, ELEVATION IS 215.00' AS SHOWN.
  - NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND FLUSH WITH THE SURFACE ARE SHOWN. SUB-SURFACE UTILITY LINES DRAWN MAY NOT BE COMPLETE AND SHOULD BE VERIFIED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITY LOCATIONS CAN BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANIES, PUBLIC AGENCIES, OWNER'S AS-BUILT DRAWINGS, ETC., AND SHOULD BE THOROUGHLY COMPILED AND DEEMED COMPLETE WITHIN THE PROJECT AREA PRIOR TO ANY SITE DEVELOPMENT DESIGN AND/OR CONSTRUCTION.
  - TREE TYPES ARE INDICATED WHEN KNOWN. TREE DIAMETERS ARE LABELED IN INCHES AS MEASURED AT 3" ABOVE THE GROUND. SYMBOL IS APPROXIMATE CENTER OF TREE. TREES SMALLER THAN 6" ARE NOT SHOWN.
  - THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY (11/27/24) AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVES.
  - BUILDING CORNERS SHOWN WERE LOCATED AT THE OUTERMOST FACE OF TRIM. DIMENSIONS SHOWN REPRESENT THE BUILDING AT GROUND LEVEL. SQUARE FOOTAGE WAS CALCULATED USING THE OUTERMOST BUILDING FOOTPRINT AS MEASURED. BUILDING OVERHANG(S) ARE NOT SHOWN.
  - THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON WERE COMPILED FROM RECORD INFORMATION AND FROM FIELD TIES TO EXISTING BOUNDARY MONUMENTATION. THE LOCATION OF THESE LINES IS SUBJECT TO CHANGE, PENDING THE RESULTS OF A COMPLETE BOUNDARY SURVEY.
  - STRUCTURES AND/OR ACCOMPANYING ELEVATIONS SHOWN ON ADJACENT LOTS LOCATED WITHIN 15' OF THE SUBJECT PROPERTY BOUNDARIES ARE APPROXIMATE ONLY AND MAY NOT BE COMPLETE DUE TO RESTRICTED PHYSICAL ACCESS.
  - THE PROPERTY IS NOT SUBJECT TO ANY EASEMENTS PER RENEW OF THE PRELIMINARY TITLE REPORT, ORDER NO. 0724023259-H, PREPARED BY OLD REPUBLIC TITLE COMPANY, DATED AUGUST 18, 2023.



APPROVED BY:  
  
 GUY R. GIRARDO  
 P.L.S. No. 8703



APN: 010-223-009  
**TOPOGRAPHIC MAP**  
 OF  
**THAT CERTAIN PARCEL DESCRIBED IN DOCUMENT NO. 2023017081**  
**OFFICIAL RECORDS OF MONTEREY COUNTY**  
**CARMEL-BY-THE-SEA, CALIFORNIA**  
 FOR  
 MS. RUPA DESAI

**CONTACT INFORMATION:**  
 CLIENT:  
 MS. RUPA DESAI  
 1509 LAURELWOOD CROSSING TERRACE  
 SAN JOSE, CA 95138  
 SITE LOCATION:  
 MONTE VERDE STREET, 4 SW OF  
 3RD AVENUE  
 CARMEL-BY-THE-SEA, CA 93921

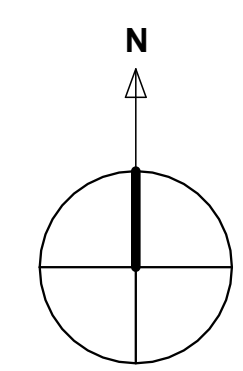
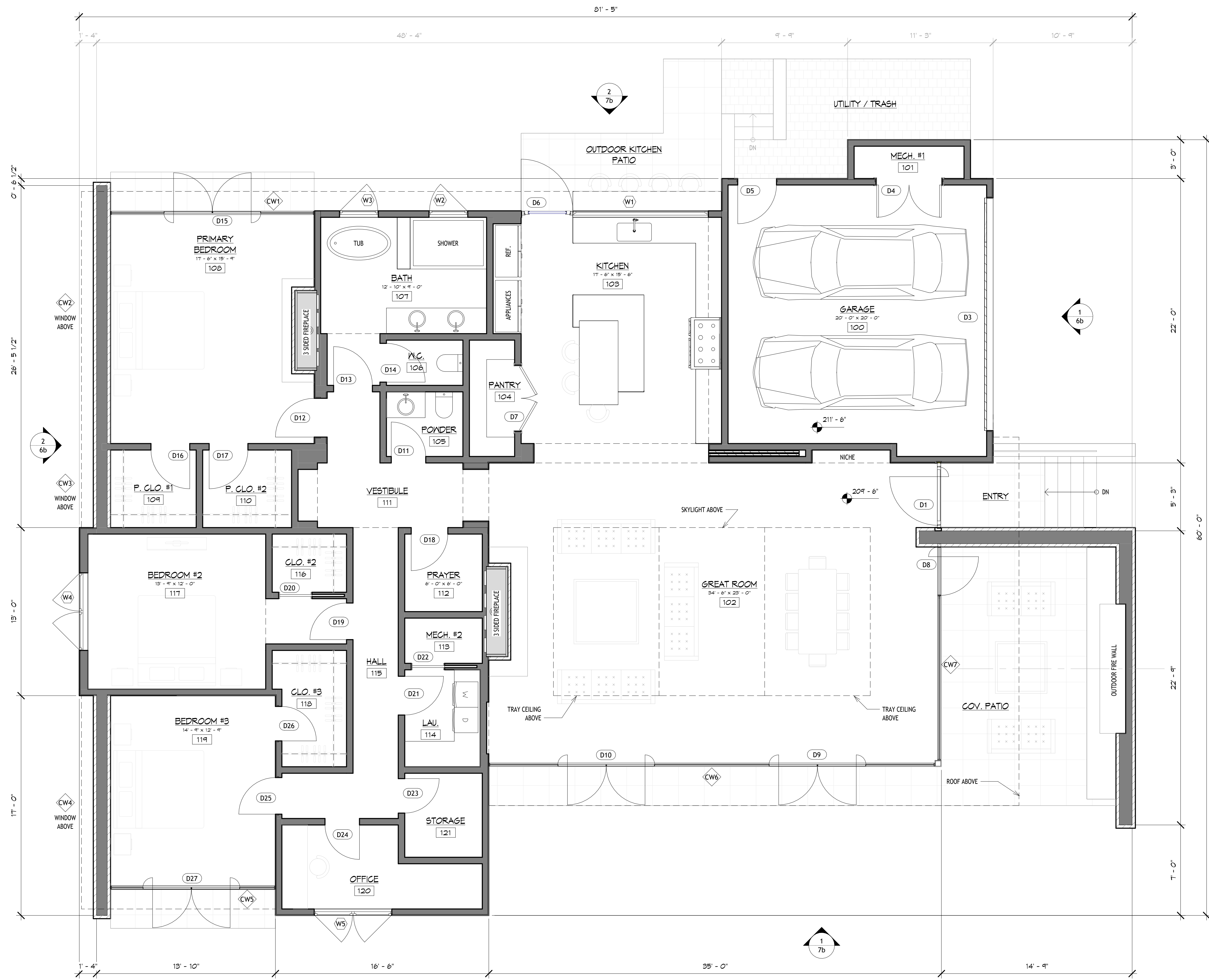
No.	DATE	BY	REVISION
	02/25/25	AL	TITLE REPORT REVIEW
	12/09/24	AL	RELEASED TO CLIENT

SCALE: 1" = 8'  
 DATE: FEB 2025  
 JOB NO. 2850-01  
 SHEET **1**  
 OF 1 SHEETS

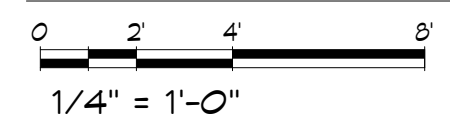




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 THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WHOSE PRESENCE, ADVICE, CONSULT AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



**PROPOSED MAIN HOUSE FLOOR PLAN**



REVISION	No.

CONSULTANT:

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 211 HOFFMAN AVENUE MONTEREY, CA 93940  
 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

MAIN HOUSE FLOOR PLAN

Job Name: **Monte Verde Residence**  
 Monte Verde 45M of 3rd Ave  
 Carmel-by-the-Sea, CA 95023  
 010-223-0091-000

DATE: 5/12/25  
 SCALE: 1/4" = 1'-0"  
 DRAWN: HRM/JK  
 JOB NO. 24.17

**5b**  
 SHEET OF



## PROPOSED DOOR SCHEDULE

Mark	Type Mark	Door			Frame					Room Number	Room Name	Comments
		Width	Size Height	Thickness	Material	Material	Head	Jamb	Sill			
D1	A	4' - 11 7/8"	10' - 0"	0' - 3 1/32"	WOOD/MTL	METAL	---	---	---	102	GREAT ROOM	
D2	---	---	---	---	---	---	---	---	---	---	---	
D3	B	18' - 0"	7' - 0"	0' - 2"	ND/MTL/GL	WOOD	---	---	---	100	GARAGE	TEMPERED GLASS PER NOTE 9
D4	J	5' - 0"	7' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	100	GARAGE	
D5	E	3' - 0"	7' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	100	GARAGE	
D6	G	4' - 0"	10' - 0 1/8"	0' - 2"	MTL/GLASS	METAL	---	---	---	103	KITCHEN	TEMPERED GLASS PER NOTE 9
D7	J	5' - 0"	7' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	104	PANTRY	
D8	J	3' - 3 1/2"	4' - 10"	0' - 2"	MTL/GLASS	METAL	---	---	---	---	COV. PATIO	
D9	I	7' - 6"	4' - 10"	0' - 2"	MTL/GLASS	METAL	---	---	---	102	GREAT ROOM	
D10	C	7' - 6"	4' - 10"	0' - 2"	MTL/GLASS	METAL	---	---	---	102	GREAT ROOM	
D11	I	2' - 8"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	105	POWDER	
D12	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	108	PRIMARY BEDROOM	
D13	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	107	BATH	
D14	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	106	N.C.	
D15	C	7' - 6"	4' - 10"	0' - 2"	MTL/GLASS	METAL	---	---	---	108	PRIMARY BEDROOM	
D16	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	109	F. GLO. #1	
D17	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	110	F. GLO. #2	
D18	I	2' - 10"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	112	PRAYER	
D19	I	2' - 10"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	117	BEDROOM #2	
D20	K	2' - 6"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	114	GLO. #2	
D21	K	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	113	MECH. #2	
D22	I	2' - 6"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	121	STORAGE	
D23	I	2' - 6"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	120	OFFICE	
D24	I	2' - 10"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	119	BEDROOM #3	
D25	I	2' - 10"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	118	GLO. #3	
D26	I	2' - 8"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	119	BEDROOM #3	
D27	F	7' - 6"	8' - 10"	0' - 2"	MTL/GLASS	METAL	---	---	---	200	ADU LIVING	
DA1	I	15' - 0"	4' - 0"	0' - 1 3/4"	MTL/GLASS	METAL	---	---	---	200	ADU LIVING	
DA2	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	200	ADU LIVING	
DA3	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	202	GLO. #1	
DA4	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	203	LINEN	
DA5	C	7' - 6"	8' - 10"	0' - 2"	MTL/GLASS	METAL	---	---	---	201	ADU BED. #1	
DA6	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	200	ADU LIVING	
DA7	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	205	ADU BATH	
DA8	I	3' - 0"	8' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	206	GLO. #2	
DA9	C	7' - 6"	8' - 10"	0' - 2"	MTL/GLASS	METAL	---	---	---	204	ADU BED. #2	
DA10	H	1' - 6"	5' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	207	MECH.	
DA11	H	1' - 6"	5' - 0"	0' - 1 3/4"	WOOD	WOOD	---	---	---	208	M.H.	

### DOOR NOTES

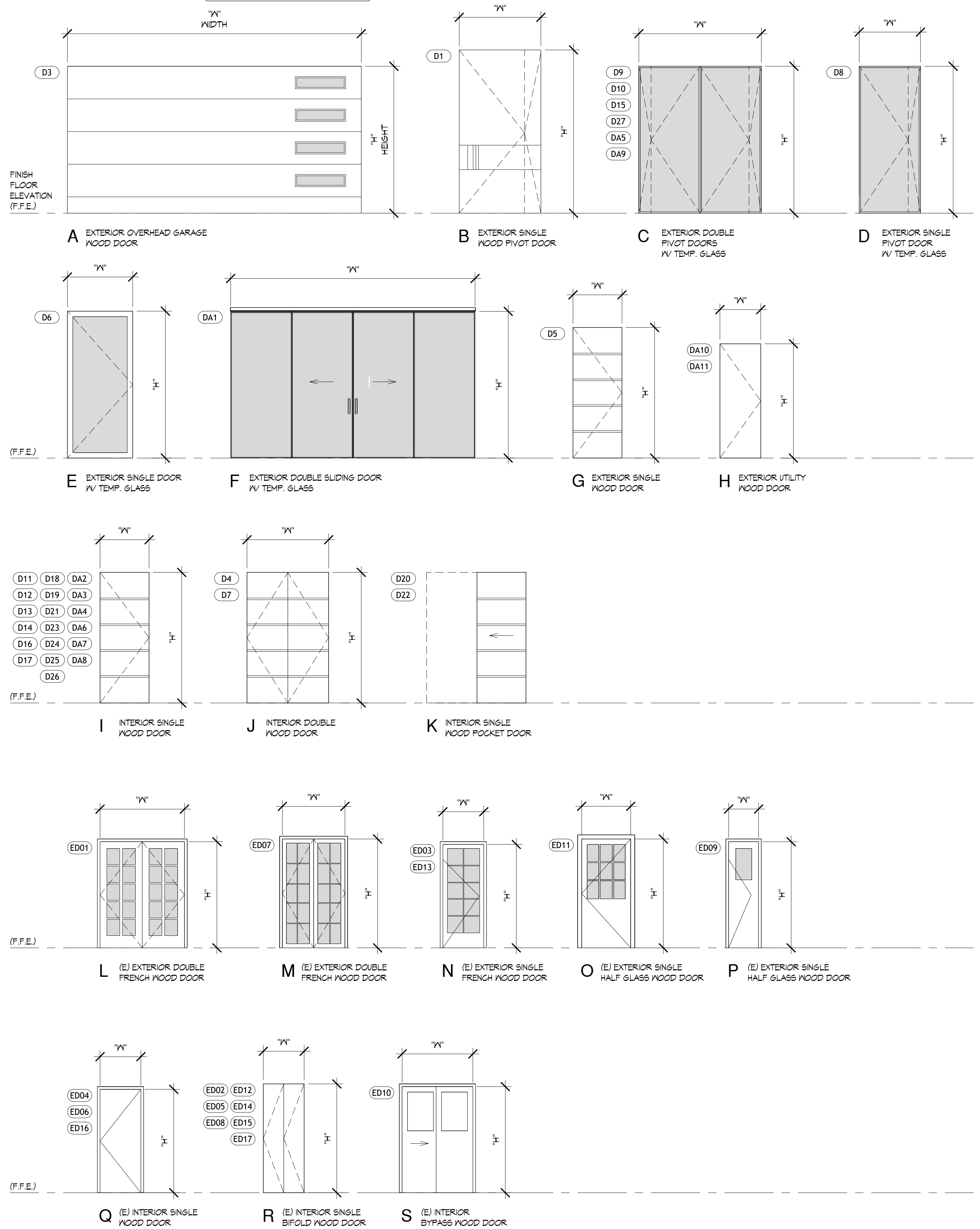
- ALL DOORS SHALL COMPLY WITH THE FOLLOWING, UNLESS OTHERWISE NOTED (U.O.N.):
- SHALL BE 2'-0" X 7'-0" MINIMUM.
  - SHALL HAVE HARDWARE MOUNTED 30" TO 44" ABOVE FINISH FLOOR.
  - EXTERIOR THRESHOLD SHALL HAVE MAXIMUM HEIGHT OF 3/4" ABOVE FINISH FLOOR, EGRESS DOORS TO HAVE A MAX. HEIGHT OF 1/2" A.F.F.
  - PROVIDE (2) PAIR, 4-1/2" X 4-1/2" BUTTS ON ALL DOORS.
  - ALL HARDWARE TO BE ROCKY MOUNTAIN OR EQUIVALENT, SELECTED BY OWNER.
  - ALL EXTERIOR DOORS TO BE WEATHER-STRIPPED.
  - ALL FIRE-RATED DOORS SHALL HAVE FIRE-RESISTANCE RATING OF 20 MINUTES, PEMKO 588D (OR EQUIVALENT) SMOKE SEALS AND SHALL BE TIGHT-FITTING, SELF-CLOSING, AND SELF-LATCHING.
  - ALL WOOD DOORS SHALL BE SOLID CORE.
  - ALL DOOR GLAZING TO BE TEMPERED.
  - ALL HINGED SHOWER DOORS SHALL OPEN OUTWARD PER CBC SECTION 1134A.6.1 AND SHALL BE SAFETY GLAZING, PER CBC 2406.4.5.
  - REQUIRED NATURAL LIGHT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF ROOM FLOOR AREA.
  - REQUIRED NATURAL VENT FOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL HAVE AREA OF OPENINGS NOT LESS THAN 4% OF AREAS BEING VENTED.

## EXISTING DOOR SCHEDULE

Mark	Type Mark	Door			Frame					Room Number	Room Name	Comments
		Width	Size Height	Thickness	Material	Material	Head	Jamb	Sill			
ED01	L	5' - 2"	6' - 6"	0' - 2"	WOOD	WOOD	---	---	---	E01	GREAT ROOM	
ED02	R	2' - 6"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E01	GREAT ROOM	
ED03	N	2' - 6"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E02	HALL	
ED04	Q	2' - 6"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E03	OFFICE	
ED05	R	2' - 0"	6' - 6"	0' - 2"	WOOD	WOOD	---	---	---	E04	POWDER	
ED06	Q	2' - 8"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E05	BATH	
ED07	M	3' - 10"	6' - 8"	0' - 2"	WOOD	WOOD	---	---	---	E01	GREAT ROOM	
ED08	R	2' - 4"	6' - 6"	0' - 2"	WOOD	WOOD	---	---	---	E01	GREAT ROOM	
ED09	P	1' - 10"	6' - 6"	0' - 2"	WOOD	WOOD	---	---	---	E07	BREAKFAST NOOK	
ED10	S	4' - 4"	6' - 6"	0' - 2"	WOOD	WOOD	---	---	---	E09	MUD ROOM	
ED11	O	3' - 0"	6' - 8"	0' - 2"	WOOD	WOOD	---	---	---	E11	PORCH	
ED12	R	2' - 4"	6' - 6"	0' - 2"	WOOD	WOOD	---	---	---	E01	GREAT ROOM	
ED13	N	2' - 6"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E12	HALL	
ED14	R	2' - 2"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E13	CLOSET	
ED15	R	2' - 2"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E13	CLOSET	
ED16	R	2' - 4"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E14	BEDROOM #2	
ED17	R	2' - 6"	6' - 4"	0' - 2"	WOOD	WOOD	---	---	---	E15	CLOSET	

## DOOR TYPES

**NOTE:**  
SEE ARCHITECTURAL PLANS FOR SWING DIRECTION AND DOOR ORIENTATION



REVISION	No.

CONSULTANT:

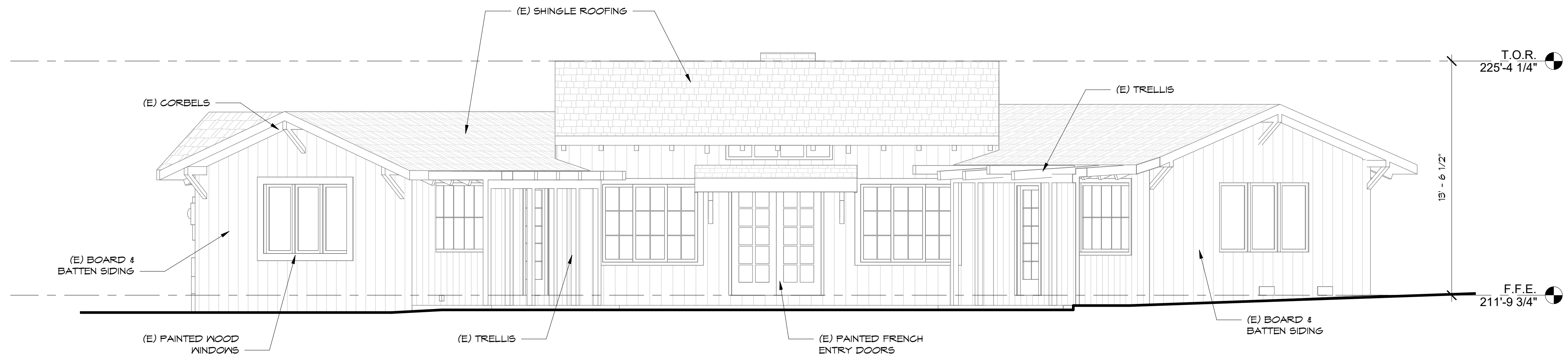
**ERIC MILLER ARCHITECTS, INC.**  
211 HOFFMAN AVENUE MONTEREY, CA 93940  
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

ARCHITECT

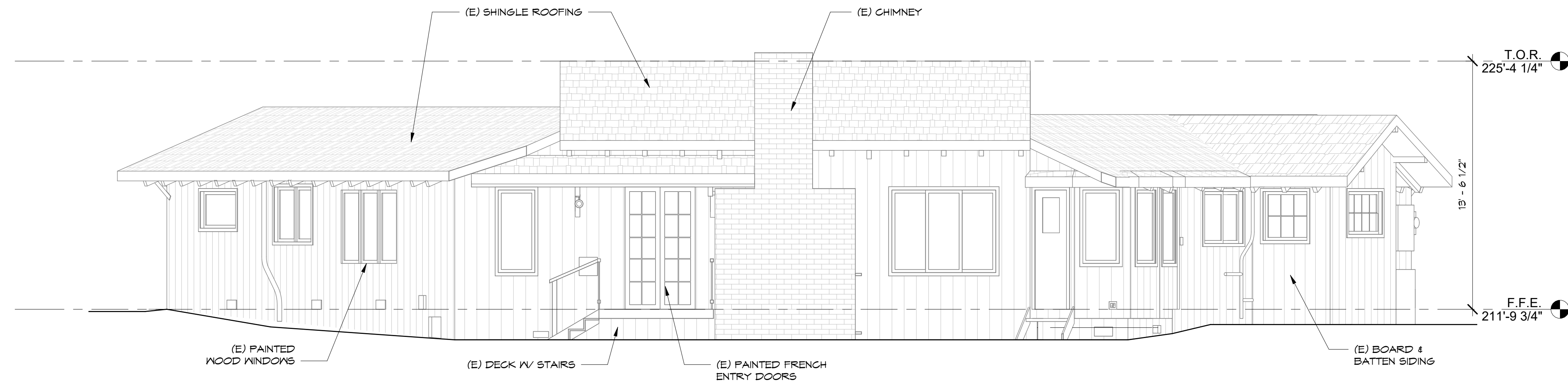
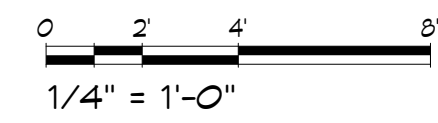
**DOOR SCHEDULE**  
Job Name: **Monte Verde Residence**  
Monte Verde 45N of 3rd Ave  
Carmel-by-the-Sea, CA 95023  
010-223-0091-000

DATE:	5/12/25
SCALE:	1/4" = 1'-0"
DRAWN:	HRM/JK
JOB NO.	24.17

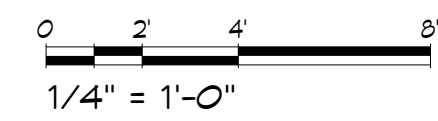




**FRONT (EXISTING EAST) ELEVATION**



**REAR (EXISTING WEST) ELEVATION**



DD

5/12/2025 3:21:45 PM C:\Users\james\Documents\james\ericmiller\2025\2025\_Planning\_Central\_Monte\_Verde - Group\Images\_2\james\ericmiller.dwg  
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS IS SOLELY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OR PUBLICATION IN ANY MANNER, IN WHOLE OR IN PART, IS STRICTLY PROHIBITED. TITLE TO THESE DRAWINGS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WHOSE DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE OR BE ACCEPTED AS A CONTRACT OR BE USED IN CONNECTION WITH ANY CONTRACT OR BE USED IN CONNECTION WITH ANY CONTRACT OR BE USED IN CONNECTION WITH ANY CONTRACT.

REVISION	No.

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EXISTING FRONT & REAR ELEV.

Job Name: **Monte Verde Residence**  
 Monte Verde 45N of 3rd Ave  
 Carmel-by-the-Sea, CA 93923  
 010-223-0091-000

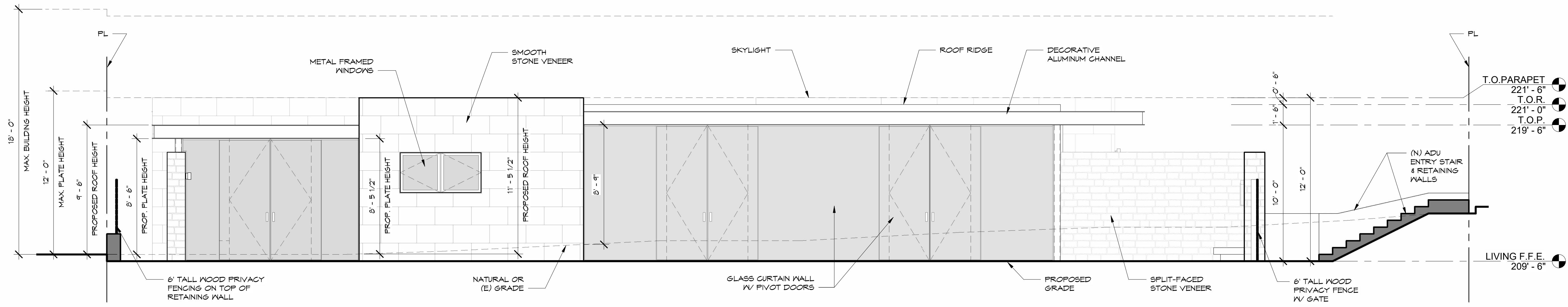
DATE: 5/12/25  
 SCALE: 1/4" = 1'-0"  
 DRAWN: HRM/JK  
 JOB NO. 24.17

**6a**  
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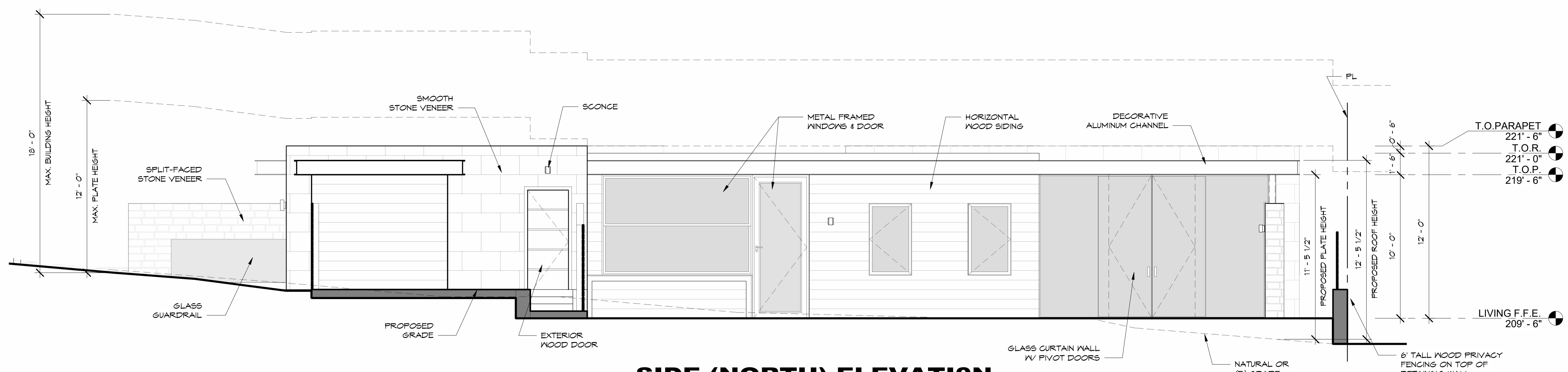






**SIDE (SOUTH) ELEVATION**

0 2 4 8  
1/4" = 1'-0"



**SIDE (NORTH) ELEVATION**

0 2 4 8  
1/4" = 1'-0"

REVISION	No.

CONSULTANT:

ARCHITECT

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ARCHITECT

**MAIN HOUSE SIDE ELEVATIONS**

Job Name: **Monte Verde Residence**  
Monte Verde 45M of 3rd Ave  
Carmel-by-the-Sea, CA 95023  
010-223-0091-000

DATE: 5/12/25  
SCALE: 1/4" = 1'-0"  
DRAWN: HRM/JK  
JOB NO. 24.17

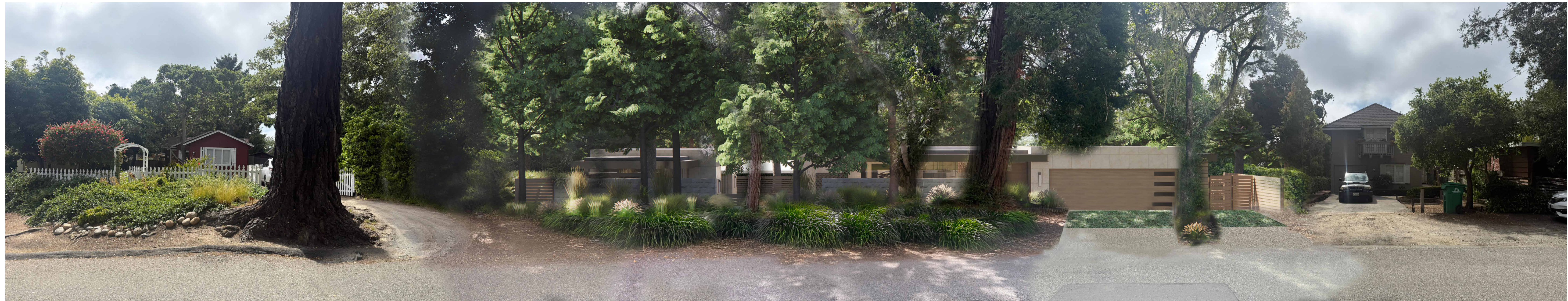
**7b**

SHEET OF





**EXISTING STREETScape**



**PROPOSED STREETScape**

REVISION	No.

CONSULTANT:

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**STREETSCAPE RENDERINGS**  
 Job Name:  
**Monte Verde Residence**  
 Monte Verde 45M of 3rd Ave  
 Carmel-by-the-Sea, CA 95023  
 010-223-009-000

DATE: 5/12/25  
 SCALE:  
 DRAWN HRM/JK  
 JOB NO. 24.17

**8**  
 SHEET OF











**STREET PERSPECTIVE FROM MONTE VERDE**



**ENTRY AND GARAGE PERSPECTIVE**

**FOR REFERENCE ONLY**

REVISION	No.

CONSULTANT:

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**RENDERINGS**  
 Job Name: **Monte Verde Residence**  
 Monte Verde 45M of 3rd Ave  
 Carmel-by-the-Sea, CA 95023  
 010-223-009-000

DATE: 5/12/25  
 SCALE:  
 DRAWN HRM/JK  
 JOB NO. 24.17

**12**  
 SHEET OF



**CITY OF CARMEL-BY-THE-SEA  
Forest and Beach Commission  
Staff Report**

**May 14, 2026  
ORDERS OF BUSINESS**

**TO:** Forest and Beach Commission

**SUBMITTED BY:** Justin Ono, City Forester

**APPROVED BY:** Shari Carlet, MSCE, Acting Public Works Director

**SUBJECT:** April 2026 Forester's Report

**RECOMMENDATION:**

Receive a Presentation on the April 2026 Forester's Report

**BACKGROUND / SUMMARY:**

**FISCAL IMPACT:**

None at this time

**ATTACHMENTS:**

1. April Foresters Report for May 14 Mtg



# CITY OF CARMEL-BY-THE-SEA

## Monthly Report

### City Forester's Report

**TO:** Forest and Beach Commissioners  
**FROM:** Justin Ono, City Forester  
**SUBJECT:** April 2026 Forester's Report

#### **Forestry, Parks, and Beach Highlights:**

##### Carmel Forest Master Plan (CFMP):

- City consultant Dudek has finished review. We are moving forward with the drafting of a document.

##### Contractors:

- West Coast Arborists completed a task order to grind 31 stumps and immediately replanted 29 trees in the newly prepared sites.
- Community Tree Service: Removed 12 dead and dangerous trees, pruned 2 trees, and performed stump grinding and soil preparation for replanting at those sites.
- Topes Tree Service: Removed 4 dead trees and completed stump grinding to prepare the sites for replanting.
- Biological consultant Denise Duffy & Associates continues nesting bird surveys for upcoming task orders and Fuel mitigation work.

##### City Staff and Crews:

- City Forestry Crew removed 12 dead, dying, or invasive trees, planted 8 trees, and pruned 12 trees providing clearance for roads and stop signs, as well as maintaining tree health.
- Fire Fuel Reduction: City crew performed work around various sites in town, including limbing up trees and weed whacking.
- City landscape crew continues planting and watering of new trees.
- City crew continues to collect logs left by PG&E's recent work.

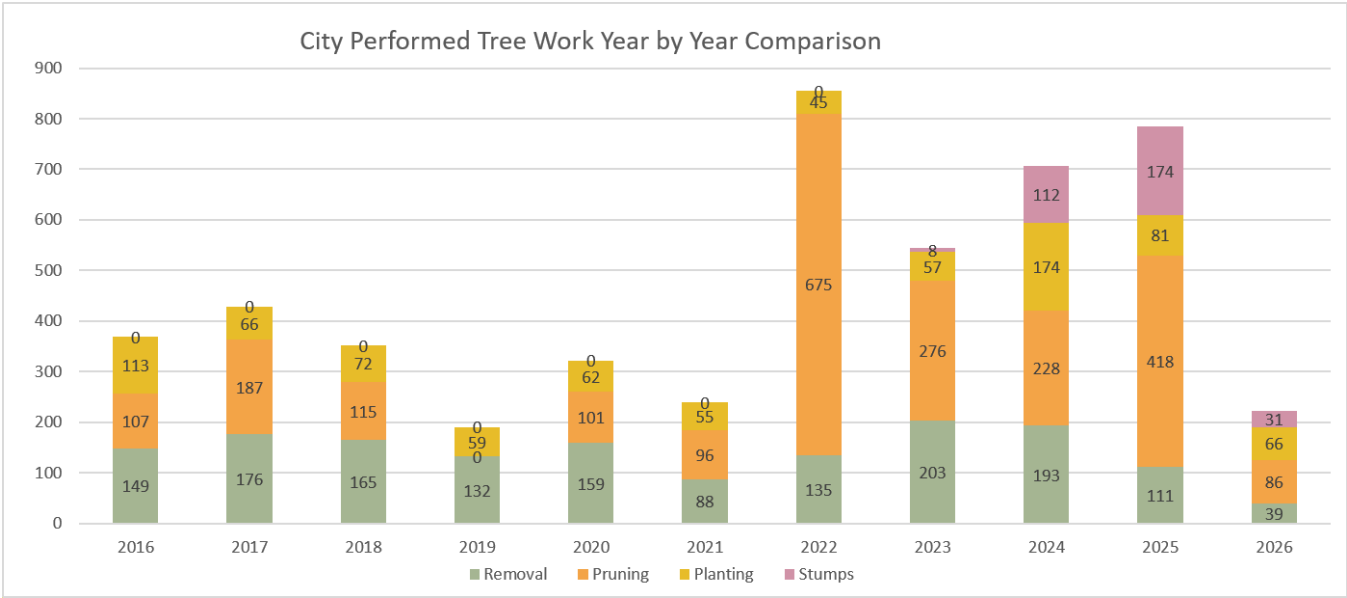
## Permit Information

2025 Permitted removals, pruning, and required planting											
	Tree permits received	Tree permits Issued	Site Inspections Performed	Trees approved for pruning	Removal of Upper Canopy	Removal of Lower Canopy	Required to Plant Upper	Required to Plant Lower	No room for new tree	Meets Density Rec.	Total Number of Trees Required
January	29	22	5	14	8	13	9	14	1	1	23
February	15	6	1	6	3	4	0	2	1	1	2
March	31	20	7	12	7	13	13	16	0	2	29
April	24	17	6	12	5	12	6	12	0	1	18
May											
June											
July											
August											
September											
October											
November											
December											
<b>2026 Totals</b>	<b>99</b>	<b>65</b>	<b>19</b>	<b>44</b>	<b>23</b>	<b>42</b>	<b>28</b>	<b>44</b>	<b>2</b>	<b>5</b>	<b>72</b>

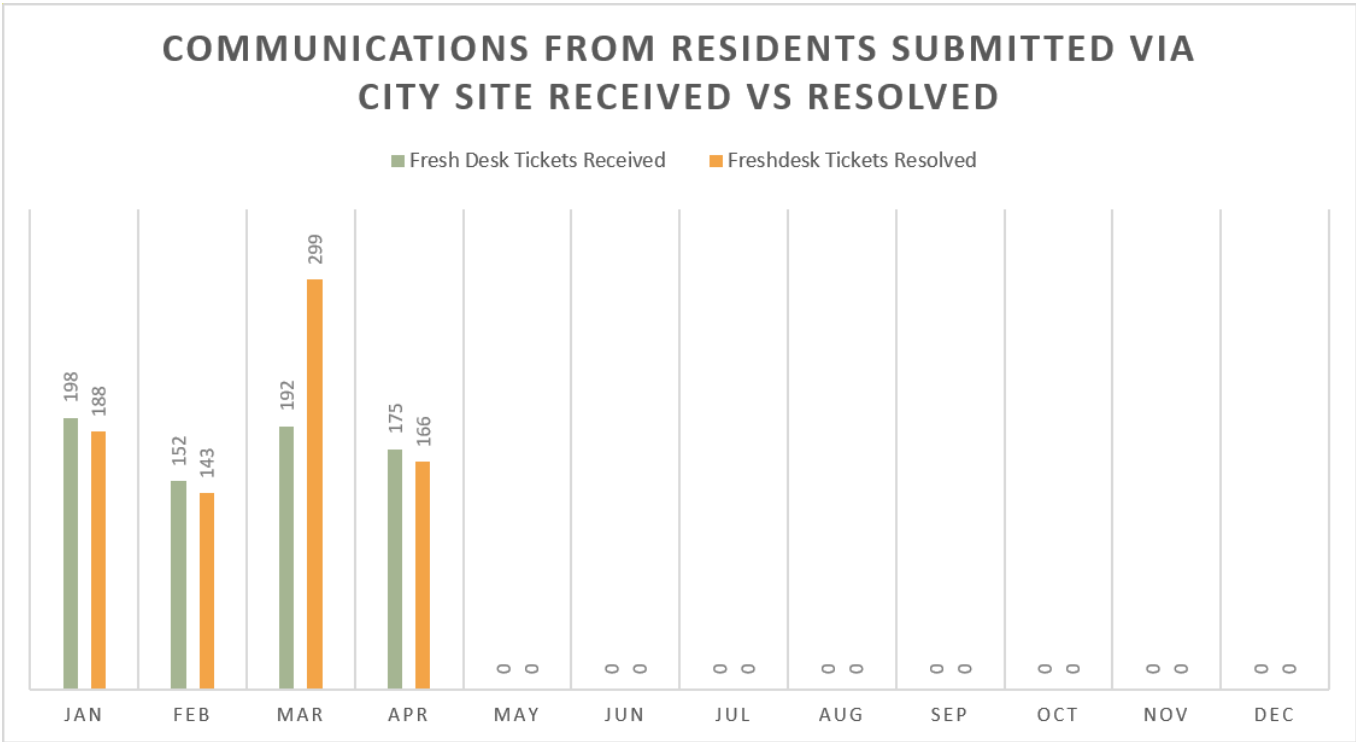
## Historic permitted removals and required planting

Year	Permitted removals	Removal of upper	Removal of lower	Replanting Required	Replanting of upper	Replanting of lower	Replanting %	Applications processed
2021	204	81	123	135	81	54	66.18%	213
2022	149	82	67	85	48	37	57.05%	155
2023	324	211	113	223	164	72	68.83%	336
2024	231	110	121	231	118	113	100.00%	391
2025	222	102	120	160	72	88	72.07%	315
2026	65	23	42	72	28	44	110.77%	99

# City Forestry, Parks, and Beach Activities



\*Calendar year to date, stumps include contractors and will be updated upon completion of task orders.



\*Numbers only represent correspondences received via the City’s website and do not include live calls, voicemails, drop-in visitors, and emails sent directly to employees from residents, nor return calls and emails from staff.



# CITY OF CARMEL-BY-THE-SEA

## Public Works Department April 2026 Report

<b>TO:</b>	Honorable Mayor and City Council Members
<b>SUBMITTED BY:</b>	Ken Wysocki, Public Works Director
<b>SUBMITTED ON:</b>	April 2026

### Public Works Director

- Project Manager recruitment has been posted.
- Public Works currently has 4 vacant positions: Project Manager, Permit Tech, and 2 Maintenance Workers (one for Forestry, one for Street Maintenance)
- We had a successful Earth Day/Arbor Day; planted 2 pines in Devendorf Park.
- Forester & Assistant Forester are attending the annual International Society of Arboriculture conference at the end of April.

### Environmental Programs

- North Dunes Project:
  - Ice Plant Removal Ongoing: Scheduling work with Town & Country to remove 2.51 acre of ice plants this spring
- Renewing 5-year Coastal Development Permit (CDP 16-315);
  - Continued working with consultant on Draft CDP for North Dunes Restoration.
  - Forest & Beach Commission review June 2026
  - Planning Commission review July 2026 and approval expected September 2026.
- Carmel Beach Sea Level Rise/Adaptation Project:
  - Integral (Consultant) is still working on finalizing the Adaptation Pathway Report per comments and feedback from Planning Commission and Forest & Beach Commission.
- Stormwater:
  - We received the NOV from the Regional Water Board based on the recent audit. Recommendations provide by the board are achievable and staff is working on a response letter due by July 1, 2026.
- Waste Management:
  - Waiting on the response from CalRecycle based on their recent audit from April 6th.
  - HF&H is presenting at the May 5<sup>th</sup> Council Meeting with results of the recent survey about GreenWaste.

### Facility Maintenance

- Janitorial Services RFP reviews completed: bringing to Council for approval in May.
- First Murphy House: Completed dry rot repairs, tented the house for fumigation, and are now painting
- Forest Theater: Conducted electrical work and floor epoxy.
- HML: Replaced heat pump, podium and addressed the window film issue
- Fire Station: Replaced sink.
- Police: secure lot gate installation project in final review before construction.

## Street Maintenance

- Continued sweeping up sand at Del Mar (with track loader)
- Re-tarped the 11<sup>th</sup> Ave Erosion area, added sandbags, and jetted the drain system in this area.
- Worked on annual traffic marking painting throughout the city.
- Provided Chips for the Big Sur Marathon
- Continued sidewalk repairs and name sign painting throughout the city

## Project Management for the Capital Improvement Program

### Shoreline:

- *CIP-Beach Stairs*: 100% design completed and approved.
  - Construction is out for bid as of April 17<sup>th</sup>, with bids due May 15<sup>th</sup>.
- *CIP- 4<sup>th</sup> Ave Outfall & Sand Ramp*: Completed the geotechnical survey.
  - When enough sand returns we will rent a dozer to push sand up for temporary ramp.
- **Priority - Emergency Repair of 11<sup>th</sup> Ave shoreline erosion**:
  - Engineer consultant developing design for Scenic Pathway design/repairs
  - Engineer consultant working on the design solution for the bluff eroded area.
- *CIP - EV Chargers / Panel Upgrade Project*: Construction is out for bid as of April 2<sup>nd</sup>, with bids due by April 22<sup>nd</sup>.

### Additional Capital Improvement Projects:

- *CIP- Conglomerate Paving Project*: includes street paving work, selected sidewalk repairs, and asphalt concrete (AC) berm repairs, started Nov 12<sup>th</sup>, estimated completion in April.
  - You can see current status updates with a 3 week schedule look-ahead and map of all the paving areas for this project on our City website.
- Continued oversight and responding to CalAm and CAWD's city projects and Ulrika project.

### FY25-26 CIP Projects Completed:

- Fire Station Upgrade
- Forest Theater Stage
- Sunset Center Painting Phase 2
- ADA Upgrade Year 8 (Railing on steps at Devendorf Park)
- Rio/Junipero Media
- Park Library Window Repair
- Yoga Center ReRoof
- Forest Plan Implementation Year 2
- Resurfacing Sunset Center Parking Lot
- Devendorft Park Improvements
- Sidewalk Repairs: Precision Grinding

## Forestry, Parks, and Beach

- Refer to City Forester's Report.